



File No. D07-12-17-0093

October 31, 2018

Paquette Planning Associates Ltd.  
56 Hutchison Avenue  
Ottawa, ON K1Y 4A3

Attention: Daniel Paquette

Dear: Mr. Paquette:

**Subject: Site Plan Control Application  
8466 Jeanne-d'Arc Boulevard North**

The City has approved the Site Plan Control application received on 5 July 2017, subject to Owner of the subject lands entering into a Site Plan Agreement..

It is important to note that this Site Plan Control Approval will lapse if certain requirements are not fulfilled by 31 October 2019. Specific details of the requirements will be provided to you once it has been indicated that the Owner is prepared to enter into an agreement with the City. These requirements may include, but are not limited to the following:

- Site Plan Agreement is signed.
- Security in the form of a Letter of Credit – in the City's standard format and wording, certified cheque or bank draft is provided.
- Certificate of Liability Insurance provided.
- Any required fees are paid


Please note that the documents referred to above, if not submitted in the City's required format(s), will be returned, resulting in a delay issuing a building permit and/or a commence work order.

The Owner of the subject lands is required to enter into a Site Plan Agreement with the City. Please arrange for legal representation as soon as possible to review this Site Plan Approval and the title to the subject lands. Please note that the City will require that all Agreement(s) entered into with the City shall require postponement(s) of any encumbrance(s) on title at the time of registration of the Agreement(s) with the City on the subject lands, and any lands to be conveyed to the City as a condition of Site Plan Approval are required to be conveyed free and clear of any encumbrance(s) on title.

Also enclosed is a copy of the approved plan(s).

If you have any questions or concerns, please contact Evode Rwagasore by telephone at 613-580-2424, extension 16483 or by e-mail at [Evode.Rwagasore@ottawa.ca](mailto:Evode.Rwagasore@ottawa.ca)

Sincerely,



Evode Rwagasore  
Planner  
Development Review

Enclosures(#)

c.c. Councillor Bob Monette  
Will Curry, Infrastructure Approvals Project Manager, PIED (include 1 set of approved/signed mylars)  
[Matthew.Wilson@ottawa.ca](mailto:Matthew.Wilson@ottawa.ca), Development Inspections  
[Kerry.Reed@ottawa.ca](mailto:Kerry.Reed@ottawa.ca), Environmental Planner  
[Linda.Carkner@ottawa.ca](mailto:Linda.Carkner@ottawa.ca), Right of Way  
[Pauline.Prevost@ottawa.ca](mailto:Pauline.Prevost@ottawa.ca), Transportation  
[John.Buck@ottawa.ca](mailto:John.Buck@ottawa.ca), Building Inspections  
[Matthew.Brozincevic@ottawa.ca](mailto:Matthew.Brozincevic@ottawa.ca), Program Manager - Permit Approvals (include all final/consolidated approved Geotechnical and/or Slope Stability studies)  
[Mike.Levasseur@ottawa.ca](mailto:Mike.Levasseur@ottawa.ca), Zoning Plan Examiner  
Addressing And Signs  
Joseph Langiano, Right of Way Agreements Coordinator  
[Jake.Gravelle@ottawa.ca](mailto:Jake.Gravelle@ottawa.ca), By-Law Enforcement  
[Wendy.Hickson@ottawa.ca](mailto:Wendy.Hickson@ottawa.ca), Development Agreement Officer  
[Joumana.Tannouri@ottawa.ca](mailto:Joumana.Tannouri@ottawa.ca), Finance  
Carole Legault, Co-ordinator, Accessibility Advisory Committee (no plans)  
[Jake.Lefebvre@mpac.ca](mailto:Jake.Lefebvre@mpac.ca), Account Manager, MPAC  
OttawaScene Canada Signs, 1565 Chatelain Avenue, Ottawa, ON K1Z 8B5  
(no attachments)  
Owner: Denis Tonfreau, 4405 Innes Road, Ottawa, ON K1E 0A7



**SITE PLAN CONTROL APPROVAL APPLICATION  
DELEGATED AUTHORITY REPORT  
MANAGER, DEVELOPMENT REVIEW, SUBURBAN SERVICES**

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Site Location: 8466 Jeanne-d'Arc Boulevard North

