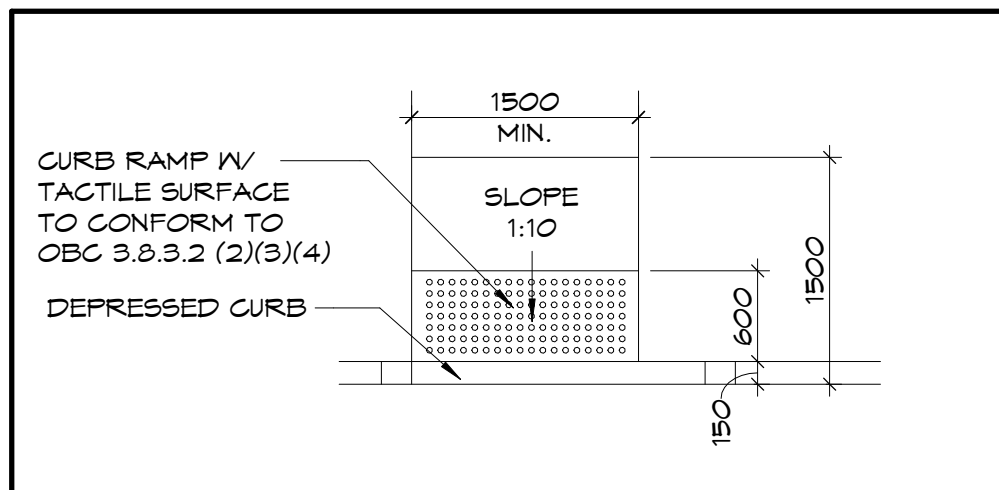


4 TYPICAL BARRIER-FREE RAMP W/SIDES
A-1 SCALE: 1: 50



3 TYPICAL BARRIER-FREE RAMP DETAIL
A-1 SCALE: 1: 50

ZONING COMPLIANCE TABLE		
Project: COWAN'S GROVE RETAIL PLAZA NORTH SITE		
Address: 4791 Bank Street, Ottawa K1T3W7		
Zoning: GM		
Property Identification Number : 043450808		
Existing Lot Area: 9,423 m ²		
Gross Floor Area (all buildings): 2,061 m ²		
Legal Description: PART OF LOT 19 CONCESSION 5 (RIDEAU FRONT) GEOGRAPHIC TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA PART OF BLOCK 246		
	REQUIRED	PROVIDED
Minimum Lot Area	no minimum	9,423 m ²
Minimum Lot Width	no minimum	80 m
Minimum Front Yard + Corner Side Yard	3 m	3 m
Minimum Side Yard	3 m	3 m
Minimum Interior Side Yard	5 m	5 m
Minimum Rear Yard Abutting a Residential Zone	7.5 m	7.5 m
Maximum Floor Space Index	2	0.24
Maximum Building Height	18 m	6.7 m
Minimum width of landscaping abutting a street	3 m	3 m
Minimum width of landscaping abutting a residential zone	3 m	3 m
Minimum width of landscaping around a parking lot	3 m	3 m
Landscape provision for Parking lots	15 %	43 %
Parking Requirements		
Parking Space for Retail Store Use	372 m ² @ 3.4/100 m ²	13
Parking Spaces for Restaurant Use	567 m ² @ 10/100 m ²	57
Parking Spaces for Bank Use	308 m ² @ 3.4/100 m ²	10
Parking Spaces for Medial Facility	220 m ² @ 10/100 m ²	9
Personal service	434m ² @ 3.4/100m ²	15
Animal Care	160m ² @ 4/100m ²	6
Total Parking spaces required (including barrier free parking spaces)		110
Minimum queuing spaces for Drive-Thru (Bank use)		4
Barrier-free parking spaces	2	3
Reduced Parking Space (2.4m x 5.2m)	Allowed 40%	36 (30%)
Bicycle Parking (1/250 sq.m GFA)		9
Loading space requirement		0

