

SITE INFORMATION

LEGAL DESCRIPTION BLOCK 23, REGISTERED PLAN 4M-1581, PART OF PIN 04273-0581
REFERENCE SURVEY THIS DRAWING IS BASED ON PLAN 4R-03196 PREPARED BY ANNIS O'SULLIVAN, VOLLEBEK LTD. DATED MARCH 20, 2017
MUNICIPAL ADDRESS 745 MIKINAK RD, OTTAWA ON
OWNER MULTIFAITH HOUSING INITIATIVE

DEVELOPMENT INFORMATION

ZONING INFORMATION
ZONE R5Y [2312]
AREA ON SCHEDULE 1 AREA B
AREA ON SCHEDULE 1A AREA X

ZONING MECHANISM	REQUIRED	PROVIDED
MIN. LOT WIDTH	18m	57.93m
MIN. LOT AREA	450m ²	4593m ²
MIN. FRONT YARD SETBACK	5m	5m
MIN. CORNER YARD SETBACK	3m	3m
MIN. REAR YARD SETBACK	7.5m	7.5m
MIN. INTERIOR YARD SETBACK	3m	N/A
MAX. HEIGHT	16m	10m
AMENITY AREA	312m ²	+/-2000m ²
LANDSCAPED AREA	30%	>30%

PARKING, QUEING & LOADING	REQUIRED	PROVIDED
RESIDENTIAL SPACES	14	14
VISITOR SPACES	3	4
ACCESSIBLE PARKING	1	1
BICYCLE PARKING	20	20
REFUSE COLLECTION	YES	YES
GARBAGE ENCLOSURE	20m ²	45m ²

SITE INFORMATION	REQUIRED	PROVIDED
DWELLING UNITS	--	40 STUDIO UNITS
SITE AREA	--	4593m ²
BUILDING AREA	--	849m ²
LANDSCAPED SPACE	1378m ²	3130m ²
PARKING + DRIVEWAYS	--	613m ²
AMENITY AREA	312m ²	2660m ²

15m ² / FOR FIRST 8 UNITS = 120m ²	PROVIDED INSIDE = 160m ²
6m ² / FOR NEXT 32 UNITS = 192m ²	PROVIDED OUTSIDE = 2500m ²

REV DATE	ISSUE
2 2018.10.17	Issued for Site Plan Control
1 2018.07.20	Issued for CLC Review

NOTE
1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
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3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

GENERAL NOTES:

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING

SITE PLAN KEYNOTES:

- NEW BIKE RACKS
- WOOD SCREEN
- STONE RETAINING WALL
- PLANTING PER LANDSCAPE
- STONE RETAINING WALL
- OUTDOOR COUNTER C/W SINK + BBQ
- PAD MOUNT TRANSFORMER
- GARDEN SHED
- FENCE PER LANDSCAPE
- CANOPY OVERHANG
- SHED ROOF OVERHANG
- CONCRETE PATH PER LANDSCAPE
- CONCRETE PAVING
- MUNICIPAL UTILITY BOXES

