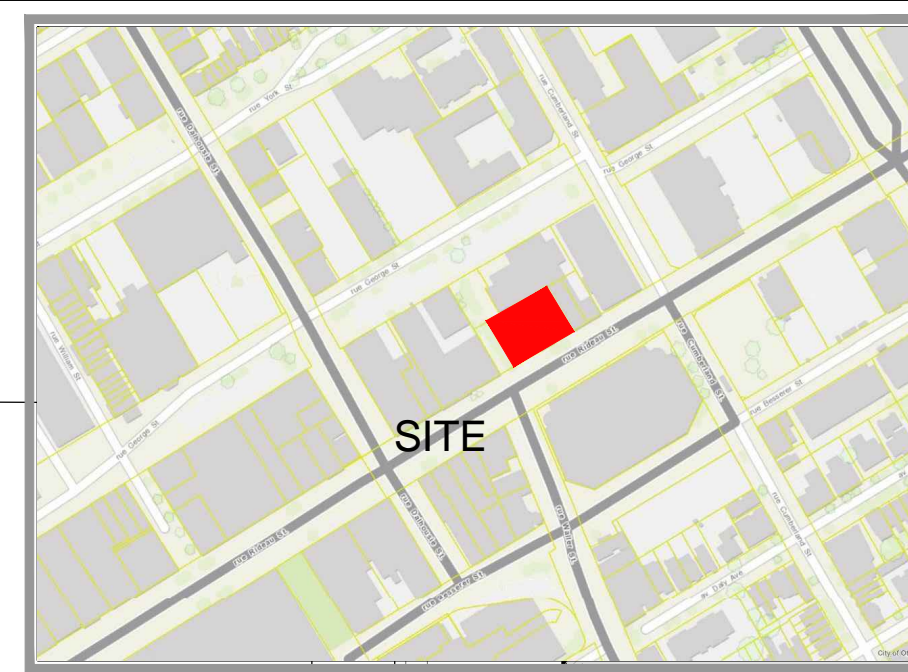
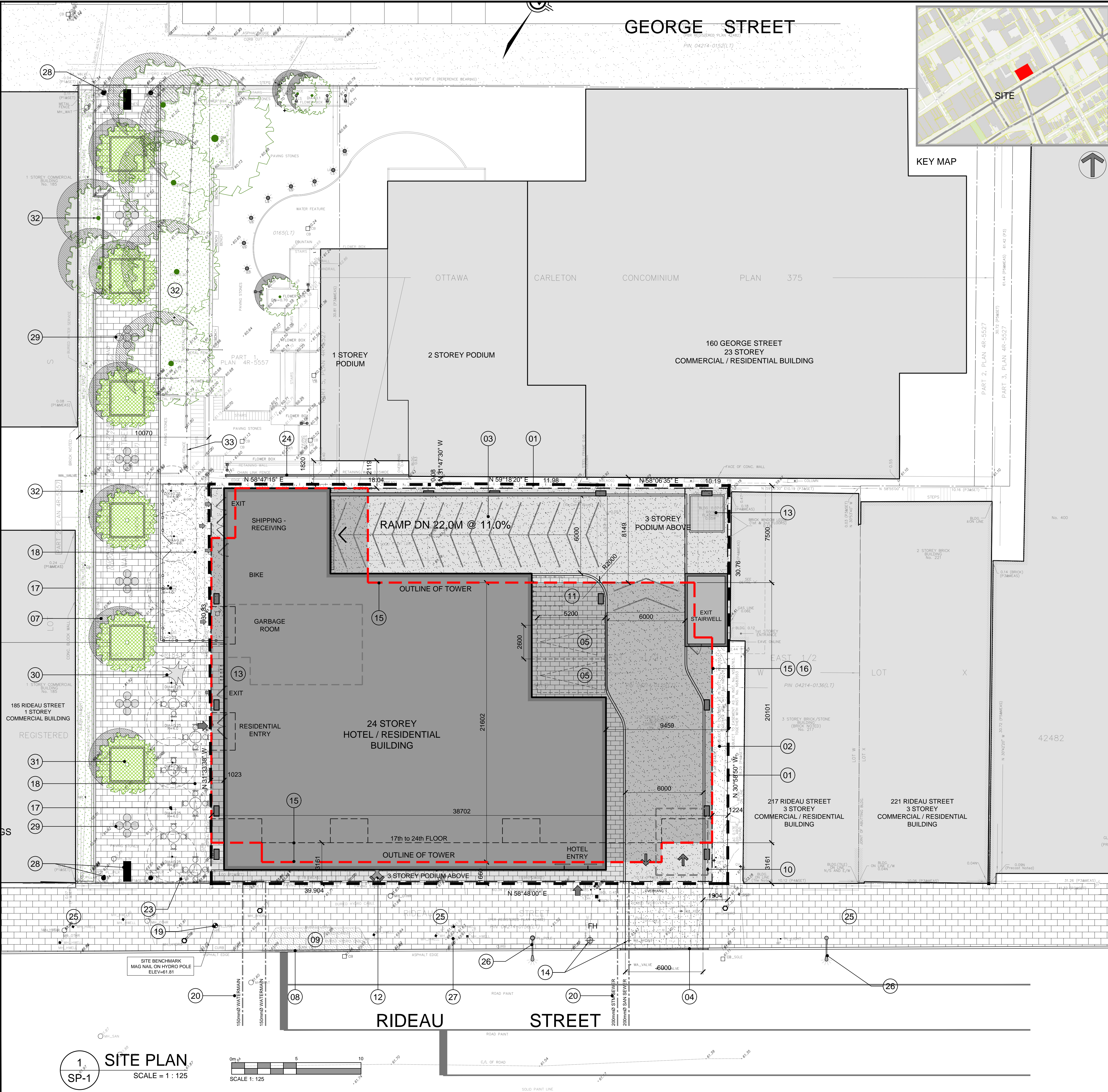


