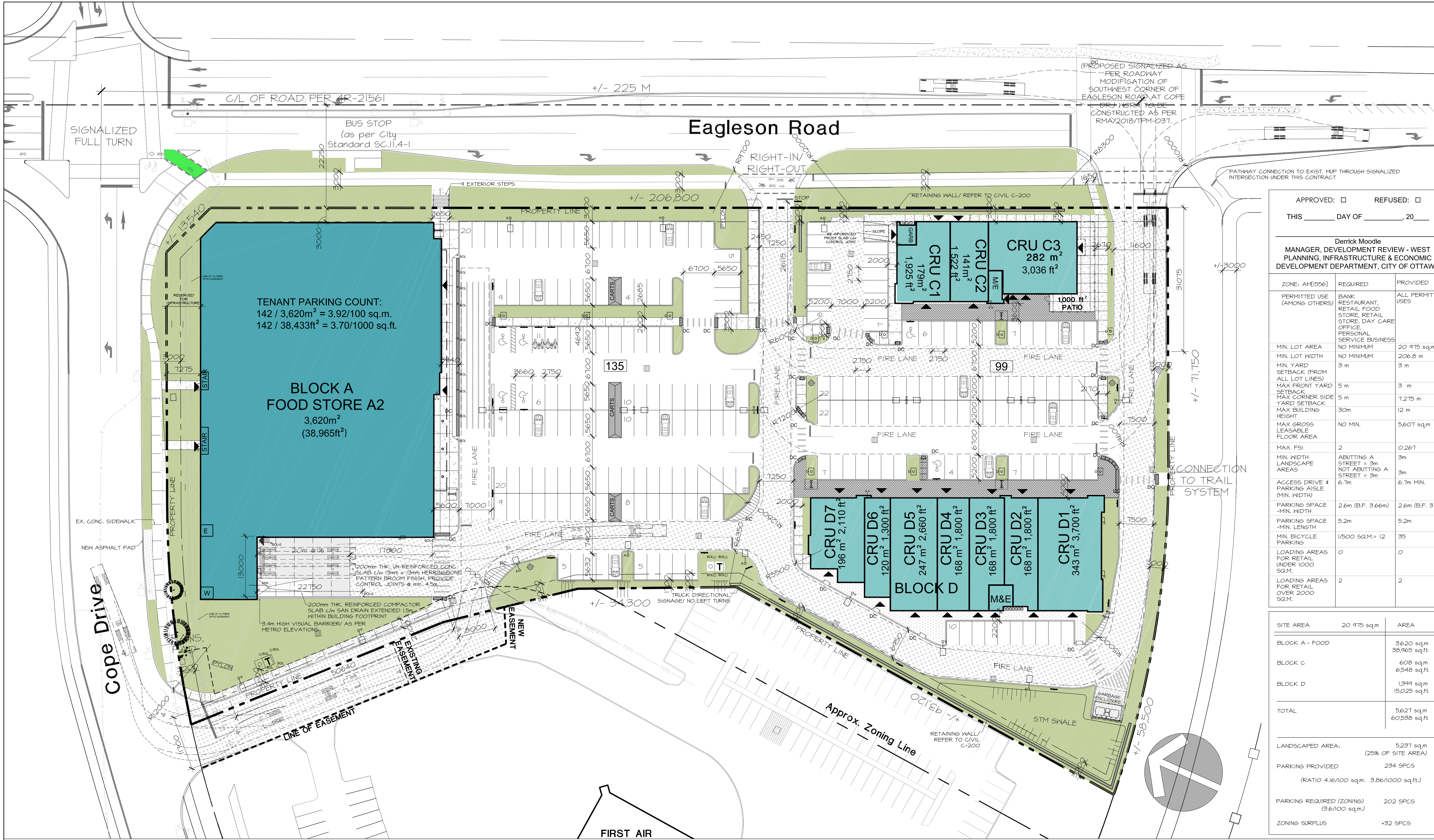




APPROVED: ☐ REFUSED: ☐
THIS _____ DAY OF _____, 20____
Derrick Moodie
MANAGER, DEVELOPMENT REVIEW - WEST
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

