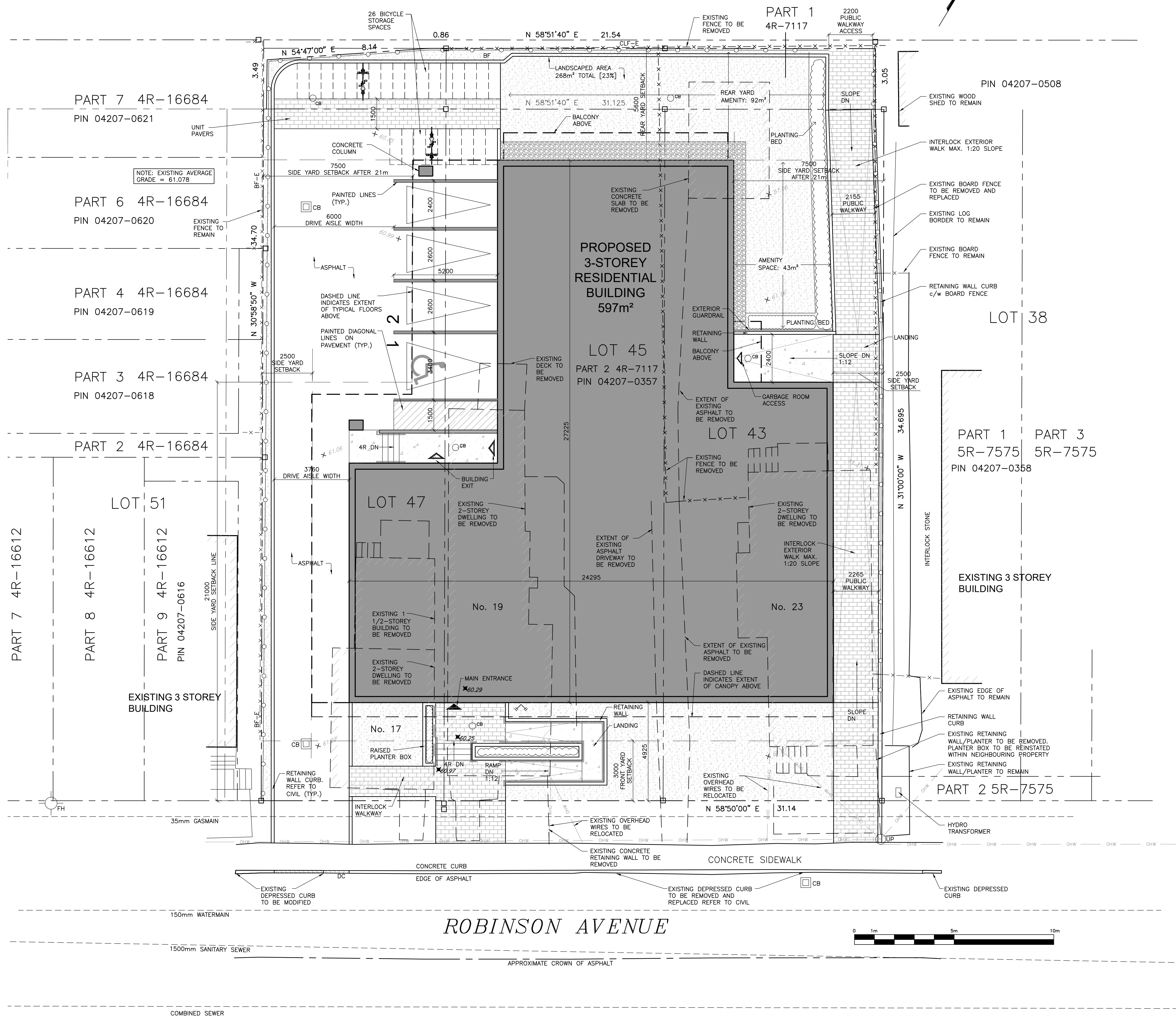
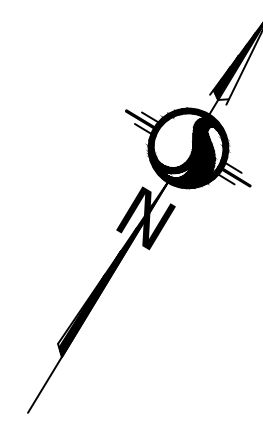


# LOT F, CONCESSION D (RIDEAU FRONT)

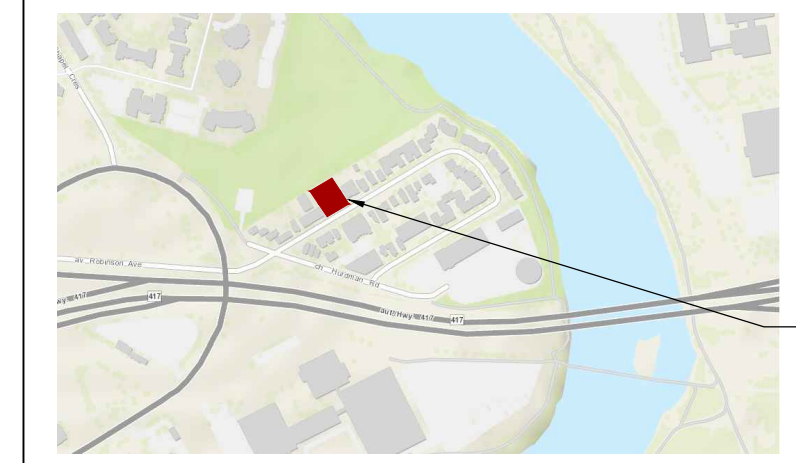
PART 1 4R-598

PIN 04207-0134

- NOTE:
- PROPERTY BOUNDARY INFORMATION DERIVED FROM SURVEY PLAN COMPLETED BY STANTEC GEOMATICS LTD. DATED JULY 10, 2009.
  - REFER TO LANDSCAPE PLANS FOR LOCATIONS OF TREES & PLANTINGS.



