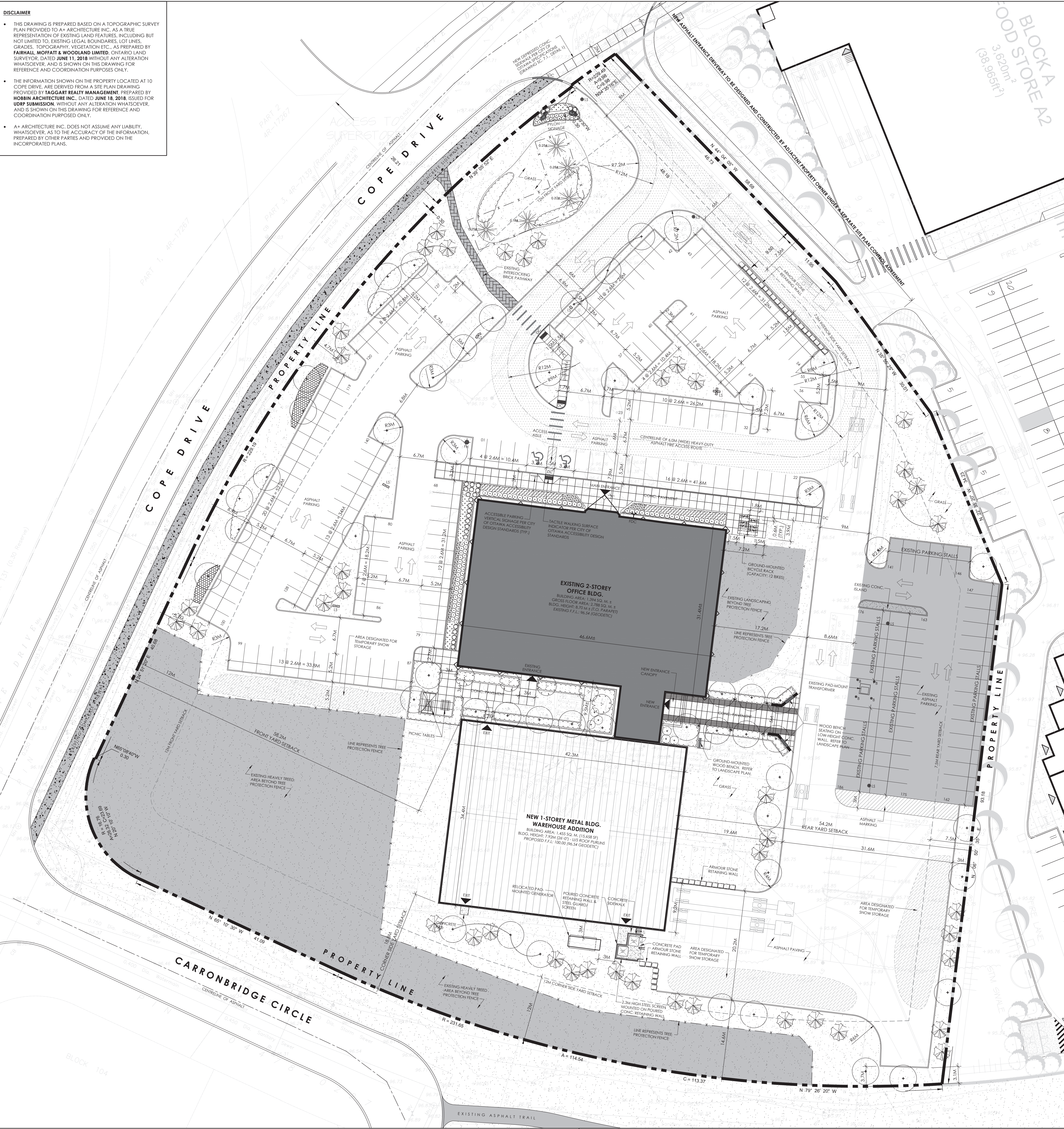


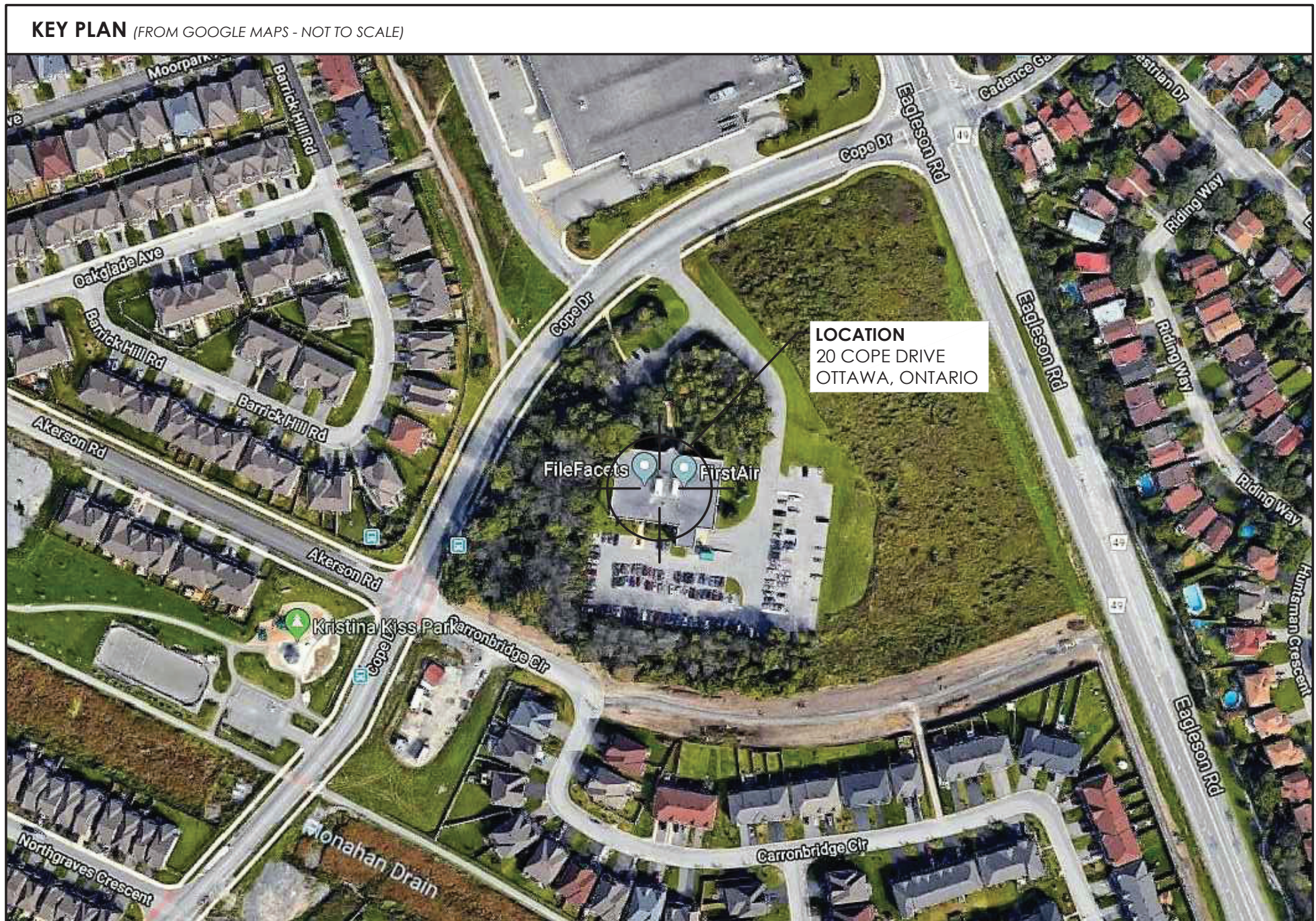
DISCLAIMER

- THIS DRAWING IS PREPARED BASED ON A TOPOGRAPHIC SURVEY PLAN PROVIDED TO A+ ARCHITECTURE INC. AS A TRUE REPRESENTATION OF EXISTING