



**MHI Rockcliffe Veterans House  
Transportation Impact Assessment**

**Screening Report**

July 23, 2018

Prepared for:

Multifaith Housing Initiative

Prepared by:

Stantec Consulting Ltd.

## 1.0 SCREENING REPORT

### 1.1 DESCRIPTION OF PROPOSED DEVELOPMENT

Municipal Address	745 Mikinak Road (Phase 1B of Waterridge Village)
Description of Location	Northwest Quadrant of Mikinak Road and Moses Tenisco Street
Land Use Classification	Residential
Development Size (units)	3 Storey Residential Building with 40 Single Room Occupancy (SRO) dwelling units with associated garden spaces, dog walking area, shed and multi-use play court
Development Size (m <sup>2</sup> )	Total Building Size: 2,480 m <sup>2</sup>
Parking spaces	8 to 18 Spaces
Number of Accesses and Locations	1 access off of Moses Tenisco Street
Phase of Development	1
Buildout Year	2019 - 2020

### 1.2 TRIP GENERATION TRIGGER

Considering the Development's Land Use type and Size (as filled out in the previous section), please refer to the Trip Generation Trigger checks below.

Land Use Type	Minimum Development Size	Triggered
Single-family homes	40 units	✘
Townhomes or apartments	90 units	✘
Office	3,500 m <sup>2</sup>	✘
Industrial	5,000 m <sup>2</sup>	✘
Fast-food restaurant or coffee shop	100 m <sup>2</sup>	✘
Destination retail	1,000 m <sup>2</sup>	✘
Gas station or convenience market	75 m <sup>2</sup>	✘

*\* If the development has a land use type other than what is presented in the table above, estimates of person-trip generation may be made based on average trip generation characteristics represented in the current edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual.*

**If the proposed development size is greater than the sizes identified above, the Trip Generation Trigger is satisfied.**

The weekday AM and PM peak hour person trip generation is expected to be below the threshold of 60 persons and therefore the trip generation trigger is not satisfied.

### 1.3 LOCATION TRIGGERS

	Yes	No
Does the development propose a new driveway to a boundary street that is designated as part of the City's Transit Priority, Rapid Transit or Spine Bicycle Networks?		✓
Is the development in a Design Priority Area (DPA) or Transit-oriented Development (TOD) zone? *		✓

\*DPA and TOD are identified in the City of Ottawa Official Plan (DPA in Section 2.5.1 and Schedules A and B; TOD in Annex 6). See Chapter 4 for a list of City of Ottawa Planning and Engineering documents that support the completion of TIA).

If any of the above questions were answered with 'Yes,' the Location Trigger is satisfied.