## KEY PLAN



## PROPERTY DESCRIPTION

TCU - THREE STOREY RESIDENTIAL BUILDING	
CITY OF OTTAWA PIN NUMBER	04207 0357
MUNICIPAL ADDRESS	19 Robinson Avenue

## SITE INFORMATION

LOT AREA:	1,170.9m²
LOT FRONTAGE:	31.14m
LOT DEPTH:	37.745m

## BUILDING INFORMATION

BUILDING AREA:	597m²
BUILDING FLOOR AREA:	1,791m²
PROPOSED USE:	APARTMENT DWELLING, LOW-RISE
UNIT BREAKDOWN:	8 UNITS 4-STUDIO (B/F), 4-1 BD (B/F)
FIRST FLOOR:	13 UNITS 7-STUDIO, 5-1 BD, 1-2BD
SECOND FLOOR:	13 UNITS 7-STUDIO, 5-1 BD, 1-2BD
THIRD FLOOR:	13 UNITS 7-STUDIO, 5-1 BD, 1-2BD
TOTAL:	47 UNITS 25-STUDIO, 19-1 BD, 3-2BD

## ZONING TABLE

CITY OF OTTAWA ZONING BY-LAW No. 2008-250	R5N [2053] S312	REQUIRED	PROPOSED
MINIMUM LOT AREA	450m²	1,170.9m²	
MINIMUM LOT WIDTH	15m	31.14m	
FRONT YARD SETBACK	3m	4.93m	
MINIMUM INTERIOR SIDE YARD SETBACK	2.5m within 21m of front lot line 7.5m in all other circumstances	2.5m for 21m 7.5m for BALANCE	
MINIMUM REAR YARD SETBACK	5.6m	5.6m	
MAXIMUM BUILDING HEIGHT	12.7m to 18.9m	10.9m	
MAXIMUM FLOOR SPACE INDEX	N/A		
LANDSCAPED AREA	30% = 351.27m²	29% = 341.8m² incl. public access walkway	
VEHICLE PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0 parking spaces for first 12 units Table 101 - Dwelling low-rise apartment 0.5 per dwelling unit = 19 spaces	0 SPACES	
VISITOR PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0.1 / DWELLING UNIT AFTER 12 UNITS 4 SPACES REQUIRED	4 SPACES	
AMENITY AREA REQUIREMENTS	15m² per unit for the first 8 units = 120m² 5m² per dwelling unit in excess of 8 = 234m² Total = 354m²	92m² REAR YARD AMENITY 43m² REAR SIDE YARD AMENITY 72m² BALCONIES 148m² ROOFTOP AMENITY	
BICYCLE PARKING SPACES	0.5 per dwelling unit = 24	26	

## LEGEND

- SOFT LANDSCAPING
  - UNIT PAVERS REFER TO LANDSCAPE
  - ASPHALT PAVING
  - CONCRETE
  - RIVER STONES. REFER TO LANDSCAPE
  - EXISTING BUILDING ELEMENT TO BE REMOVED
  - EXISTING FENCE
  - NEW SCREEN FENCE
  - NEW BOARD FENCE
  - LOT LINE
  - SETBACK LINE
  - DESIGNATED BUILDING ENTRANCE / EXIT
  - FIRE HYDRANT. REFER TO CIVIL
  - CATCH BASIN
  - MANHOLE
  - FLOOR DRAIN
  - UTILITY POLE
  - OVERHEAD UTILITY WIRES
  - LIGHT STANDARD
  - DEPRESSED CURB
  - EXISTING TREE TO REMAIN (REFER TO LANDSCAPE DRAWINGS)
  - NEW TREE (REFER TO LANDSCAPE DRAWINGS)
  - NEW SHRUBS (REFER TO LANDSCAPE DRAWINGS)
  - EXISTING GROUND ELEVATION [TO DETERMINE EXISTING AVERAGE GRADE]
  - NEW GROUND ELEVATION REFER TO CIVIL
- NOTE: 'X'-E INDICATES EXISTING TO REMAIN

No. Date: 1 2018-07-09 COORDINATION, 2 2018-07-17 COORDINATION, 3 2018-11-21 SITE PLAN CONTROL

Engineer / Architect: Stantec

Client / Client: Robinson Village I Limited Partnership

Architects: Rubin & Rotman architects

19 ROBINSON AVE. THREE STOREY APARTMENT BUILDING

19 Robinson Avenue, Ottawa ON

Site Plan

Designé par / Drawn by: MD, No. projet / Project number: 1834

Verifié par / Verified by: RC, No. dessin / Drawing number: [blank], Revision / Revision: [blank]

Echelle / Scale: As indicated

Date de création du dessin / Drawing creation date: 2018/05/01

A105