File No.: D07-12-17-0093

Date of Application: July 05, 2017

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This SITE PLAN CONTROL application submitted by Paquette Planning Associates Ltd., on behalf of Brigil, is APPROVED as shown on the following plan(s):

1. **Site Plan, Petrie's Landing Block 6, 7 & 8, A100** prepared by NEUF Architect(e)s, revised 7 September 2018 (Rev. L);
2. **Landscape Plan, Petrie's Landing II 8466 Jeanne d'Arc Boulevard North Block 6 . 7 . 8, L1.01** prepared by Levsteck Consultants Inc., dated April 2017, revised 17 September 2018 (Rev. 6);
3. **Erosion Control Plan and Detail Sheet, Brigil Petrie's Landing II Block 6, 7, and 8, 8466 Jeanne d'Arc Boulevard Ottawa ON, Canada, EC/DS-1** prepared by Stantec Consulting Ltd., Project Number 160401331, revised 19 September 2018 (Rev. 8);
4. **Grading Plan, Brigil Petrie's Landing II Block 6, 7, and 8, 8466 Jeanne d'Arc Boulevard Ottawa ON, Canada, GP-1** prepared by Stantec Consulting Ltd., Project Number 160401331, revised 19 September 2018 (Rev. 8);
5. **Sanitary Drainage Plan, Brigil Petrie's Landing II Block 6, 7, and 8, 8466 Jeanne d'Arc Boulevard Ottawa ON, Canada, SAN-1** prepared by Stantec Consulting Ltd., Project Number 160401331, revised 19 September 2018 (Rev. 8);
6. **Site Servicing Plan, Brigil Petrie's Landing II Block 6, 7, and 8, 8466 Jeanne d'Arc Boulevard Ottawa ON, Canada, SSP-1** prepared by Stantec Consulting Ltd., Project Number 160401331, revised 19 September 2018 (Rev. 8);
7. **Storm Drainage Plan, Brigil Petrie's Landing II Block 6, 7, and 8, 8466 Jeanne d'Arc Boulevard Ottawa ON, Canada, SD-1** prepared by Stantec Consulting Ltd., Project Number 160401331, revised 19 September 2018 (Rev. 8);

8. **Stone Strong Retainaing Wall Design, Petrie's Landing II Phase 2, Drawing No.: PG4112-2** prepared by Paterson Group, Project Number PG4112-2, dated December 2017;
9. **Existing Conditions Plan, Removals Plan, Brigil Petrie's Landing II Block 6, 7, and 8, 8466 Jeanne d'Arc Bolulevard Ottawa ON, Canada, EXRM-1** prepared by Stantec Consulting Ltd., Project Number 160401331, revised 19 September 2018 (Rev. 8);
10. **North & South Elevations, Petrie's II Block 8, 93 Units, A400** prepared by NEUF Architect(e)s, revised 22 August 2018 (Rev. B);
11. **East & West Elevations, Petrie's II Block 8, 93 Units, A401** prepared by NEUF Architect(e)s, revised 22 August 2018 (Rev. B); and
12. **Notes Legends, Brigil Petrie's Landing II Block 6, 7, and 8, 8466 Jeanne d'Arc Bolulevard Ottawa ON, Canada, NL-1** prepared by Stantec Consulting Ltd., Project Number 160401331, revised 19 September 2018 (Rev. 8).

And as detailed in the following report(s):

13. **Site Servicing & Storm Water Management Brief**, prepared by Stantec Consulting Ltd., Project # 160401331, revision 6, dated September 19, 2018.
14. **Geotechnical Investigation – Proposed Multi-Storey Buildings**, prepared by Paterson Group, Project # PG4112-1, dated May 24, 2017.
15. **Grading Plan Review, Geotechnical Memorandum**, prepared by Paterson Group, Project # PG4112-1, dated January 24, 2018.
16. **Storm Water Management Memorandum**, prepared by Larouche Conseil dated February 5, 2018.

And subject to the following Standard and Special Conditions:

#### **Standard Conditions**

1. The Owner shall enter into a standard site development agreement consisting of the following conditions. In the event the Owner fails to enter into such agreement within one year, this approval shall lapse.
2. The Owner shall submit a certificate of insurance in a form satisfactory to the City. The certificate of insurance must be issued in favor of the City of Ottawa in an amount not less than five million dollars per occurrence, must contain an endorsement naming the City as an additional insured and an unconditional thirty

days notice of any material change or cancellation of the policy.

