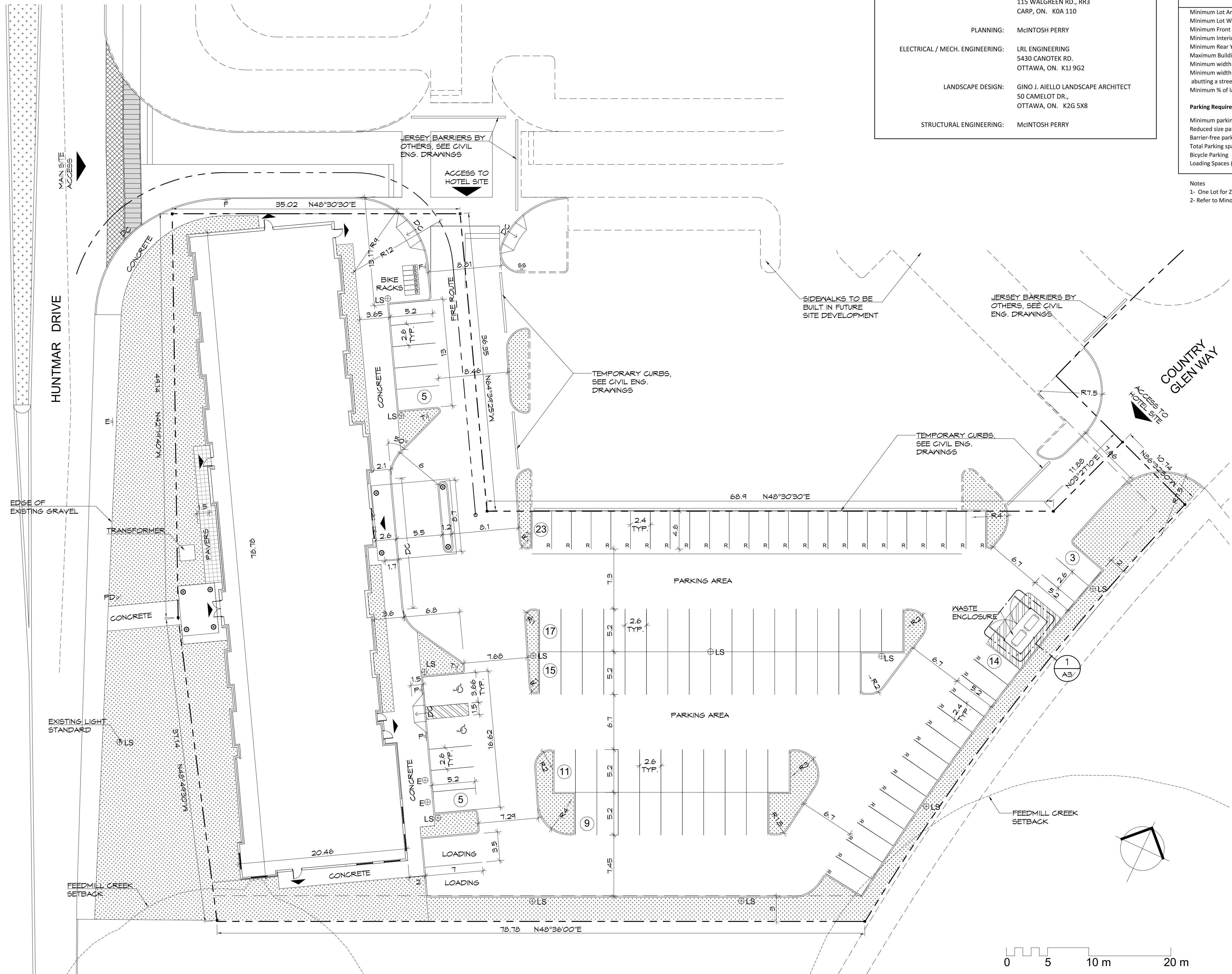




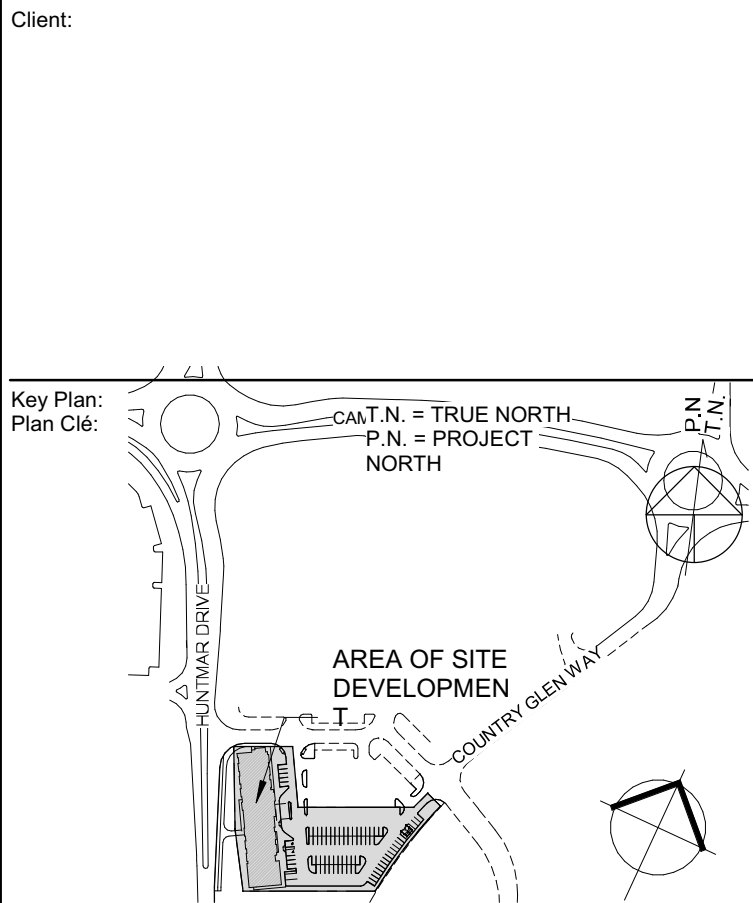
1 SITE PLAN
A1 SCALE: 1 : 250

MICROTEL HOTEL KANATA 340 HUNTMAR DRIVE OTTAWA, ONTARIO	
OWNER / APPLICANT:	ACTIVAR INC. 2-107 FOURTH AVE. OTTAWA, ON. K1S 2L1
ARCHITECTURE:	DREDGE LEAHY ARCHITECTS INC. 25 HOLLAND AVE, SUITE 100 OTTAWA, ON. K1Y 4R9
CIVIL ENGINEERING:	McINTOSH PERRY 115 WALGREEN RD., RR3 CARP, ON. K0A 110
PLANNING:	McINTOSH PERRY
ELECTRICAL / MECH. ENGINEERING:	LRL ENGINEERING 5430 CANOTEK RD. OTTAWA, ON. K1J 9G2
LANDSCAPE DESIGN:	GINO J. AIELLO LANDSCAPE ARCHITECT 50 CAMELOT DR., OTTAWA, ON. K2G 5X8
STRUCTURAL ENGINEERING:	McINTOSH PERRY

ZONING COMPLIANCE TABLE		
Project: Microtel Kanata		
Address: 340 Huntmar Drive, Ottawa, ON		
PARTS 1, 2, & 3 OF BLOCK 1 REGISTERED PLAN 4M-1563 CITY OF OTTAWA SURVEYED BY STANTEC GEOMATICS LTD.		
Zoning: MC H(4S) Property Identification Number : 045100966 Existing Lot Area: 6,350 m2 Site Development Area Frontage: 10.74 m Country Glen Way / 86.3 m Huntmar Dr. Building Gross Floor Area: 4,035 m2		
	REQUIRED	PROVIDED
Minimum Lot Area	no minimum	6,350 m2
Minimum Lot Width	no minimum	86 m
Minimum Front Yard	no minimum	2 m
Minimum Interior Side Yard	no minimum	0.5 m
Minimum Rear Yard	no minimum	58 m
Maximum Building Height	45 m	17 m
Minimum width of landscaping abutting a street	no minimum	>3 m
Minimum width of landscaping: parking to lot line not abutting a street (100 or more spaces)	3 m	3 m
Minimum % of landscape area	15 %	15 %
Parking Requirements		
Minimum parking rates for Hotel (Area C): 1 per guest unit	108	102
Reduced size parking spaces (maximum 40% of total)		37
Barrier-free parking spaces	2	2