ZONING COMPLIANCE TABLE		
Project: COWAN'S GROVE RETAIL PLAZA SOUTH SITE		
Address: 4791 Bank Street, Ottawa K1T3W7		
Zoning: GM		
Property Identification Number : 043450808		
Existing Lot Area: 4,608.8 m ²		
Gross Floor Area (all buildings): 856 m ²		
Legal Description: PART OF LOT 19 CONCESSION 5 (RIDEAU FRONT) GEOGRAPHIC TOWNSHIP OF GLOUCESTER, CITY OF OTTAWA BLOCK 222		
	REQUIRED	PROVIDED
Minimum Lot Area	no minimum	4,609 m ²
Minimum Lot Width	no minimum	43 m
Minimum Front Yard + Corner Side Yard	3 m	3 m
Minimum Side Yard	3 m	3 m
Minimum Interior Side Yard	5 m	5 m
Minimum Rear Yard Abutting a Residential Zone	7.5 m	7.5 m
Maximum Floor Space Index	2	0.25
Maximum Building Height	18 m	6.7 m
Minimum width of landscaping abutting a street	3 m	3 m
Minimum width of landscaping abutting a residential zone	3 m	3 m
Minimum width of landscaping around a parking lot	3 m	3 m
Subzone Provisions	n/a	n/a
Landscape Provision for Parking lots	15 %	45 %
Parking Requirements		
Parking Space for Retail Store Use	314m ² @ 3.4/100m ²	11
Parking Spaces for Restaurant Use	330m ² @ 10/100m ²	33
Parking Spaces for Restaurant w/ drive through	212m ² @ 10/100m ²	17
(less 20% - with order board)		
Total Parking spaces required (including barrier free parking spaces)		61
Barrier-free parking spaces	1	2
Reduced Parking Space (2.4m x 5.2m)	Allowed 40%	23 (37 %)
Bicycle Parking (1/250 sq.m GFA)		4
Loading space requirement		0

COWAN'S GROVE PLAZA

OWNER / APPLICANT: URBANDALE CORPORATION
2193 ARCH ST.
OTTAWA, ON K1G 2H5
613.731.6331

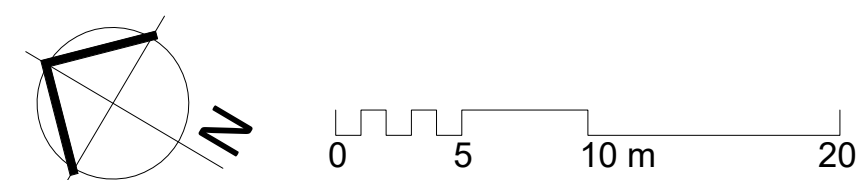
ARCHITECTURE: DREDGE LEAHY ARCHITECTS INC.
25 HOLLAND AVE. SUITE 100
OTTAWA, ON. K1Y 4R9
613.724.9865