LAND FEATURES, INCLUDING BUT NOT LIMITED TO: EXISTING LEGAL BOUNDARIES, LOT LINES, GRADES, TOPOGRAPHY, VEGETATION ETC., AS PREPARED BY FARHALL, MOFFATT & WOODLAND LIMITED, ONTARIO LAND SURVEYOR, DATED JUNE 11, 2018 WITHOUT ANY ALTERATION WHATSOEVER, AND IS SHOWN ON THIS DRAWING FOR REFERENCE AND COORDINATION PURPOSES ONLY.
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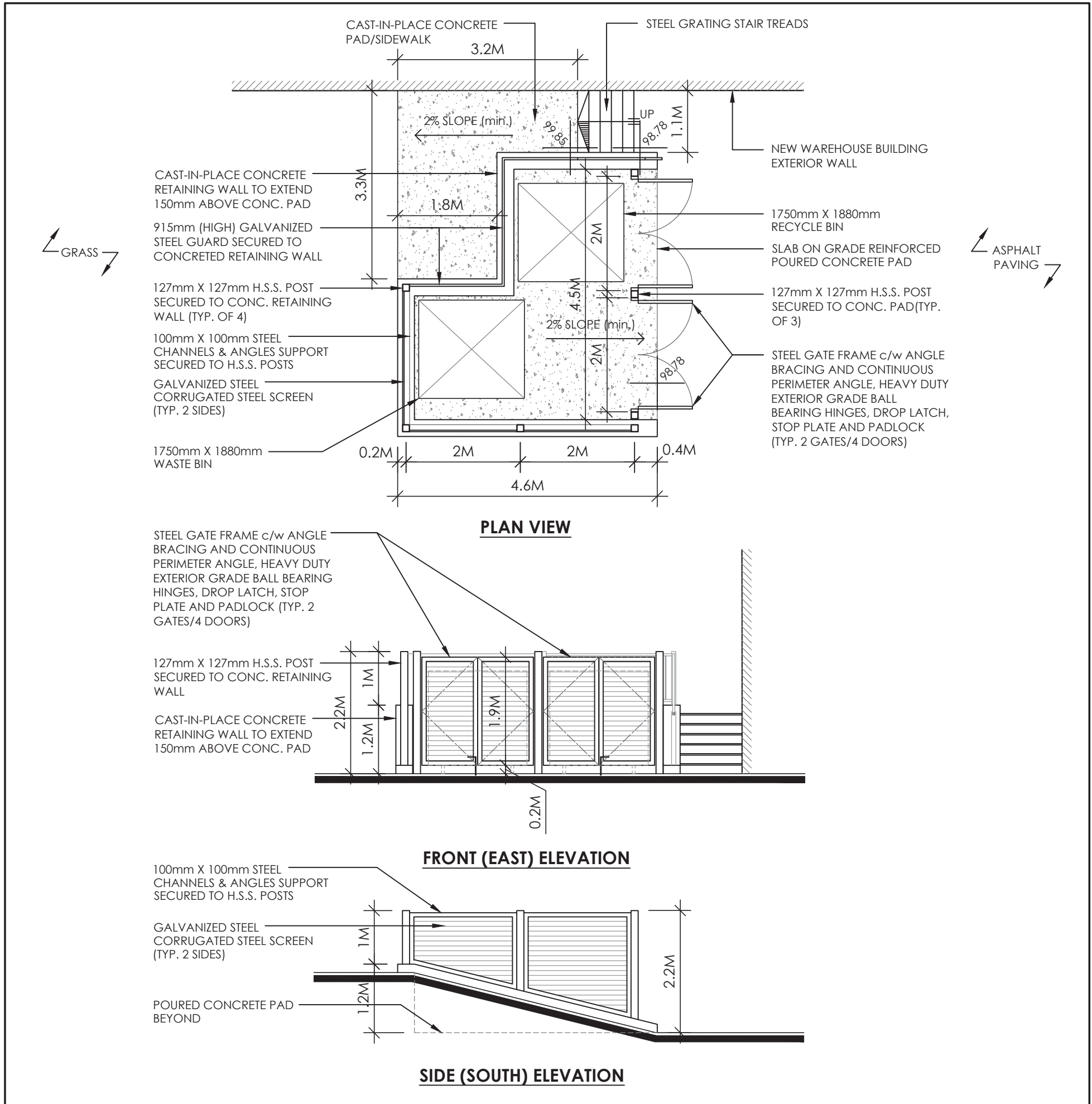
1 SITE PLAN  
A1.0 SCALE: 1:250