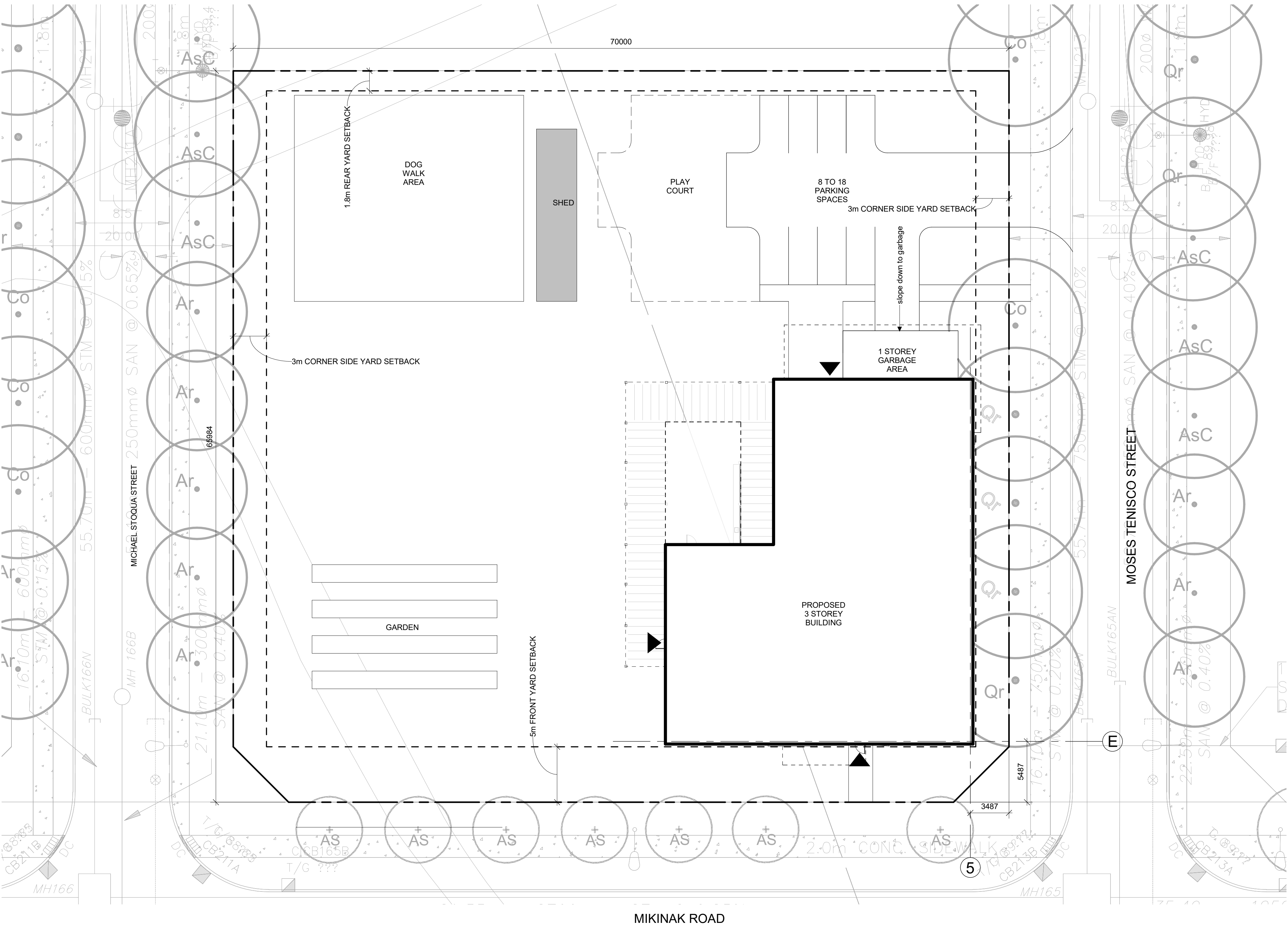
### 1.4 SAFETY TRIGGERS

	Yes	No
Are posted speed limits on a boundary street are 80 km/hr or greater?		✓
Are there any horizontal/vertical curvatures on a boundary street limits sight lines at a proposed driveway?		✓
Is the proposed driveway within the area of influence of an adjacent traffic signal or roundabout (i.e. within 300 m of intersection in rural conditions, or within 150 m of intersection in urban/ suburban conditions)?		✓
Is the proposed driveway within auxiliary lanes of an intersection?		✓
Does the proposed driveway make use of an existing median break that serves an existing site?		✓
Is there is a documented history of traffic operations or safety concerns on the boundary streets within 500 m of the development?		✓
Does the development include a drive-thru facility?		✓

If any of the above questions were answered with 'Yes,' the Safety Trigger is satisfied.