3. The Owner shall obtain such permits as may be required from Municipal or Provincial authorities and shall file copies thereof with the General Manager, Planning and Infrastructure Economic Development.
4. Snow storage shall not interfere with approved grading and drainage patterns or servicing. Snow storage areas shall be setback from property lines, foundations, fencing or landscaping a minimum of 1.5 metres. Snow storage areas shall not occupy driveways, aisles, required parking spaces or any portion of a road allowance.
5. The Owner covenants and agrees that on completion of all stormwater management Works, the Owner shall provide certification to the City through a professional engineer that all measures have been implemented in conformity with the approved plans and Design Brief.
6. The Owner agrees that the parking areas (and entrances) shall have barrier curbs and shall be constructed in accordance with a design professional and approved by the General Manager, Planning and Infrastructure Economic Development.
7. The Owner shall have competent professional engineering inspection personnel on-site during the period of construction and the General Manager, Planning and Growth Management Department shall have the right at all times to inspect the installation of the Works. Should it be found in the sole opinion of the General Manager, Planning and Growth Management Department that such personnel are not on site or are incompetent in the performance of their duties, or that the said Works are not being carried out in accordance with approved plans or specifications and in accordance with good engineering practice, then the General Manager, Planning and Infrastructure Economic Development order all work in the project to be stopped.
8. The Owner acknowledges and agrees that while under construction, any water discharged to the sanitary sewer due to dewatering shall meet the requirements of the City of Ottawa Sewer Use By-law.
9. The Owner shall be required to install construction fencing at its expense, in such a location as may be determined by the General Manager, Planning and Infrastructure Economic Development.
10. The Owner shall reinstate at its expense, to the satisfaction of the General Manager, Planning and Infrastructure Economic Development, any property of the City, including, but not limited to, sidewalks and curbs, boulevards, that are damaged as a result of the subject development.

## Special Conditions

11. The Owner shall be required to enter into a maintenance and liability agreement for all plant and landscaping material placed in the City right-of-way and the Owner shall assume all maintenance and replacement responsibilities in perpetuity.
12. The Owner acknowledges and agrees that the placement of garbage containers on pick up day shall not interfere with the Fire Route or required parking spaces.
13. The Owner acknowledges and agrees that the Water Plant within the lands is a Private Watermain and appurtenances to be maintained by the Owner. The Owner performing maintenance on critical infrastructure, such as private watermains shall maintain adequate records as proof of having done so in accordance with applicable regulations and that the records shall be retained for review by the City and or the Fire Department when requested.
14. The Owner agrees to have a professional engineer conduct an inspection of the water system up to and including the shut-off valves, which includes a leak detection survey at least every five (5) years, in accordance with standard City practices and procedures. The Owner agrees to provide an inspection report to the General Manager, Environmental Services every five (5) years for review by the City's Drinking Water Operations and/or Ottawa Fire Services. As part of the Owner's on-going maintenance responsibility for the private water system, repairs to the system must be completed immediately to correct any deficiencies which contribute to water loss or leakage within the private water system. The Owner agrees to notify the General Manager, Environmental Services when such repairs have been completed.
15. The Owner acknowledges and agrees that if dewatering is required in excess of 50,000 litres per day on site for approved works that they shall apply to the MOECC for a dewatering activity discharge approval. Furthermore, all cost shall be borne by the Owner.
16. The Owner agrees and acknowledges that should buried materials such as concrete and asphalt or undesirable cobbles and materials be excavated on site they shall be removed from the excavations and be removed off site as per the direction of the on-site geotechnical engineer.
17. The Owner shall have competent professional engineering inspection personnel on-site during the period of construction and the General Manager, Planning, Infrastructure & Economic Development Department shall have the right at all times to inspect the installation of the Works. Should it be found in the sole opinion of the General Manager, Planning, Infrastructure & Economic Development Department that such personnel are not on site or are incompetent in the performance of their duties, or that the said Works are not being carried

out in accordance with approved plans or specifications and in accordance with good engineering practice, then the General Manager, Planning, Infrastructure & Economic Development Department may order all work in the project to be stopped.

