

154 Colonnade Road South  
Ottawa, Ontario  
Canada, K2E 7J5  
Tel: (613) 226-7381  
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September 28, 2018  
File: PE1556-LET.05

### **Controlex Corporation**

100-223 Colonnade Road South  
Ottawa, Ontario,  
K2E 7K3

Geotechnical Engineering  
Environmental Engineering  
Hydrogeology  
Geological Engineering  
Materials Testing  
Building Science  
Archaeological Studies

Attention: **Mr. Mike Green**

[www.patersongroup.ca](http://www.patersongroup.ca)

Subject: **Phase I - Environmental Site Assessment Update  
Commercial/Retail Property  
1501 Innes Road – Proposed Retail Unit F  
Ottawa, Ontario**

Dear Sir,

Further to your request, Paterson Group (Paterson) conducted a Phase I - Environmental Site Assessment (ESA) Update for the aforementioned property. This report updates a Phase I ESA entitled "Update to Phase I-ESA, Commercial Property, 1497, 1499, 1501 and 1515 Innes Road, Ottawa, Ontario" prepared by Paterson, dated in April 7, 2014.

## **Background**

The subject site is a paved parking lot located on the eastern portion of a commercial property, addressed 1501 Innes Road, in the City of Ottawa, Ontario. A Phase I-ESA Update was conducted for the subject property by Paterson in 2014. Based on the findings of the updated Phase I-ESA, no changes had been made to the subject site and surrounding lands. The commercial use of the subject property and adjacent lands were not considered to have the potential to have impacted the subject property. No further Phase I-ESA or Phase II-ESA work was recommended at that time.

## **Site Conditions**

A site visit was conducted on September 28, 2018. No significant changes appear to have been made to the site since the Update Phase I ESA in 2014. The subject site is a vacant parking lot for the adjacent retail stores (Home Sense and Mark's Work Warehouse) on the subject property (1501 Innes Road). The site topography slopes slightly towards the southwest, while the regional topography slopes gently towards the

south and southwest in the direction of Green's Creek approximately 150 m from the subject site. No changes to the land use of the surrounding properties were observed during the site visit.

## Updated Records Review

A request was submitted on September 27, 2018 to the MECP Freedom of Information (FOI) office for information with respect to certificates of approval, permits to take water, certificates of property use or any other similar MECP issued instruments for the site. A response from the MECP had not been received at the time this report was issued. Any pertinent information will be forwarded to the client upon receipt. A copy of the request form has been appended to this report.

A Historical Land Use Inventory (HLUI) was submitted to the City of Ottawa was requested September 27, 2018 to identify any activities on the subject site and adjacent properties within a 50 m search radius. A response from the City of Ottawa had not been received at the time this report was issued. Any pertinent information regarding the subject site will be forwarded to the client upon receipt. A copy of the request form has been appended to this report.

The TSSA, Fuels Safety Branch in Toronto was contacted electronically on September 27, 2018 to inquire about current and former underground storage tanks, spills and incidents for the site and neighbouring properties. According to the TSSA report, an expired private fuel outlet and two (2) fuel tanks were identified on the subject property (1501 Innes Road). These fuel tanks and its associated equipment is not a concern to have had impact the subject site due to the decommissioning and site remediation conducted by Paterson in 2001.

Two (2) active retail fuel outlets (RFOs) were also identified in the report, at 1494 Innes Road and 1900 Cyrville Road, approximately 70 m south and 130 m southeast of the subject site, respectively. Based on the separation distance and/or down-gradient location with respect to the subject site, both RFOs are not expected to have had impact the subject site or the property.

The latest aerial photograph reviewed at the time of the Phase I ESA Update, was dated 2007. A review of aerial photographs from 2008 and 2017 show that the subject property has remained unchanged (paved parking lot) since the latest Phase I-ESA update. No significant changes were noted with regards to the surrounding properties within the Phase I study area.

The adjacent properties/buildings to the east, west and south of the subject site were occupied by a fast food restaurant (Wendy's Restaurant), RFOs (Esso and Costco Gas

Station) and retail businesses (Homesense and Marks' Work Warehouse), respectively. As previously discussed the RFOs are not considered to pose impact to the subject site or property.

## **Update Conceptual Site Model**

Based on the above noted records and the site visit, no significant changes have been made to the subject site or adjacent properties. No new potentially contaminating activities or areas of potential environmental concern were identified as part of the Phase I ESA Update. Based on this Phase I-ESA Update, it is our opinion that a Phase II-ESA is not required for the subject site located in the southeast corner of 1501 Innes Road, Ottawa, Ontario.