### 1.5 SUMMARY

	Yes	No
Does the development satisfy the Trip Generation Trigger?		✓
Does the development satisfy the Location Trigger?		✓
Does the development satisfy the Safety Trigger?		✓



**1 SITE PLAN**  
A.100 | 1:200

**SITE INFORMATION:**

**LEGAL DESCRIPTION:**  
[Insert Legal Description: LOT, PLAN, PIN]  
**REFERENCE SURVEY:**  
THIS DRAWING IS BASED ON [Insert survey reference info]  
**MUNICIPAL ADDRESS:** [Street, City, Province]  
**ZONING:** [Insert zone ref. # and Description]  
**OWNER:** [Insert Client/Organization Legal Name]

**DEVELOPMENT INFORMATION:**

**LOT FRONTAGE:** 57.93m (Mikinak)  
**LOT AREA:** \_\_\_m<sup>2</sup>  
**BUILDING AREA:** \_\_\_m<sup>2</sup>  
**LOT COVERAGE:** \_\_\_%  
**BUILDING HEIGHT:** 3 STOREYS  
9.6 m  
**DISTANCE FROM HYDRANT TO FRONT ENTRANCE:** \_\_\_m  
**PARKING:**  
REQUIRED: 14 SPACES + 3 VISITOR = 17 TOTAL  
PROPOSED: 14 SPACES + 4 VISITOR = 18 TOTAL  
**BICYCLE PARKING:**  
REQUIRED: \_\_\_SPACES + \_\_\_VISITOR = \_\_\_TOTAL  
PROPOSED: \_\_\_SPACES + \_\_\_VISITOR = \_\_\_TOTAL

**GENERAL NOTES:**

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING

**SITE PLAN KEYNOTES:**

- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT
- # MULTI LINE SAMPLE TEXT
- # SAMPLE TEXT

**LEGEND:**

CONSULTANT ROLE  
CONSULTANT NAME  
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EMAIL

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CONSULTANT ROLE  
CONSULTANT NAME  
ADDRESS  
PHONE  
EMAIL

STAMP

REV DATE ISSUE

**NOTE**  
1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.  
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4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.  
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

Client Street Address,  
Province, Postal Code,  
Country

PROJECT

**MHI ROCKLIFFE**  
Project Address, City, Province

TITLE

**SITE PLAN**

PROJECT NO: PROJECT NUMBER  
DRAWN: Checker  
APPROVED: Author  
SCALE: As indicated  
FIRST ISSUE: 12/07/16

REV DRAWING NO.