18. The Owner shall grant to the City a Blanket Easement over the lands, with the right and licence of free, uninterrupted, unimpeded and unobstructed access to the City, its servants, agents, contractors, and sub-contractors, to enter on and to pass at any and all times, on, over, along and upon the Lands with or without vehicles, supplies, machinery and equipment for all purposes necessary or convenient to construct, maintain, repair and replace the Watermains, Service Posts and fire hydrants at the Owner's expense. The Owner acknowledges and agrees that notwithstanding the rights granted to the City under the grant of easement, the Owner remains responsible at all times for the maintenance, inspection, alteration, repair, replacement and reconstruction of the utility in the said lands during their term of use.
19. The Owner acknowledges and agrees that in order to protect the outdoor living areas of Block 6 & 7 as indicated in the Roadway Traffic Assessment, Petrie's landing Block 6, 7, & 8, Orleans, Ontario, prepared for Brigil, by Gradient Wind Engineering Inc, dated September 22, 2017, Report: GWE17-139 – Traffic Noise, noise barriers are to be constructed prior to occupancy of the first unit as follows:
  - A 1.1 meter high noise barrier shall be constructed on Blocks 6 & 7 as shown on Roadway Traffic Assessment, Petrie's landing Block 6, 7, & 8, Orleans, Ontario, prepared for Brigil, by Gradient Wind Engineering Inc, dated September 22, 2017, Report: GWE17-139 – Traffic Noise.

The noise attenuation barriers shall be constructed of solid material (no gaps) with a minimum surface density of 20kg/square metre. This can be achieved using 6mm thick monolithic glass panels.

20. The Owner acknowledges and agrees that in order to protect the indoor living areas of All Blocks and Units within the Subdivision as indicated in the Roadway Traffic Assessment, Petrie's landing Block 6, 7, & 8, Orleans, Ontario, prepared for Brigil, by Gradient Wind Engineering Inc, dated September 22, 2017, Report: GWE17-139 – Traffic Noise, building components must be designed and included as follows:
  - Forced air heating systems are to be installed in all units of Block 8 such that the system is sized to accommodate the future installation of central air conditioning by the occupant, if desired.
  - All units in Block 6 & 7 be designed with central air conditioning (or similar mechanical system) and other measures which will allow windows and doors to remain closed, thereby ensuring that indoor sound levels are within the sound level limits of the City of Ottawa and Ministry of Environment and Climate Change.

21. The Owner acknowledges and agrees to comply with the most current version of the City's Standard for Noise Barriers.
22. The Owner acknowledges and agrees that the Ontario Building Code requires that the surfaces separating adjoining units in a multi-unit building be designed to at least a noise rating of STC 50.
23. The Owner acknowledges and agrees that, if stepping is required, the interval height per panel section of the required noise fence will be no greater than 101.6 millimetres (4 inches).
24. The Owner acknowledges and agrees to provide a letter of credit, upon request by the General Manager, Planning and Infrastructure Economic Development, for the full cost of the required interior/exterior noise mitigation.
25. The Owner acknowledges and agrees that, where central air conditioners and heat pumps are required to be installed, the final installation shall comply with the Ministry of the Environment criteria for the installation of Residential Air Conditioning Devices September 1994 Publication NPC-216.
26. The Owner acknowledges and agrees that prior to construction of the noise barrier the Owner's Professional engineering consultant must file a letter with the General Manager, Planning and Infrastructure Economic Development certifying the acoustical and structural integrity of the design. The design drawings accompanying the letter of certification are to include the location, grading, barrier details, elevations, lots affected etc. and are to be stamped and signed by a Professional Engineer.
27. The Owner acknowledges and agrees, after construction, to provide a letter of certification from the Owner's Professional Engineering consultant together with an "as-built" drawing of the noise barrier confirming the location, elevations, grades and a statement certifying that the structure installed is a noise barrier that will mitigate traffic noise to levels in the approved study.
28. The Owner acknowledges and agrees that, prior to occupancy and/or final building inspection, the Owner's Professional Engineering consultant shall inspect the site and certify in a letter that the recommended interior/exterior noise control measures comply with the measures in the approved study. Such letter to be supplied upon request of the General Manager, Planning and Infrastructure Economic Development.
29. The Owner acknowledges and agrees to provide securities prior to construction for the cost of the noise barriers and their installation. The total value of the letter of credit shall be determined by the Owner's consultant and shall be to the satisfaction of the General Manager, Planning and Infrastructure Economic



Development. The Owner shall provide information to identify the material to be utilized in the noise barrier construction, specification details for installation, barrier cross sections and construction.