SURVEYORS: ANNIS, O'SULLIVAN, VOLLEBECK LTD.
14 CONCORSE GATE, SUITE 500
OTTAWA, ON. K2E 7S6
613.727.0850

CIVIL ENGINEERING: IBG GROUP
SUITE 400, 333 PRESTON STREET
OTTAWA, ON. K1S 5N4
613.225.1511

ELECTRICAL / MECH. ENGINEERING: JRP ENGINEERING
9 HUSGATE COURT
OTTAWA, ON. K2K 1B4
613.627.2462

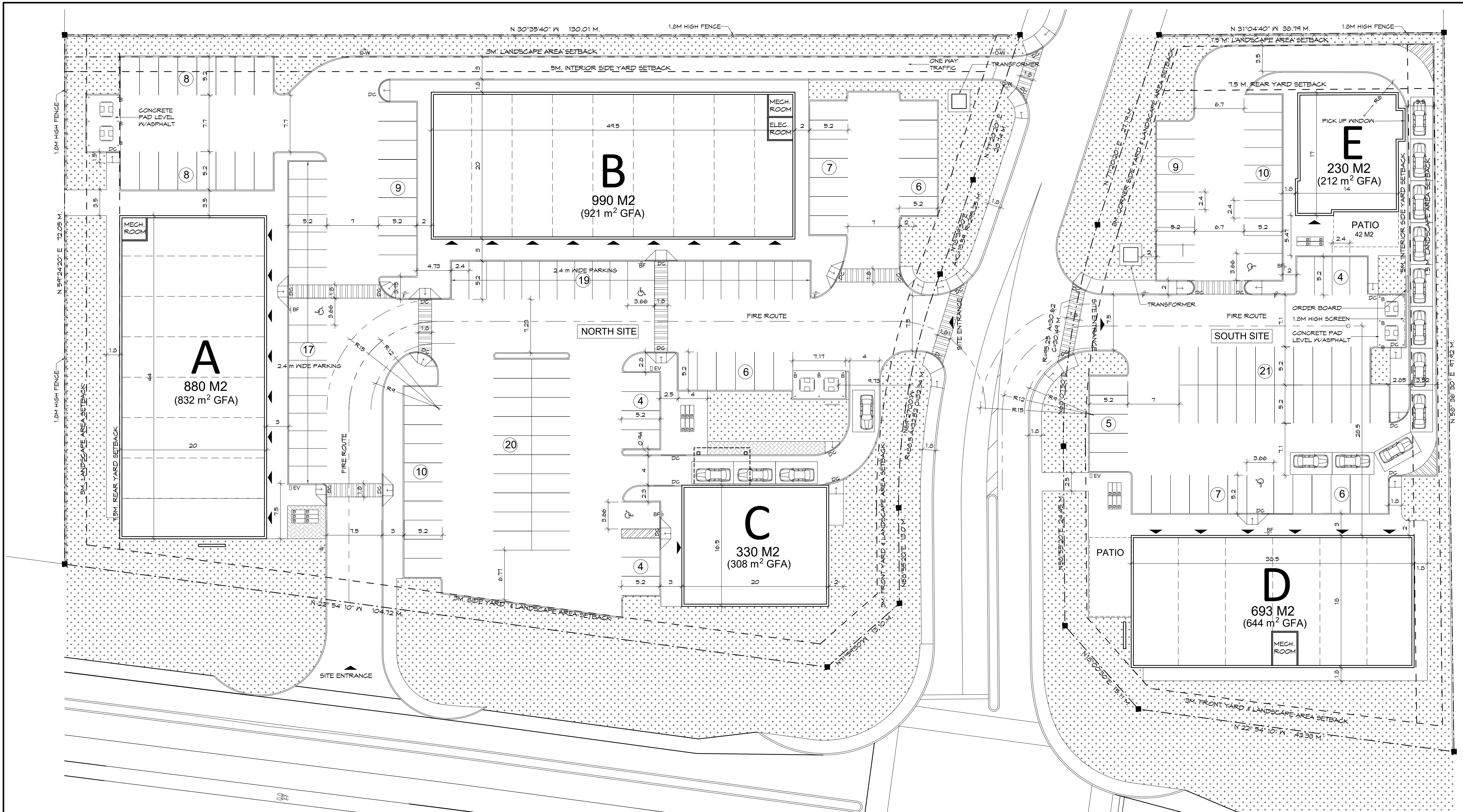
LANDSCAPE DESIGN: F. D. FOUNTAIN LANDSCAPE ARCHITECTURE
AND URBAN DESIGN
3-1735 COURTWOOD CRESCENT
OTTAWA, ON. K2C 3J2
613.216.2934



SITE PLAN LEGEND	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	NEW CURB
DC	NEW DEPRESSED CURB
▲	SITE / BUILDING ENTRANCE
⊙LS	LAMP STANDARD
⊙B	BOLLARD
⊙BF	ACCESSIBLE PARKING SIGN
⊙F	FIRE ROUTE SIGN
⊙OW	ONE WAY TRAFFIC SIGN
⊙EV	ELECTRIC CAR CHARGING STATION
⊙	ACCESSIBLE PARKING SPACE (3.66 X 5.2 M.)
⊙	STANDARD PARKING SPACE (2.6 X 5.2 M.)
⊙	BICYCLE PARKING SPACE (0.8 X 1.8M)
⊙	LANDSCAPED AREA
---	PAINTED LINES
---	1.0M HIGH FENCE
---	1.0M HIGH SCREEN
⊙	EARTH BIN SYSTEM WASTE CONTAINER

Client: **Urbandale CORPORATION**

Key Plan: T.N. = TRUE NORTH
P.N. = PROJECT NORTH



1 SITE PLAN
A-1 SCALE: 1: 300

ISSUED FOR SITE PLAN RE-SUBMISSION	11 / 13 / 2018
ISSUED FOR SITE PLAN APPLICATION	07 / 11 / 2018
ISSUED FOR COORDINATION	07 / 10 / 2018
ISSUED FOR COORDINATION	07 / 04 / 2018
ISSUED FOR COORDINATION	07 / 03 / 2018

Issue: _____ Date: _____

Prime Consultant:
Expert-Consult:

DREDGE LEAHY ARCHITECTS INC.
100 - 25 Holland Ave.
Ottawa, ON K1Y 4R9
613.724.9865
dl-arch.ca

Sub Consultant:
Expert-Consult:

Project:
Project: **COWAN'S GROVE PLAZA**

4791 BANK ST. OTTAWA, ON

Drawing:
Desain: **SITE PLAN**

Drawn by: Dessiné par: S.G.	Scale: Echelle: As indicated
Designed by: Conçu par: S.G.	Date: 10/12/2018
Approved by: Approuvé par: M.D.	Client Project No. No. du Projet du Client:
Seal: Scellu:	Project No.: No. du Projet: 1420
	Sheet No.: No. de la feuille: A-1

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