CONSULTANT ROLE  
CONSULTANT NAME  
ADDRESS  
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STAMP

REV DATE ISSUE

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CLIENT

Client Street Address,  
Province, Postal Code,  
Country

PROJECT

**MHI ROCKLIFFE**  
Project Address, City, Province

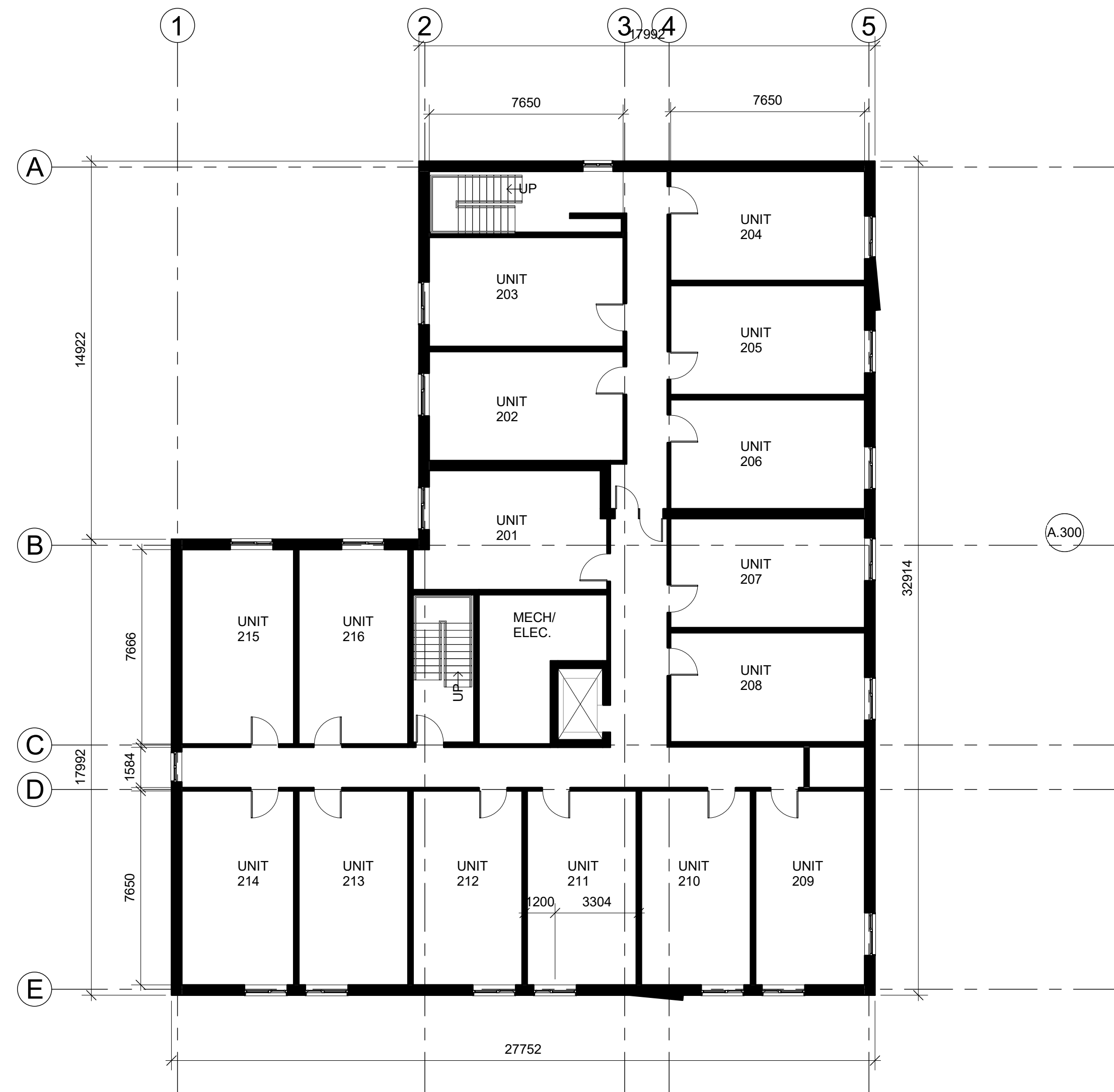
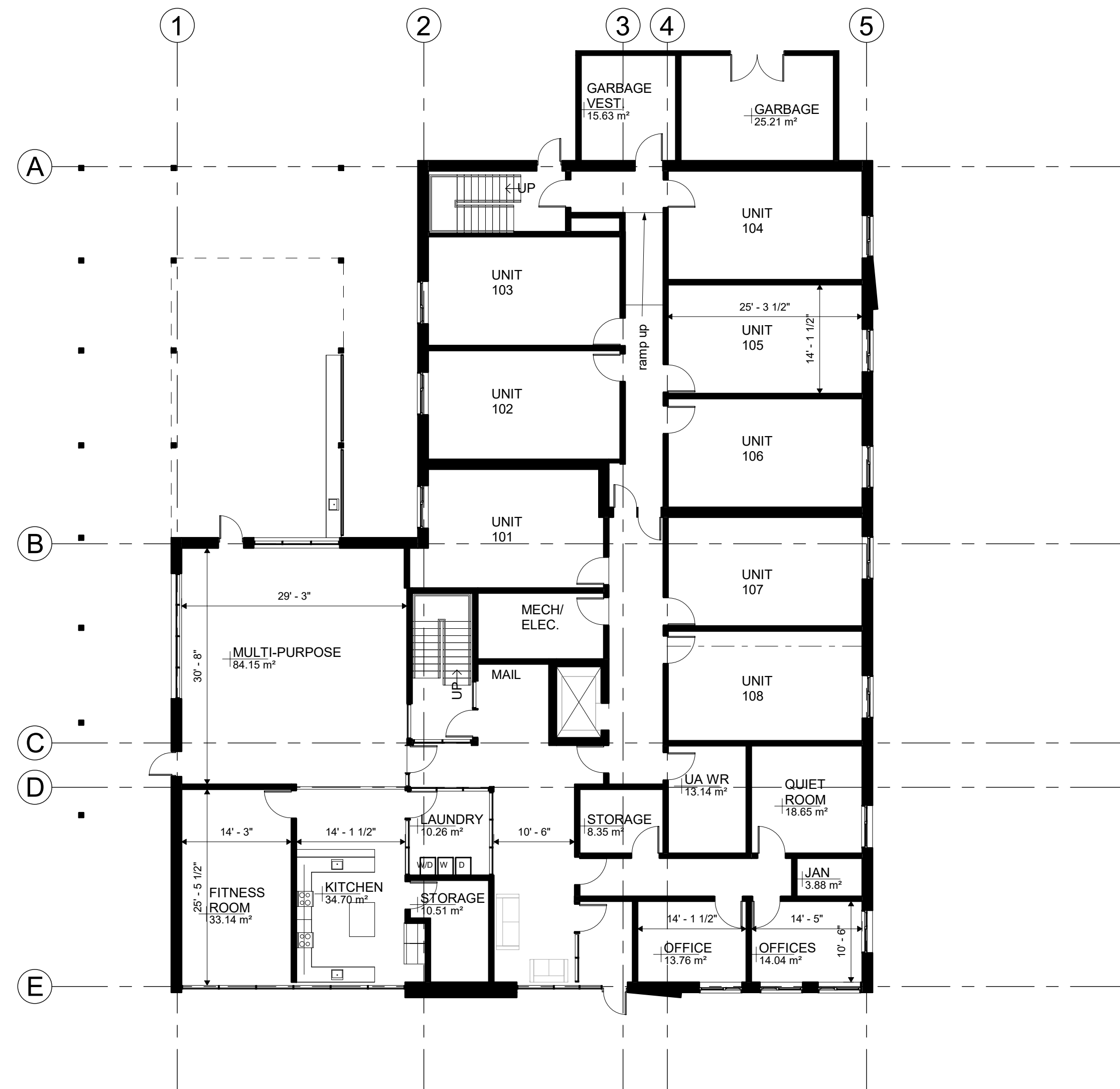
TITLE