30. The purchaser(s) of the units in Block 6 need to be aware of the fact that despite the noise wall fence on the rooftop amenity area, they will likely experience some noise which may interfere their quite enjoyment.

#### Covenants

##### Noise Barrier

"The Transferee of Block 6 & 7, for himself, his heirs, executors, administrators, successors and assigns, covenants and agrees that the Transferee is responsible to maintain the noise barrier in a good and sound condition including if necessary, the replacement or reconstructing of the barrier."

"The transferee covenants with the transferor that the above clause, verbatim, shall be included in all subsequent Agreements of Purchase and Sale and Deeds conveying the lands described herein, which covenant shall run with the said lands and is for the benefit of the owner of the adjacent road."

Noise Control Features in accordance with the Roadway Traffic Assessment, Petrie's landing Block 6, 7, & 8, Orleans, Ontario, prepared for Brigil, by Gradient Wind Engineering Inc, dated September 22, 2017, Report: GWE17-139 – Traffic Noise for Block 6, 7, & 8, for himself, his heirs, executors, administrators, successors and assign knowledge being advised that sound levels due to increasing road traffic may occasionally interfere with some activities of the dwelling occupants as the sound levels exceed the City's and the Ministry of the Environment's noise criteria."

"The transferee covenants with the transferor that the above clause, verbatim, shall be included in all subsequent Agreements of Purchase and Sale and Deeds conveying the lands described herein, which covenant shall run with the said lands and is for the benefit of the owner of the adjacent road."

Noise Control Features in accordance with the Roadway Traffic Assessment, Petrie's landing Block 6, 7, & 8, Orleans, Ontario, prepared for Brigil, by Gradient Wind Engineering Inc, dated September 22, 2017, Report: GWE17-139 – Traffic Noise for Block 6, &7, Purchaseres are advised that despite the inclusion of noise control features in the development and within the building units, sound levels due to increasing roadway traffic may, on occasion, interfere with some activities of the occupants as the sound levels exceed the sound level limits of the City of Ottawa and Ministry of Environment and Climate Change. To help address the need for sound attenuation, this development includes:

- STC multi-pane glass glazing elements
- Block 6 west, south, and east façade bedroom: STC 38
- Block 6 west, south, and east façade living room: STC 33
- Block 6 east, and south bedroom/living room: STC 31

- STC rated exterior walls
- Block 6 west, south, and east façade bedroom: STC 59/48
- Block 7 west, south, and east façade living room: STC 59/48

Additionally, with respect to the Outdoor Living Area, purchasers/tenants are advised that sound levels due to road traffic may on occasion interfere with some activities of the occupants as the sound levels exceed the limits of the City of Ottawa and Ministry of Environment and Climate Change.

This development has been also been designed with central air conditioning (or similar mechanical systems) and other measures which will allow windows and doors to remain closed, thereby ensuring that indoor sound levels are within the sound level limits of the City of Ottawa and Ministry of Environment and Climate Change. (Note: The location and installation of the outdoor air conditioning device should be done so as to comply with noise criteria of MOE Publication NPC-216, Residential Air Conditioning Devices and thus minimize the noise impacts both on and in the immediate vicinity of the subject property.)”

“The Transferee covenants with the Transferor that the above clause, verbatim, will be included in all subsequent Agreements of Purchase and Sale and Deeds conveying the lands described herein, which covenant shall run with the said lands and is for the benefit of the subsequent owners of the said lands and the owner of the adjacent road.”