0 5M 10M 20M 40M 80M



LEGEND			
	PROPERTY LINE		FIRE HYDRANT - NEW/RELOCATED
	REQUIRED MINIMUM ZONING SETBACK		FIRE DEPT. CONNECTION (SPRINKLER SYSTEM SIAMOSE CONNECTION)
	CENTRELINE OF FIRE ACCESS ROUTE		DEPRESSED CURB
	SHADE REPRESENTS EXISTING BUILDING		EXISTING LIGHT STANDARD
	DIRECTION OF NEW METAL BUILDING ROOF SLOPE		NEW LIGHT STANDARD - REFER TO THE SITE LIGHTING PLAN
	SHADE REPRESENTS EXISTING AREAS TO REMAIN UNTOUCHED		EXISTING STEEL BOLLARD
	6.0M (W) HEAVY DUTY ASPHALT FOR FIRE DEPT. TRUCK ACCESS ROUTE		ARMOUR STONE RETAINING WALL
	GRASS/TURF - REFER TO THE LANDSCAPE PLAN		NEW DECIDUOUS TREE - REFER TO THE LANDSCAPE PLAN
	ASPHALT MARKING - NO PARKING		NEW CONIFEROUS TREE - REFER TO THE LANDSCAPE PLAN
	CONCRETE PAVEMENT - REFER TO THE LANDSCAPE PLAN FOR FINISH		NEW TREE PROTECTION FENCE - REFER TO THE LANDSCAPE PLAN

ZONING DATA (BASED ON ZONING BY-LAW 2008-250)			
<b>Municipal Address:</b> 20 Cope Drive, Kanata, Ontario			
<b>Legal Description:</b> Goldbourn, Concession 10, Part Lot 31, RP 4827902, PARTS 3 AND 4, Ptn: 04/781247.			
<b>Zoning Designation:</b> Business Park Industrial Zone (BPIH1(21.5)) - Area C Suburban			
<b>Site Area:</b> 2.0 Ha (20,699 Sq. M.)			
<b>Building Area:</b>			
• <b>New Warehouse Bldg:</b> 1,455 Sq. M.			
• <b>Existing Building:</b> 1,394 Sq. M.			
• <b>Total Building Area:</b> 2,849 Sq. M.			
<b>Lot Coverage:</b> (2,849 / 20,699) x 100 = 13.76%			
<b>Gross Floor Area:</b>			
• <b>First Floor Area:</b> 2,849 Sq. M.			
• <b>Second Floor Area:</b> 1,394 Sq. M.			
• <b>Total Gross Floor Area:</b> 4,243 Sq. M.			
<b>ZONING PROVISIONS - ZONE IF5 H(21.5)</b>		<b>REQUIRED</b>	<b>PROVIDED</b>
<b>Lot Area</b>		4,000 Sq. M. (min.)	20,699 Sq. M.
<b>Lot Width</b>		45M (min.)	171.73M
<b>Lot Coverage</b>		55% (max.)	13.76%
<b>Front Yard Setback</b>		12M (min.)	58.2M
<b>Corner Side Yard Setback</b>		12M (min.)	18.8M
<b>Interior Side Yard Setback</b>		7.5M (min.)	N/A
<b>Rear Yard Setback</b>		7.5M (min.)	54.2M
<b>Building Height</b>		2 (max.)	< 0.2
<b>Building Height</b>		21.5M (max.)	9.78M (measured to the mid point between roof ridge and eave)
<b>Landscaping Width</b>		3M (min.) - abutting a street	VARIES. 3.1M (min.)
<b>No Minimum - at other corners</b>			
<b>Parking Requirements</b>		<b>Office Use:</b> 2,470 Sq. M. GFA (Table 101 - Row N59) 2,788 Sq. M./100 X 2.4 = 67 spaces <b>Warehouse:</b> 0.8/100 Sq. M. GFA (Table 101 - Row N5) 1,455 Sq. M./100 X 0.8 = 12 spaces <b>Total Required Parking Spaces:</b> 67 + 12 = 79 spaces	186
<b>Accessible Parking Spaces</b>		2 spaces	2
<b>Landscaping Buffer</b>		N/A (as exempted in Section 110 - Landscaping Provisions for Parking Lots)	VARIES. 3.0 (min.)
<b>Bicycle Parking Spaces</b>		<b>Office Use:</b> 1 space per 250 Sq. M. GFA 2,788 Sq. M./250 = 11 spaces <b>Warehouse:</b> 1 space per 2,000 Sq. M. GFA 1,455 Sq. M./2,000 = 1 space <b>Total Required Bicycle Parking Spaces:</b> 11 + 1 = 12 spaces	12
<b>Loading Spaces</b>		<b>Office Use:</b> 1 space required <b>Warehouse:</b> 1 space required <b>Total Req'd = 2 spaces</b>	2
<b>Over sized Vehicle</b>		N/A	-