## Statement of Limitations

This Phase I - Environmental Site Assessment Update report has been prepared in general accordance with Ontario Regulation 153/04, as amended by O.Reg. 269/11 under the Environmental Protection Act. The conclusions presented herein are based on information gathered from a limited historical review and field inspection program. The findings of the Phase I - ESA Update are based on a review of readily available geological, historical and regulatory information and a cursory review made at the time of the field assessment.

Should any conditions be encountered at the subject site and/or historical information that differ from our findings, we request that we be notified immediately in order to allow for a reassessment.

This report was prepared for the sole use of Controlex Corporation. Permission and notification from the above noted party and Paterson will be required to release this report to any other party. We trust that this submission satisfies your current requirements. Should you have any questions please contact the undersigned.

### Paterson Group Inc.



Mandy Witteman, M.A.Sc.



Mark S. D'Arcy, P.Eng.



### Report Distribution:

- ☐ Controlex Corporation
- ☐ Paterson Group

### Appendix:

- ☐ MECP FOI Request
- ☐ City of Ottawa Historic Land Use Response
- ☐ Drawing PE1556-1 – Site Plan

Ministry of the Environment,  
Conservation and Parks

Freedom of Information and  
Protection of Privacy Office

12<sup>th</sup> Floor  
40 St. Clair Avenue West  
Toronto ON M4V 1M2  
Tel: (416) 314-4075  
Fax: (416) 314-4285

Ministère de l'Environnement, de  
la Protection de la nature et des  
Parcs

Bureau de l'accès à l'information et  
de la protection de la vie privée

12<sup>e</sup> étage  
40, avenue St. Clair ouest  
Toronto ON M4V 1M2  
Tél.: (416) 314-4075  
Téléc.: (416) 314-4285



September 28, 2018

Mandy Witteman  
Paterson Group Inc.  
154 Colonnade Road  
Ottawa, ON K3E 7J5

Dear Mandy Witteman:

RE: ***Freedom of Information and Protection of Privacy Act Request***  
**Our File # A-2018-06523, Your Reference PE1556**

The Ministry is in receipt of your request made pursuant to the *Freedom of Information and Protection of Privacy Act* and has received your payment in the amount of \$5.00 (non-refundable application fee), along with your \$30.00 deposit.

**The search is being conducted on the following: 1501 Innes Road, Gloucester.  
If there is any discrepancy please contact us immediately.**

You may expect a reply or additional communication as your request is processed.  
For your information, the Ministry charges for search, copying and preparation time.

If you have any questions regarding this matter, please contact Jennifer Lee at  
[jennifer.lee7@ontario.ca](mailto:jennifer.lee7@ontario.ca).

Yours truly,

**ORIGINAL SIGNED BY**

Janet Dadufalza  
FOI Manager

# patersongroup

## Consulting Engineers

154 Colonnade Road South  
Ottawa, Ontario  
Canada, K2E 7J5

**Tel: (613) 226-7381**

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September 26, 2018

File: PE1556-HLUI

**City of Ottawa**

110 Laurier Avenue W

Ottawa, Ontario

K1P 1J1

Geotechnical Engineering  
Environmental Engineering  
Hydrogeology  
Geological Engineering  
Materials Testing  
Building Science  
Archaeological Services

[www.patersongroup.ca](http://www.patersongroup.ca)

Subject: **Authorization Letter, HLUI Search  
Phase I-Environmental Site Assessment  
1497, 1499, 1501 and 1515 Innes Road  
Ottawa, Ontario**

Dear Sir or Madame,

Please consider this letter as confirmation that Paterson Group has been retained to conduct a Phase I-Environmental Site Assessment at the aforementioned property.

With this letter, the property owner authorizes the City of Ottawa and other regulatory bodies to release, to Paterson Group, information requested for the purpose of completing an environmental assessment of the property.

**Name of Company/Property Owner:**

INNES CROSSING INC.

