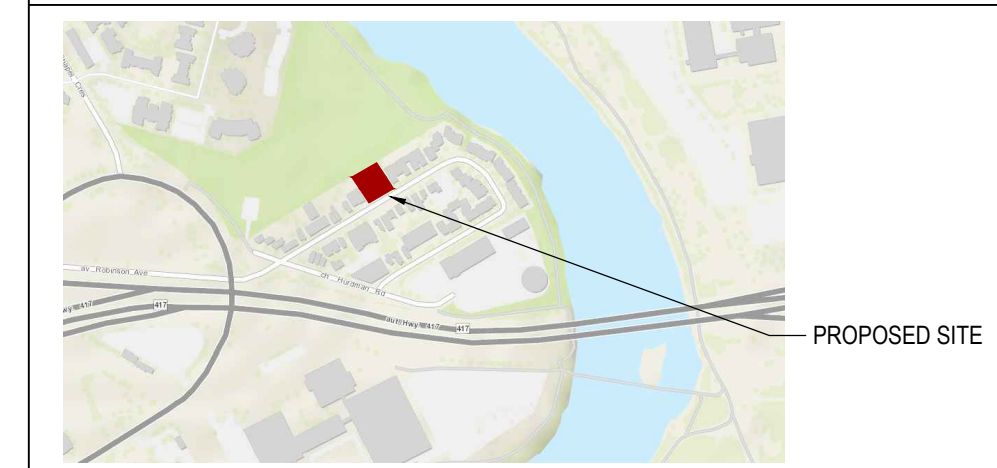


LOT F CONCESSION D (RIDEAU FRONT) (NEPEAN) PART 1 4R-598

PROPERTY BOUNDARY INFORMATION
DERIVED FROM SURVEY PLAN COMPLETED
BY STANTEC GEOMATICS LTD. DATED APRIL
12, 2018.

KEY PLAN



- No. Date Émis pour / Object
- 1 2018-07-09 COORDINATION
- 2 2018-07-13 COORDINATION
- 3 2018-09-17 COORDINATION
- 4 2018-10-26 SITE PLAN CONTROL

PROPERTY DESCRIPTION

THREE STOREY RESIDENTIAL BUILDING	
CITY OF OTTAWA PIN NUMBER	04207 0362, 0363, 0364
MUNICIPAL ADDRESS	29 Robinson Avenue

SITE INFORMATION

LOT AREA:	1,139m ²
LOT FRONTAGE:	32.92m
LOT DEPTH:	34.59m

BUILDING INFORMATION

BUILDING AREA:	595m ²
BUILDING FLOOR AREA:	1,785m ²
PROPOSED USE:	APARTMENT DWELLING, LOW-RISE
UNIT BREAKDOWN:	
BASEMENT:	9 UNITS 1-STUDIO, 6-STUDIO (BIF), 1-1 BD (BIF), 1-2 BD (BIF)
FIRST FLOOR:	14 UNITS 10-STUDIO, 4-1 BD
SECOND FLOOR:	14 UNITS 10-STUDIO, 4-1 BD
THIRD FLOOR:	14 UNITS 10-STUDIO, 4-1 BD
TOTAL:	51 UNITS 37-STUDIO, 13-1 BD, 1-2 BD

ZONING TABLE

CITY OF OTTAWA ZONING BY-LAW No. 2008-250	R5K [2133] H(20)	REQUIRED	PROPOSED
MINIMUM LOT AREA	450m ²		1,139m ²
MINIMUM LOT WIDTH	15m		32.92m
FRONT YARD SETBACK	3m		4.76m
MINIMUM INTERIOR SIDE YARD SETBACK	1.5m within 21m of front lot line 6m in all other circumstances		1.5m
MINIMUM REAR YARD SETBACK	7.5m		7.5m
MAXIMUM BUILDING HEIGHT	14.5m		10.8m
MAXIMUM FLOOR SPACE INDEX	N/A		
LANDSCAPED AREA	30% = 341.7m ²		25% = 286m ²
VEHICLE PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0 parking spaces for first 12 units Table 101 - Dwelling low-rise apartment 0.5 per dwelling unit = 20 spaces		0 SPACES
VISITOR PARKING REQUIREMENTS (AREA Y, SCHEDULE 1A)	0.1 / DWELLING UNIT AFTER 12 UNITS 4 SPACES REQUIRED		4 SPACES
AMENITY AREA REQUIREMENTS	15m ² per unit for the first 8 units = 120m ² 6m ² per dwelling unit in excess of 8 = 258m ² Total = 378m ²		-143m ² REAR YARD AMENITY -33m ² REAR SIDE YARD AMENITY [142m ² SOFT LANDSCAPING (81%)] -148m ² ROOFTOP AMENITY -56m ² BALCONIES TOTAL = 380m ²
BICYCLE PARKING SPACES	0.5 per dwelling unit = 26		26

Ingenieur / Engineer
(Structure / Structure)

Ingenieur / Engineer
(Mechanique & Electrique / Mechanical & Electrical)

Ingenieur / Engineer
(Civil / Civil)



Client / Client

Robinson Village II
Limited Partnership

Architecte / Architect



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Scieur / Scaler



Note:
L'entrepreneur doit vérifier toutes les dimensions et informations sur le site et agir immédiatement l'architecte de toutes erreurs ou omissions.
Contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.