ZONE: A1(156)	REQUIRED	PROVIDED
PERMITTED USE (AMONG OTHERS)	BANK, RESTAURANT, RETAIL FOOD STORE, RETAIL STORE, DAY CARE OFFICE, PERSONAL SERVICE BUSINESS	ALL PERMITTED USES
MIN. LOT AREA	NO MINIMUM	20 915 sq.m
MIN. LOT WIDTH	3 m	206.8 m
MIN. YARD SETBACK (FROM ALL LOT LINES)	5 m	3 m
MAX. FRONT YARD SETBACK	5 m	1,275 m
MAX. CORNER SIDE YARD SETBACK	30m	12 m
MAX. BUILDING HEIGHT	NO MIN.	5.607 sq.m
MAX. GROSS LEASABLE FLOOR AREA	2	0.267
MAX. FSI	ABUTTING A STREET = 3m NOT ABUTTING A STREET = 3m	3m
MIN. WIDTH LANDSCAPE AREAS	6.1m	3m
ACCESS DRIVE & PARKING AISLE (MIN. WIDTH)	2.6m (B.F. 3.66m)	2.6m (B.F. 3.66m)
PARKING SPACE - MIN. WIDTH	5.2m	5.2m
PARKING SPACE - MIN. LENGTH	1/500 SQ.M. = 12	35
MIN. BICYCLE PARKING	0	0
LOADING AREAS FOR RETAIL UNDER 1000 SQ.M.	2	2
LOADING AREAS FOR RETAIL OVER 1000 SQ.M.		

SITE AREA	20 915 sq.m	AREA
BLOCK A - FOOD	3,620 sq.m	38,965 sq.ft
BLOCK C	608 sq.m	6,548 sq.ft
BLOCK D	1,394 sq.m	15,025 sq.ft
TOTAL	5,622 sq.m	60,538 sq.ft
LANDSCAPED AREA:	5,231 sq.m	(25% OF SITE AREA)
PARKING PROVIDED	234 SPCS	(RATIO 4.16/100 sq.m. 3.86/1000 sq.ft.)
PARKING REQUIRED (ZONING)	202 SPCS	(3.6/100 sq.m.)
ZONING SURPLUS	+32 SPCS	

LEGEND:

B.F. PARKING STALL c/n B.F. SIGNAGE	
DEPRESSED CURB c/n TWSI	
150mm DIA., 6mm THK. GALV. STEEL BOLLARD (MIN. 1.5m HIGH & 1.5m BELOW GRADE)	
300mm DIA., 6mm THK. GALV. STEEL BOLLARD (MIN. 1.5m HIGH & 1.5m BELOW GRADE)	
PRECAST CONCRETE PAVING	
CAST IN PLACE CONCRETE SIDEWALK/ REFER TO GEOTECH. REPORT	
HEAVY DUTY ASPHALT	
ASPHALT SIDEWALK	
PAINTED LINE STOP BAR	
ROLLED CONCRETE CURB	
SITE SIGNAGE	
PAINTED LINES	
BIKE RACK	
EXTERIOR LIGHTING/ REFER TO ELEC. DWGS. FOR TYPES	

PLEASE REFER TO STANTEC GEOMATICS LTD. AS BUILT SURVEY PART OF LOT 31 CONCESSION 10, GEOGRAPHIC TOWNSHIP OF GOULBURN, CITY OF OTTAWA DEC. 14, 2012 REVISED AUG. 16, 2017