**FLOOR PLANS**

PROJECT NO: PROJECT NUMBER  
DRAWN: Checker  
APPROVED: Author  
SCALE: 1 : 150  
FIRST ISSUE: 06/07/18

REV DRAWING NO.

**A.200**



CONSULTANT ROLE  
CONSULTANT NAME  
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PHONE  
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STAMP

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CLIENT

Client Street Address,  
Province, Postal Code,  
Country

PROJECT  
**MHI ROCKLIFFE**  
Project Address, City, Province

TITLE  
**ELEVATIONS**

PROJECT NO: PROJECT NUMBER  
DRAWN: Checker  
APPROVED: Author  
SCALE: As indicated  
FIRST ISSUE: 06/07/18

REV DRAWING NO.

A.300

**KEYNOTES:**

- # SAMPLE TEXT
- # SAMPLE TEXT
- # SAMPLE TEXT
- # MULTI LINE SAMPLE TEXT
- # SAMPLE TEXT

**GENERAL NOTES:**

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

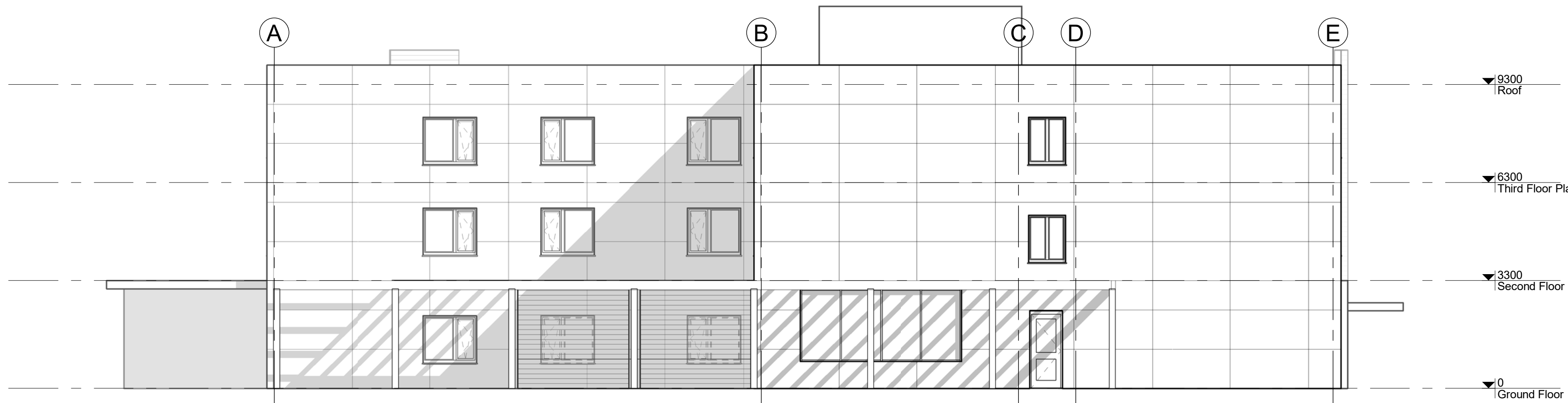
**EXTERIOR MATERIALS LEGEND**

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

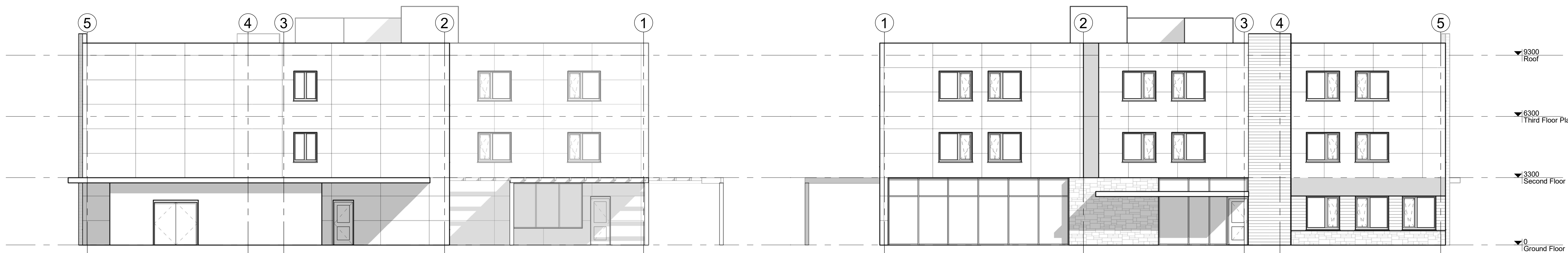
HATCH	SYMBOL	DESCRIPTION
	BR	BRICK VENEER MANUFACTURER: COLOUR:
	ST1	STONE VENEER - ASHLAR MANUFACTURER: COLOUR:
	ST2	STONE VENEER - BLOCK MANUFACTURER: COLOUR:
	ST3	STONE VENEER - ROUGH CUT MANUFACTURER: COLOUR:
	BL	CONCRETE BLOCK MANUFACTURER: COLOUR:
	MS	METAL SIDING MANUFACTURER: COLOUR:
	WS	WOOD SIDING MANUFACTURER: COLOUR:
	FC	FIBERCEMENT CLADDING MANUFACTURER: COLOUR:



**1 EAST ELEVATION**  
A.300 | 1:100



**2 WEST ELEVATION**  
A.300 | 1:100



**3 NORTH ELEVATION**  
A.300 | 1:100

**4 SOUTH ELEVATION**  
A.300 | 1:100