MULTIFAITH HOUSING INITIATIVE

404 McArthur Ave, Suite 206
Ottawa, ON

MHI VETERAN'S HOUSE

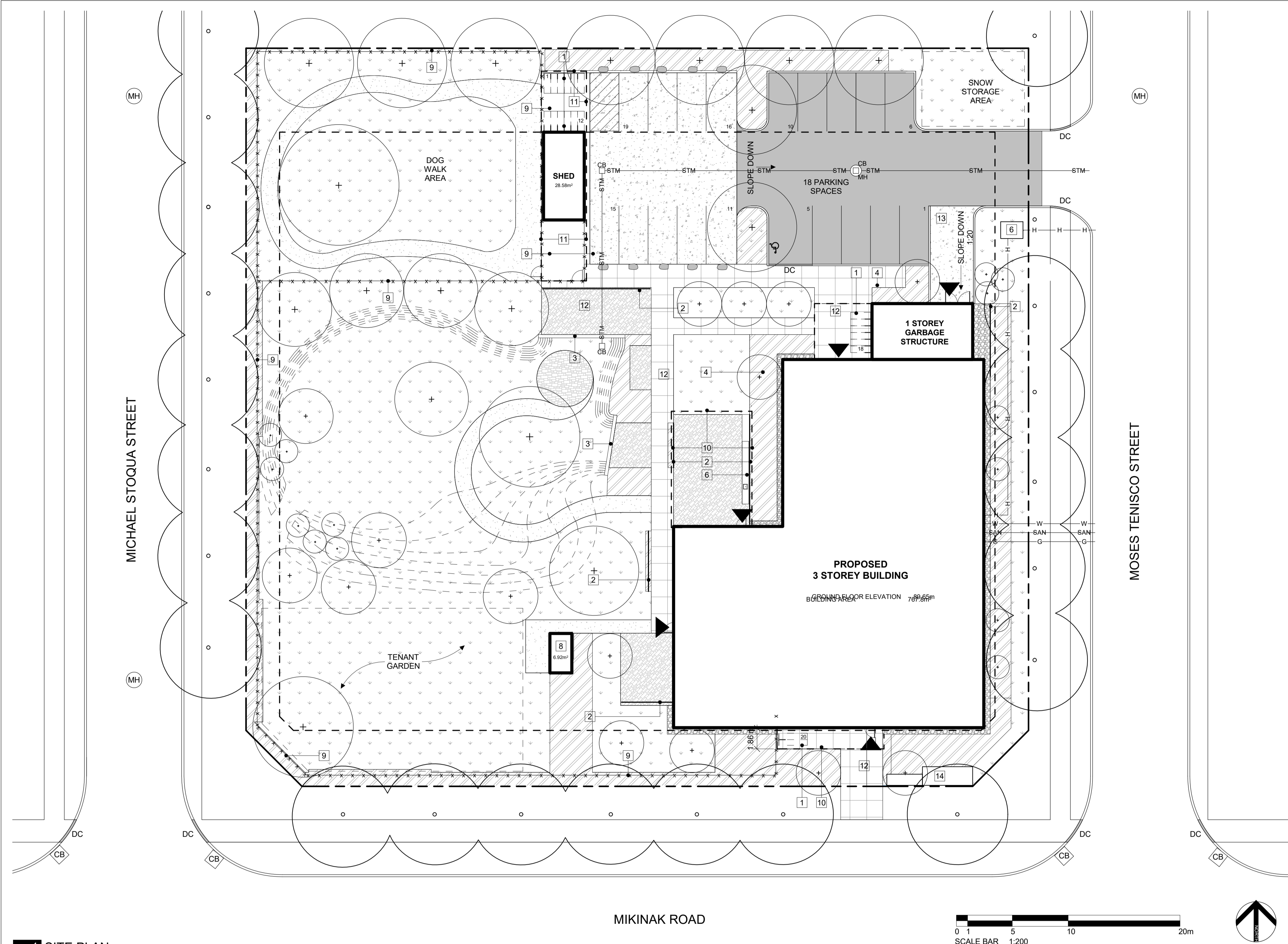
745 Mikinak Road, Ottawa, ON

SITE PLAN

PROJECT NO: 2015-0300
DRAWN: AL/RG
APPROVED: RG/MB
SCALE: As indicated
FIRST ISSUE: 2018.07.20

REV DRAWING NO.

2 A.100



1 SITE PLAN
A.100 | 1:200

LEGEND:

- | | | | |
|--|--------------------------------------|--|--------------------------------------|
| | NEW GRASS | | DROPPED CURB |
| | STONE DUST PATH | | NEW CATCH BASIN PER CIVIL |
| | ASPHALT PAVING | | NEW MANHOLE PER CIVIL |
| | NEW CONCRETE SIDEWALK | | PROPERTY LINE |
| | PLANTING SEE LANDSCAPE PLAN | | BUILDING ENTRY POINT |
| | NEW PAVERS | | FENCE PER LANDSCAPE |
| | CONCRETE PAD | | NEW DOMESTIC WATER |
| | MAINTENANCE STRIP SEE LANDSCAPE PLAN | | NEW SANITARY |
| | NEW TREE SEE LANDSCAPE PLAN | | NEW STORM |
| | EXISTING CITY TREE | | NEW ELECTRICAL SERVICE (BELOW GRADE) |
| | | | GAS |