04	20.NOV.2018	RE-ISSUED FOR SPA
03	16.AUG.2018	RE-ISSUED FOR SPA
02	18.JUNE.2018	UDRP SUBMISSION
01	30.APR.2018	ISSUED FOR SPA
no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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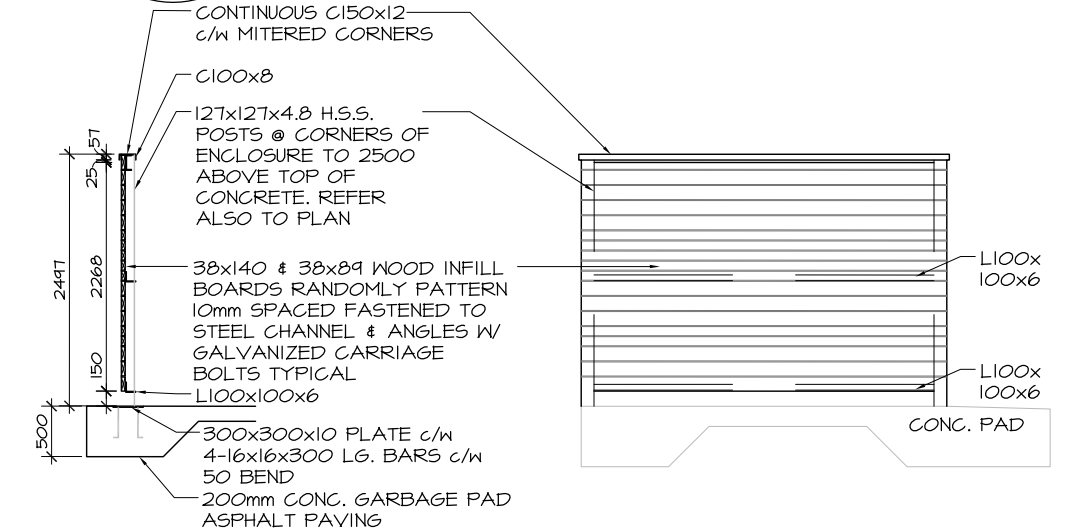
Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613-238-7200
F: 613-235-2005
E: mail@hobinarc.com
hobinarc.com