**Name of Representative**

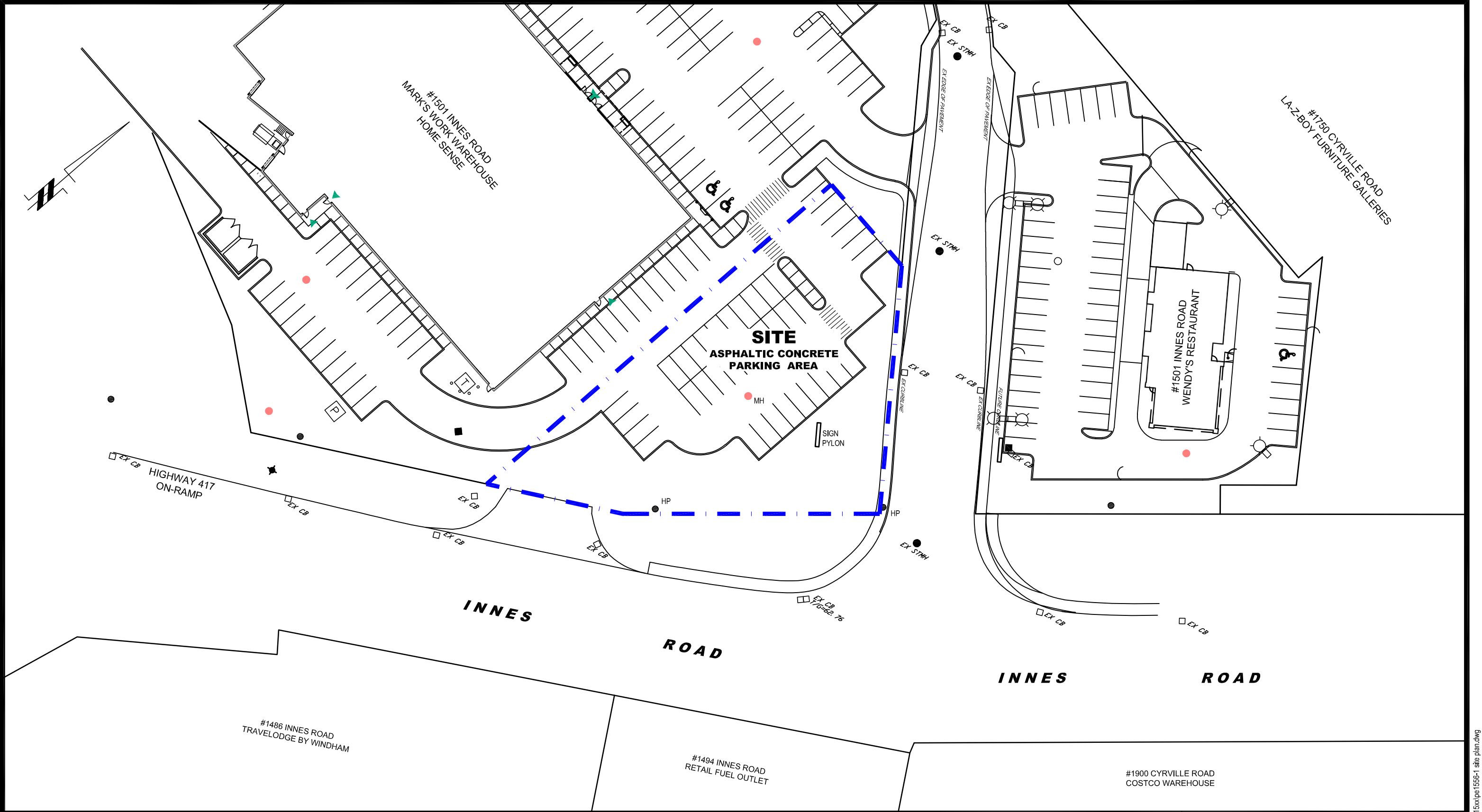
PETER DENT

**Authorization of Representative**



**Date**

Sept 26/18



**patersongroup**  
consulting engineers

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|-----|-----------|------|---------|
| NO. | REVISIONS | DATE | INITIAL |

|  |         |
|--|---------|
| CONTROLEX CORPORATION                          |         |
| PHASE I - ENVIRONMENTAL SITE ASSESSMENT UPDATE |         |
| 1501 INNES ROAD                                |         |
| OTTAWA,  | ONTARIO |
| Title: SITE PLAN                               |         |

|              |       |               |               |
|--------------|-------|---------------|---------------|
| Scale:       | 1:600 | Date:         | 09/2018       |
| Drawn by:    | MPG   | Report No.:   | PE1556-LET.05 |
| Checked by:  | MW    | Dwg. No.:     | PE1556-1      |
| Approved by: | MSD   | Revision No.: | 0             |