Noise Control Features in accordance with the Roadway Traffic Assessment, Petrie’s landing Block 6, 7, & 8, Orleans, Ontario, prepared for Brigil, by Gradient Wind Engineering Inc, dated September 22, 2017, Report: GWE17-139 – Traffic Noise, all units in Block 6, 7, & 8, for himself, his heirs, executors, administrators, successors and assigns acknowledge being advised that this dwelling unit has been fitted with a forced air heating system and the ducting, etc. was sized to accommodate central air conditioning. Installation of central air conditioning by the Transferee (owner/occupant) will allow windows and exterior doors to remain closed, thereby ensuring that the indoor sound levels are within the City of Ottawa’s and the Ministry of the Environment’s and Climate Change noise criteria. (Note: The location and installation of the outdoor air conditioning device should be done so as to comply with noise criteria of MOE Publication NPC-216, Residential Air Conditioning Devices and thus minimize the noise impacts both on and in the immediate vicinity of the subject property.)”

"The Transferee covenants with the Transferor that the above clause, verbatim, will be included in all subsequent Agreements of Purchase and Sale and Deeds conveying the lands described herein, which covenant shall run with the said lands and is for the benefit of the subsequent owners of the said lands and the owner of the adjacent road."

Oct. 26/18  
Date



Jeff McEwen  
Manager, Development Review  
Development Review, East  
Planning, Infrastructure and Economic  
Development Department

Enclosure: Site Plan Control Application approval – Supporting Information

## SITE PLAN CONTROL APPROVAL APPLICATION SUPPORTING INFORMATION

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File Number: D07-12-17-0093

### SITE LOCATION

8466 Jeanne-d'Arc Boulevard North, and as shown on Document 1.

### SYNOPSIS OF APPLICATION

The subject site is located south east of Prestige Circle, on the south side of Jeanne-d'Arc Boulevard North, north of Regional Road 174, and between the ravines formed by Brisebois Creek to the west and Belleview Creek to the east. The property that is subject to this application is vacant and part of a phased development.

The 31,121-square metre site that is proposed to be occupied by three buildings, two of them being Blocks 6 and 7 intended to accommodate 79 and 92 residential condos units respectively, and the third one being Block 8 intended to accommodate a 93 unit retirement home. Blocks 6 and 7 are part of Phase 2, while Block 8 is part of Phase 3.

The plan of subdivision created two development blocks, Blocks 1 and 2, and a public street known as Prestige Circle.

Each of the building in this development will have access to an internal at grade parking lot that accesses Prestige Circle. The proposal also calls for the creation of surface and underground parking spaces.

The new buildings have been oriented to present a façade along Regional Road 174. The four-storey buildings elevations have a combination of masonry veneer, stone, fiber cement siding, and steel siding.

### DECISION AND RATIONALE

This application is approved for the following reasons:

- The proposal is in conformity with the policies of the "General Urban Area" designation in the City's Official Plan, in that condominium apartment type buildings are generally consistent with all types and densities of housing, as well as employment, retail uses, services, culture, leisure, greenspace, and institutional uses, that the Plan intends for such areas;

- The proposal complies with the existing zoning provisions of the "Residential Fifth Density, Subzone A - Exception 1409" R5A [1409] Zone of the City of Ottawa Zoning By-law 2008-250 respecting a Planned Unit Development, as it pertains to the provision for a parking area within the required and provided front yard.
- The site development complies with the density requirements as set out under Subdivision Agreement OC1201285; and
- The proposed site layout, including the building location, landscaping, signage, parking area, and internal vehicular and pedestrian circulation and access reflect good site design principles.

A registered Site Plan Agreement is required to ensure that works associated with the implementation of the site plan are undertaken in accordance with municipal standards and verified through on-site inspections, and that sufficient securities are posted to ensure completion of site works.

## **CONSULTATION DETAILS**

Councillor Bob Monette - Orléans has concurred with the proposed conditions of approval.