# GEORGE STREET



KEY MAP



- ### DRAWING NOTES
- PROPERTY LINE
  - HARD SURFACE PAVING, SEE LANDSCAPE PLAN FOR PATTERN AND TYPE
  - PARKING CASAGE ENTRY DRIVEWAY / RAMP WITH TRENCH DRAIN AND RETAINING WALLS AS REQUIRED
  - DEPRESSED CURB TO CITY STANDARDS
  - SHORT TERM PARKING SPACE (2.6 X 5.2 m)
  - 150mm BARRIER CURB
  - EXISTING CLOSED OFF LANDSCAPED PATHWAY TO BE OPENED AND REDESIGNED
  - REPLACE EXISTING DEPRESSED CURB WITH BARRIER CURB, TO CITY STANDARDS
  - EXISTING DEPRESSED PAVER WALK TO BE RE LEVELLED AS REQUIRED
  - STORM WATER TANK (P1 LEVEL) - SEE CIVIL PLAN
  - BICYCLE PARKING SPACE
  - SIAMESE CONNECTION
  - AIR INTAKE / EXHAUST GRILL
  - EXISTING FIRE HYDRANT, RELOCATED AS SHOWN
  - OUTLINE OF BUILDING ABOVE
  - OUTLINE OF UNDERGROUND PARKING LEVELS
  - EXISTING TREE / PLANT MATERIAL TO BE REMOVED
  - REMOVE EXISTING 1500mm HT. METAL PICKETS FENCE
  - PROPOSED LOCATION OF UNDERGROUND UTILITIES
  - GAS REGULATOR / METER EQUIPMENT AREA
  - REMOVE EXISTING 1 & 2 STOREY BUILDINGS
  - REMOVE EXISTING PATHWAY ENTRY PILLAR AND METAL GATES
  - EXISTING RETAINING / BUILDING WALL ON ADJACENT LAND
  - EXISTING CONCRETE UNIT PAVEMENT SIDEWALK
  - EXISTING CITY STREET LIGHTING
  - EXISTING UTILITY KIOSK
  - BOLLARDS / ENTRY COLUMN
  - PATH LIGHTING
  - ART FEATURE
  - TREES IN PLANTERS
  - EXISTING PLANTING
  - EXISTING 1500mm HT. METAL PICKETS FENCE