2 GARBAGE/RECYCLE BINS ENCLOSURE DETAILS  
A1.0 SCALE: 1:75



GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR MUST COMPLY WITH ALL CODES AND BY-LAWS AND OTHER REGULATIONS BY AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- DO NOT SCALE THIS DRAWING.
- THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED/SIGNED BY THE ARCHITECT.
- COPYRIGHT OF THIS DRAWING IS RESERVED.

PROJECT TEAM

**OWNER/APPLICANT**

CANADA CLEAN ROOM  
20 COPE DRIVE, KANATA, ON K2M 2V8  
TEL: (613) 457-5127  
E-MAIL: INFO@CCRCANADA.COM

**PROJECT MANAGER**

FARMHOUSE INVESTMENTS INC.  
701 REVERIE PRIVATE, OTTAWA, ON K2S 0T9  
TEL: (613) 878-5061  
E-MAIL: JEN@FARMHOUSEINVESTMENTS.CA

**CONSTRUCTION MANAGER**

ARGUE CONSTRUCTION LTD.  
2900 CARP ROAD, CARP, ON K0A 1L0  
TEL: (613) 851-7044  
E-MAIL: INFO@ARGUECONSTRUCTION.CA

**LAND SURVEYOR**

FARHALL, MOFFATT AND WOODLAND LIMITED  
100-400 TERRY FOX DRIVE, KANATA, ON K2L 4B6  
TEL: (613) 591-2880  
E-MAIL: INFO@FMW.ON.CA

**ARCHITECT**

A+ ARCHITECTURE INC.  
304-555 LEGGETT DRIVE, KANATA, ON K2K 2X3  
TEL: (613) 699-6860  
E-MAIL: INFO@APLUS-ARCH.COM

**CIVIL ENGINEER**

IBI GROUP  
400-555 PRESTON STREET, OTTAWA, ON K1S 3M4  
TEL: (613) 225-1311  
E-MAIL: DYANIOLOPOULOS@IBIGROUP.COM

**ELECTRICAL ENGINEER**

MAE ENGINEERING  
205 KINCARDINE DRIVE, KANATA, ON K2V 1C5  
TEL: (613) 836-3420  
E-MAIL: FARZAD@MAENGINEERING.CA

**LANDSCAPE ARCHITECT**

CSW LANDSCAPE ARCHITECTS  
502-319 WICKER AVENUE, OTTAWA, ON K1Z 0B9  
TEL: (613) 729-4536  
E-MAIL: EDWARDS@CSW.CA

01 RE-ISSUED FOR SPA 2018/12/18

02 ISSUED FOR SPA 2018/09/18

NO. ISSUE DATE (mm/dd/yyyy)

REVISIONS

NO.	ISSUE	DATE (mm/dd/yyyy)
01	RE-ISSUED FOR SPA	2018/12/18
02	ISSUED FOR SPA	2018/09/18

ORIENTATION

TRUE NORTH

SEAL

ONTOARIO ASSOCIATION OF ARCHITECTS

REGISTERED ARCHITECT

7786

A+ Architecture Inc.

555 LEGGETT DRIVE  
TOWER A, SUITE 304  
KANATA, ON K2K 2X3

+1 613 699 6860  
info@aplus-arch.com  
www.aplus-arch.com

CLIENT/OWNER

CCR PROCESS PRODUCTS

20 COPE DRIVE, KANATA, ONTARIO

PROJECT

CCR WAREHOUSE  
ADDITION & OFFICE  
RENOVATIONS

20 COPE DRIVE, KANATA, ONTARIO

DRAWING TITLE

SITE PLAN

DRAWN BY A.A. DRAWING NO. A1.0

REVIEWED BY A.A.