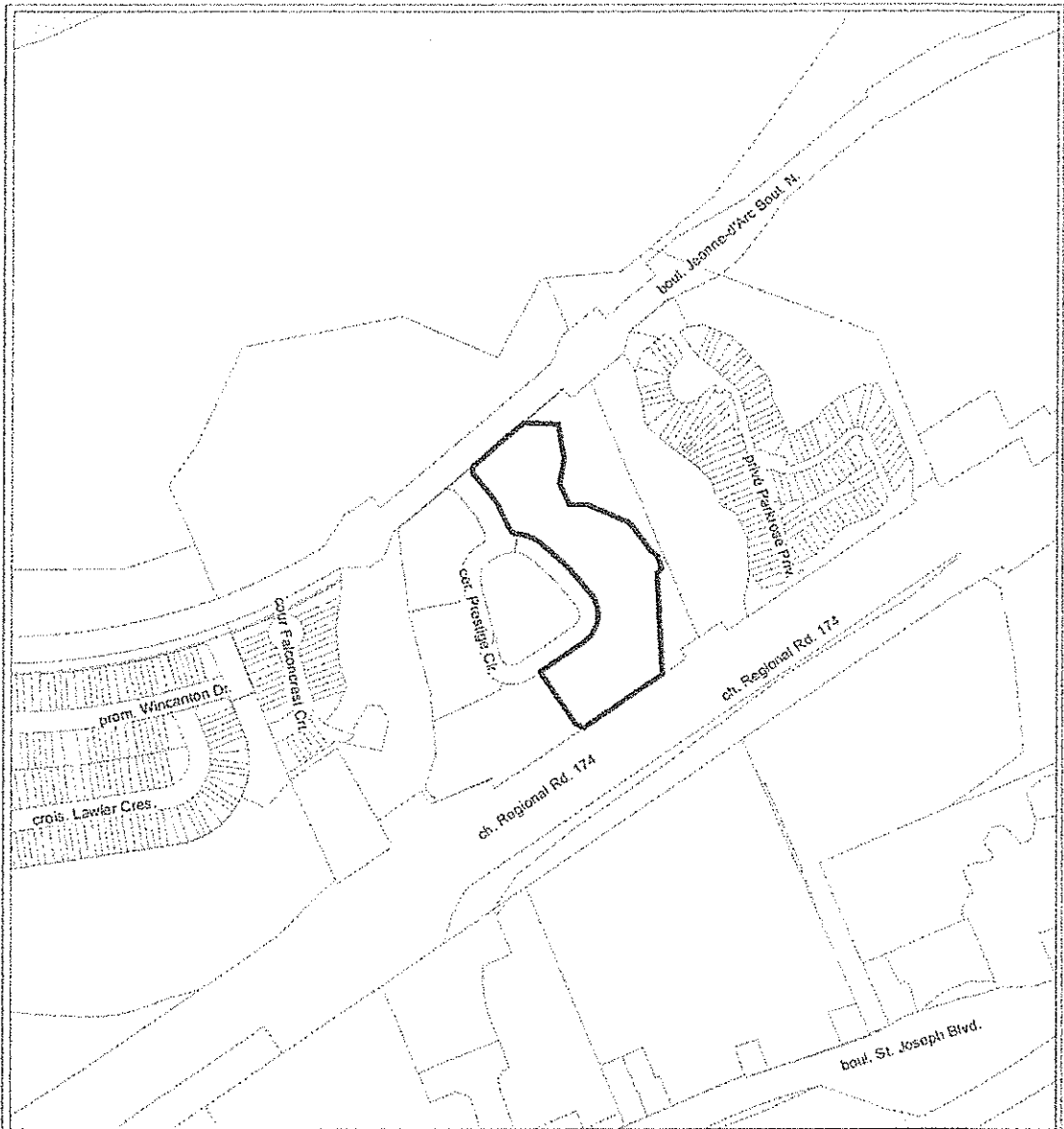
### **Public Comments**



This application was subject to the Public Notification and Consultation Policy. No public comments were received.

## **APPLICATION PROCESS TIMELINE STATUS**

This Site Plan application was not processed by the On Time Decision Date established for the processing of an application that has Manager Delegated Authority due to the extent of revisions required to the site plan.

**Contact:** Evode Rwagasore Tel: 613-580-2424, ext. 16483, fax 613-580-2576 or e-mail: [Evode.Rwagasore@ottawa.ca](mailto:Evode.Rwagasore@ottawa.ca)



		<b>LOCATION MAP / PLAN DE LOCALISATION</b> <b>SITE PLAN / PLAN D'EMPLACEMENT</b>	
D07-12-17-0093	17-1125-A		
<b>L1C02017SiteJeannedArc8466</b>			
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		 <b>8466 boul. Jeanne d'Arc Boul. N</b>	