- ### SITE PLAN SYMBOLS
- CONCRETE UNIT PAVERS SURFACE
  - CONCRETE SURFACE
  - SOFT LANDSCAPING
  - BIKE RACK
  - TWO WAY VEHICLE CIRCULATION
  - MAIN ENTRANCE
  - COMMERCIAL DOOR / FIRE EXIT
  - PROPERTY LINE
  - CITY STREET LIGHTING

### PROJECT INFORMATION

ZONING	Zoning By-Law 2017-113	MD S82
SITE AREA	1,239.7 sq. m. (13,344) sq. ft.	
BUILDING HEIGHT - AS PER SCHEDULE S82	+ 77.0 - 80.0 m	

### PROJECT STATISTICS

BUILDING HEIGHT	77.0 M
AVERAGE MEAN GRADE (GEO. ELEV.)	61.90'!!

### GROSS BUILDING - AREAS

PARKING LEVELS (4)	0.0 sq. m.	0.0 sq. ft.
GROUND FLOOR	0.0 sq. m.	0.0 sq. ft.
2nd FLOOR - HOTEL SERVICES	0.0 sq. m.	0.0 sq. ft.
3rd FLOOR - APARTMENT AMENITY	0.0 sq. m.	0.0 sq. ft.
4th to 16th FLOOR	13 x 668.0 sq. m.	8,554.4 sq. m.
	13 x 7,083 sq. ft.	92,079 sq. ft.
17th FLOOR	578.3 sq. m.	6,141 sq. ft.
18th to 22nd FLOOR	5 x 619.1 sq. m.	3,095.5 sq. m.
	5 x 6,664 sq. ft.	31,775 sq. ft.
23rd FLOOR	632.2 sq. m.	6,816 sq. ft.
24th FLOOR	596.5 sq. m.	6,397 sq. ft.
MECHANICAL LEVEL	0.0 sq. m.	0.0 sq. ft.
TOTAL AREA ABOVE GRADE	13,900.7 sq. m.	143,168 sq. ft.

### UNIT STATISTICS

RESIDENTIAL UNIT	76
HOTEL UNIT	208
TOTAL	284

### CAR PARKING

REQUIRED BY ZONING BY-LAW

RESIDENCE	- NOT REQUIRED	0
VISITOR	- 0.1 PER DWELLING UNIT (AFTER 12 UNITS)	6
COMMERCIAL HOTEL	- NOT REQUIRED	0
TOTAL		6

### PROVIDED

RESIDENCE	0
VISITOR	6
COMMERCIAL HOTEL	115
TOTAL	121

### BICYCLE PARKING

REQUIRED

RESIDENCE	- 0.5 PER UNIT (76 UNITS)	38
COMMERCIAL HOTEL	- 1.0 PER 1,000M <sup>2</sup> OF G.F.A.	9
TOTAL		47

PROVIDED

BASEMENT LEVEL	99
EXTERIOR	4
TOTAL	103

### REVISIONS

No.	DESCRIPTION	DATE
1	ISSUED FOR SITE PLAN CONTROL	Dec. 07, 18
2	ISSUED FOR DESIGN CONCEPT	Oct. 17, 18

### LOT COVERAGE

PAVED SURFACE	= 350.8 sq. m.	29.5%
BUILDING FOOTPRINT	= 694.1 sq. m.	56.5%
LANDSCAPE OPEN SPACE	= 142.4 sq. m.	12.0%
TOTAL	= 1,187.3 sq. m.	100.0%

### AMENITY SPACE

PRIVATE BALCONIES	= 392.8 sq. m.
3rd FLOOR COMMUNAL INTERIOR	= 835.0 sq. m.
3rd FLOOR COMMUNAL EXTERIOR	= 26.0 sq. m.
TOTAL	= 1,253.8 sq. m.
REQUIRED - 6.0M <sup>2</sup> PER UNIT (76) =	456.0 sq. m.
REQUIRED COMMUNAL @ 50% =	228.0 sq. m.