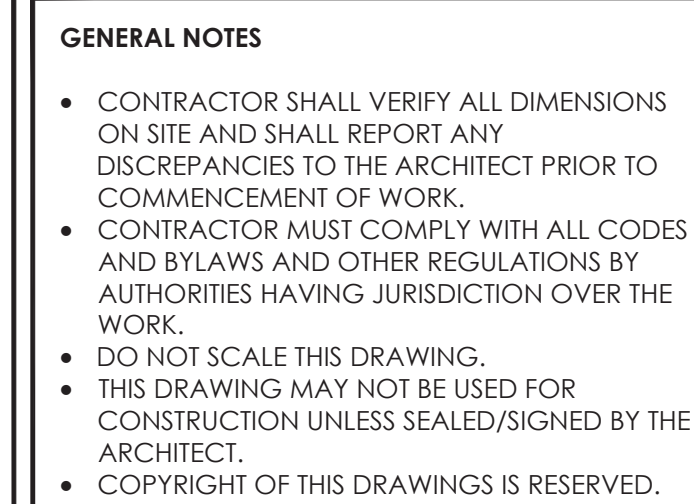
START DATE 2018/04/25

PROJECT NO. 18007 REVISION NO. 01


FILE NO. 2017-12-263044

PLAN NO. 14050





17	EMPOSED CONCRETE FOUNDATION WALL, FINISH W/ CEMENT BOARD OR SIMILAR APPROVED MATERIAL.
18	PRE-FINISHED INSULATED METAL PANEL, CLADDING SYSTEM (W/ PAPER OR FOAM EQUIVALENT), PROFILE AND COLOUR TO BE DETERMINED.
19	ALUMINIUM COMPOUND CLADDING PANELS (APJOUCE OR APPROVED EQUIVALENT).
20	FINISH SQUARE EDGE REVEAL (TYP. VERTICAL AND HORIZONTAL).
21	800MM HIGH CURTAIN WALL SYSTEM COMPRISING CLEAR ANODIZED ALUMINIUM FRAME, CLEAR ANODIZED GLASS AND SPANDREL PANELS.
22	CLEAR INSULATED GLASS.
23	SPANDREL PANEL (SHOW WITH LIGHT SHADE).
24	CLEAR ANODIZED ALUMINIUM ENTRANCE COMPRISING DOOR FRAME, DOOR, DOOR GLASS AND HANDLES.
25	PAINTED EXTERIOR STEEL CANOPY AND SUPPORT STRUCTURE.
26	PRE-CAST CONCRETE COLUMN BASE TO MATCH EXISTING CONCRETE STRUCTURE.
27	LOADING DOCK SYSTEM c/w DOCK LEVELER, DOCK SEAL AND PUMPER.
28	PRE-FINISHED STEEL DOOR, METAL BUILDING ROOFING FACTURE.
29	GARAGE CLOUSE/SHED STEEL GATES c/w HORIZONTAL CORRUGATED STEEL PANELS TO MATCH EXISTING DOOR AND ROOFING.
30	GAUVANIZED H.S.F. FOR GARAGE SCREEN SUPPORT (SEE SECTION FOR CONCRETE RETAINING WALL BELOW).
31	STEEL GRATING STAIR TREADS.
32	HORIZONTAL CORRUGATED STEEL GARAGE CLOUSE/SHED DOORS TO MATCH NEW BUILDING EXTERIOR FINISH.
33	POURED CONCRETE RETAINING WALL.
34	PAINTED INSULATED EXTERIOR STEEL DOOR AND FRAME.
35	DOUBLE GLASS IN BLACK ANODIZED ALUMINIUM WINDOW.
36	GAUVANIZED STEEL GUARD/HANDRAIL SECURED TO CONCRETE FOUNDATION WALL BELOW.
37	WALL MOUNTED ARCHITECTURAL SOURCE LIGHT FIXTURE (2' x 2' x 4") WITH INTEGRATED FULL DIMMABLE LED BULBS.
38	WALL MOUNTED LIGHT FIXTURE (TYP. OF 3), VOTED B, DOWN ONLY, WITH LED BULBS. POWDER COATED CHROME FINISH.

ORIENTATION	SEAL 
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DRAWING TITLE

**EXTERIOR ELEVATIONS**

DRAWN BY	A.A.	DRAWING NO.	<b>A4.0</b>
REVIEWED BY	A.A.		
START DATE	2018/04/25		
PROJECT NO.	18007	REVISION NO.	

PLAN NO.: 14050