Total Parking spaces (including barrier free parking spaces)	108	102
Bicycle Parking	5	6
Loading Spaces (3.5 x 7 m.)	2	2

Notes
1. One Lot for Zoning Provisions (Section 93) shall apply to this site and the adjacent Arcadia Retail Complex
2. Refer to Minor Variance Application D08-02-17/A-00352 for reduced parking.

SITE PLAN LEGEND	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	FUTURE DEVELOPMENT
---	NEW CURB
DC	NEW DEPRESSED CURB
▲	ENTRANCE / EXIT
⊕ LS	LIGHT STANDARD (REFER TO LIGHTING PLAN)
⊕ E	ELECTRIC CAR CHARGING STATION
E	EXISTING SIGN
P	ACCESSIBLE PARKING SIGN
F	FIRE ROUTE SIGN
T	TRAFFIC SIGN (ONE-WAY ONLY)
SS	STOP SIGN
PD	SIGN "NO PEDESTRIAN ACCESS TO HUNTMAR DRIVE"
♿	ACCESSIBLE PARKING SPACE
□	STANDARD PARKING SPACE (2.6 X 5.2 M.)
□	REDUCED SIZE PARKING SPACE C/M SIGNAGE (2.4 X 5.2 M. OR 2.4 X 4.6M.)
□	BICYCLE PARKING SPACE (0.6 X 1.8M)
▨	LANDSCAPED AREA
▨	PAINTED LINES
▨	PEDESTRIAN WALKWAY
▨	CONTINUE THERMOPLASTIC PAINT TO DEPRESSED CURB



4	RE-ISSUED FOR SITE PLAN APPLICATION COMMENTS	11/23/2018
3	RE-ISSUED FOR SITE PLAN APPLICATION COMMENTS	05/09/2018
2	ISSUED FOR COORDINATION	04/12/2018
1	ISSUED FOR SITE PLAN APPLICATION	10/27/2017

Issue: Date:

Prime Consultant:

Expert-Consult:

DREDGE LEAHY ARCHITECTS INC.
100 - 25 Holland Ave.
Ottawa, ON K1Y 4R9
613.724.9865
dl-arch.ca

Project:
Project: MICROTEL KANATA - 340
HUNTMAR DRIVE, KANATA, ON

340 HUNTMAR DRIVE, KANATA, ON

Drawing:
Dessin: SITE PLAN

Drawn by:
Dessiné par: S.G.
Scale:
Echelle: As indicated

Designed by:
Conçu par: S.G. / M.D.
Date: NOV. 22/18

Approved by:
Approuvé par: M.D.
Client Project No.
No. du Projet du Client:

Seal:
Sceau: Project No.:
No. du Projet: 1394

Sheet No.:
No. de la feuille:

A1

D07-12-17-0158