### SURVEYOR

J.D. Barnes Limited  
2430 Don Reid Drive, Suite 204,  
Ottawa, Ontario, K1H 1E1  
Tel: (613) 731-7244  
Tel: (613) 731-7244  
Fax: (613) 731-8955  
Cell: (613) 852-9260  
E-Mail: cfox@jdbarnes.com

### CIVIL ENGINEER

David Schaeffer Engineering Ltd.  
120 Iher Road, Unit 203  
Stittsville, ON K2S 1E9  
Tel: (613) 836-0856  
Fax: (613) 836-7183  
Email: rfreel@DSEL.ca

### GEOTECHNICAL ENGINEER

paterson group  
154 Colonnade Road South  
Ottawa, Ontario  
K2E 7J5  
Tel: 613.226-7381  
Email: DGilbert@Patersongroup.ca

### LANDSCAPE ARCHITECT

James B. Lennox & Associates Inc.  
Landscape Architects  
3332 Carling Ave.  
Ottawa, Ontario K2H 5A8  
Tel: 613-722-5168  
Fax: 1-866-343-3942  
Email: JL@jbla.ca

### LEGAL DESCRIPTION

SURVEYOR'S REAL PROPERTY REPORT  
PART 1 - PLAN SHOWING  
PART OF LOT T, PART OF LOT U  
AND PART OF LOT W  
(NORTH RIDEAU STREET)  
REGISTERED PLAN 42482  
CITY OF OTTAWA

### PROJECT DEVELOPER

PRINCE DEVELOPMENTS  
56 Temperance Street, Suite 700,  
Toronto, Canada M5H 3V5  
Tel: (416) 903-1377  
Email: kvaugh@princedev.com

### URBAN PLANNER

FoTenn Consultants Inc.  
223 McLeod Street  
Ottawa, ON Canada, K2P 0Z8  
Tel: (613) 730-5709  
Tel: (613) 730-1136  
Fax: 1-866-343-3942  
E-Mail: mcelligott@fotenn.com

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.  
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.  
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.  
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### NOTATION SYMBOLS:

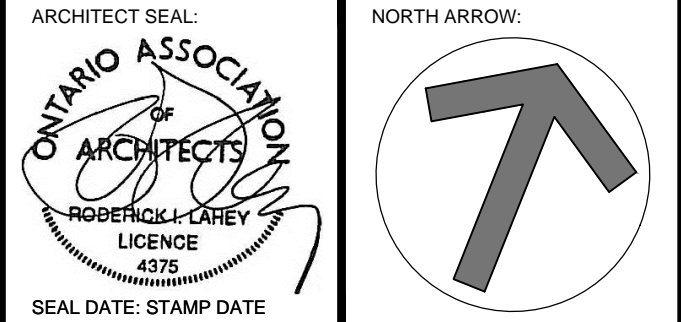
- INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A300 SERIES.
- INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A300 SERIES.
- DETAIL NUMBER
- TITLE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

### LRT ALIGNMENT DISCLAIMER

APPROXIMATE LRT TUNNEL AND SHORING ALLOWANCE LOCATION TAKEN FROM CITY OF OTTAWA DRAWINGS CONFEDERATION LINE WEST LRT EXTENSION - TUNNEY'S PASTURE STATION TO BASELINE STATION; PLAN AND PROFILE - NEW ORCHARD STATION 56+70 - 59+70 SHEET 16, DATED JUNE 2, 2016 & GENERAL ARRANGEMENT - RICHMOND ROAD TUNNEL SHEET 102, DATED FEBRUARY 10, 2016

### REVISIONS

No.	DESCRIPTION	DATE
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2	ISSUED FOR DESIGN CONCEPT	Oct. 17, 18



PRINCE DEVELOPMENTS  
56 Temperance Street, Suite 700, Toronto, ON M5H 3V5

rla/architecture  
roderick lahey architect inc.  
56 beech street, ottawa, ontario K1S 3J6  
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:  
**201 RIDEAU STREET**

SHEET TITLE:  
**SITE PLAN**

DRAWN: RV	CHECKED: M.L.
SCALE: 1:125	SHEET No.:
PROJECT No.:	<b>SP-1</b>