PROJECT/LOCATION:
EAGLESON RETAIL DEVELOPMENT

DRAWING TITLE:
SITE PLAN

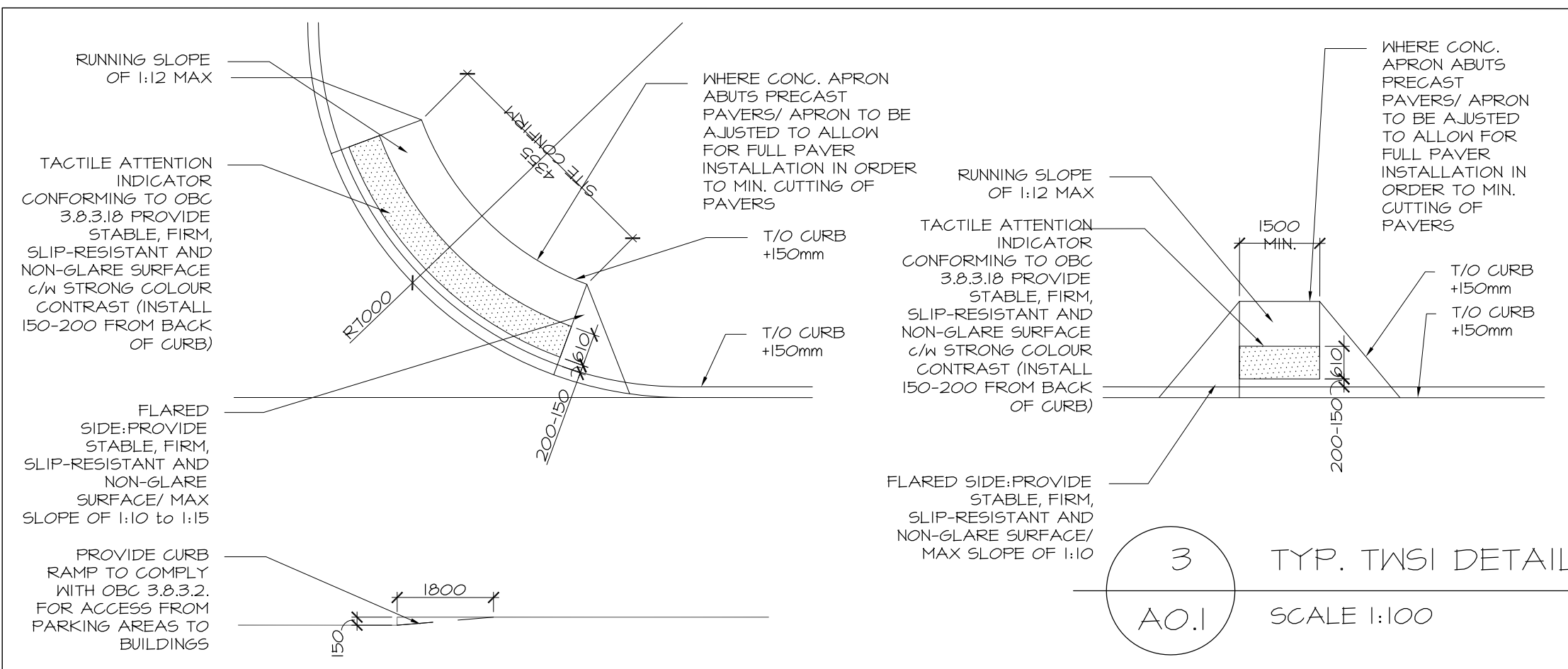
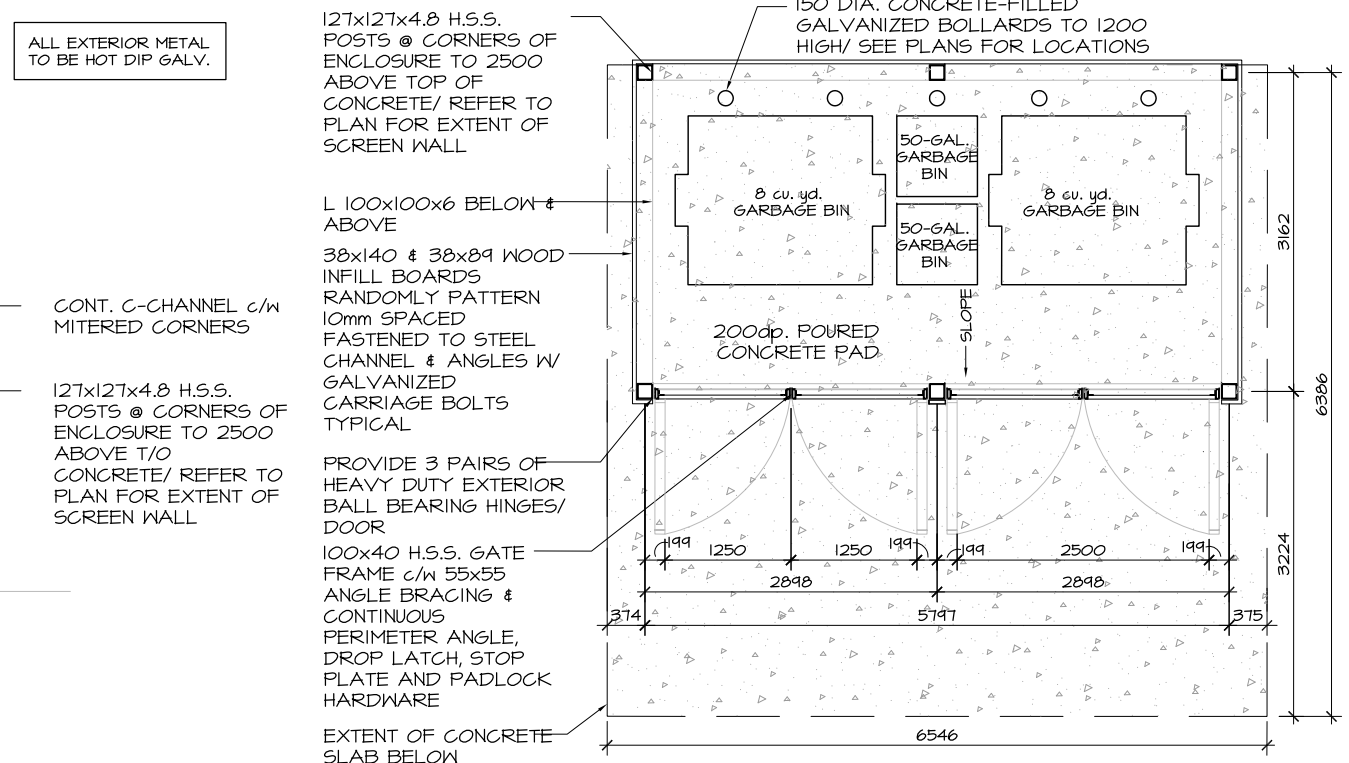
DRAWN BY: LE/DVMC	DATE: 17/11/30	SCALE: 1:400
PROJECT: 1752		DRAWING NO.: A0.1
REVISION NO.:		

1 SITE PLAN
SCALE 1:400



2 TYPICAL GARBAGE ENCLOSURE
SCALE 1:100

FIRST AIR



D07-12-18-0074