Projet / Project

THREE STOREY APARTMENT BUILDING

29 Robinson Avenue, Ottawa ON

Site Plan

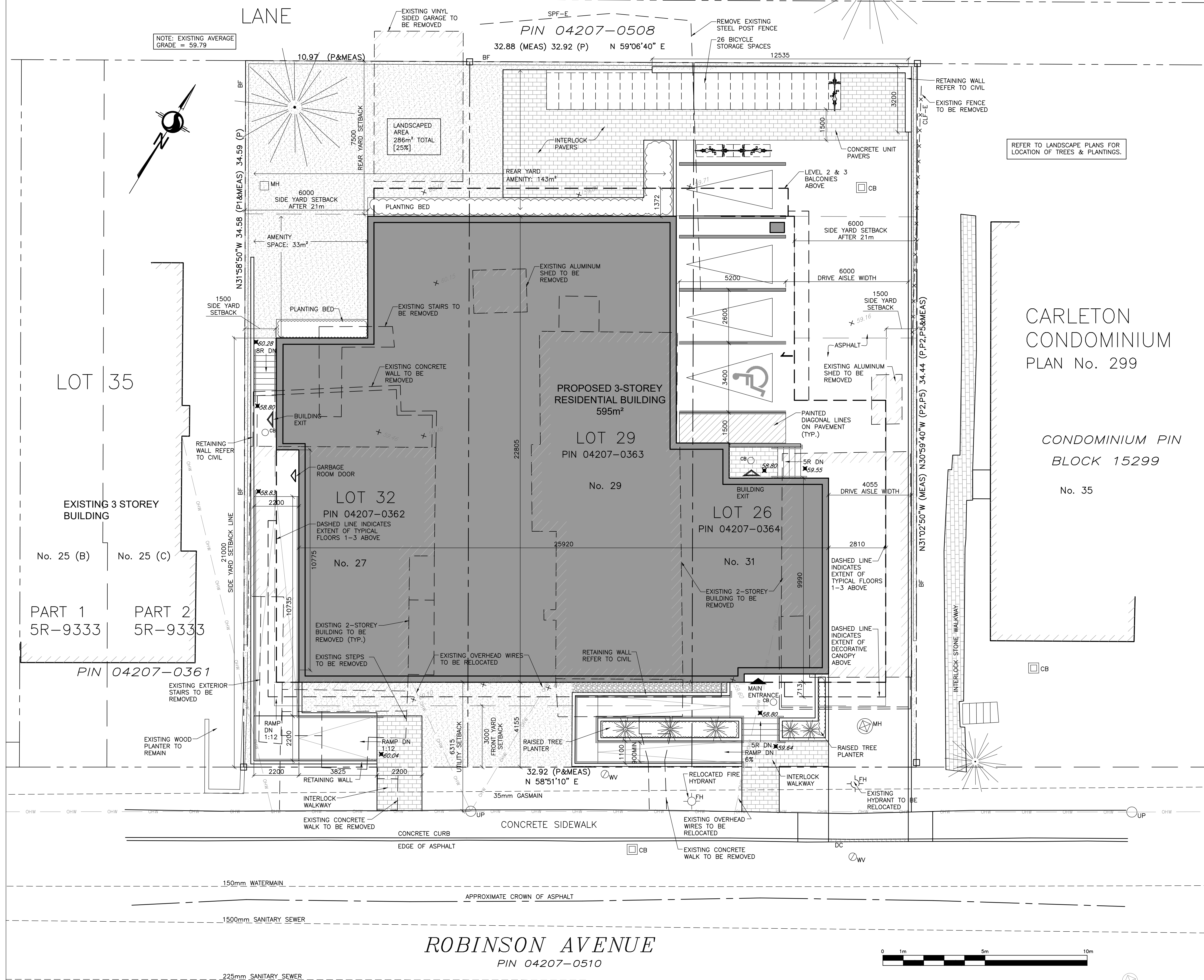
Dessiné par / Drawn by: MD No. projet / Project number: 1621

Vérifié par / Verified by: RC No. dessin / Drawing number: 1621

Échelle / Scale: As indicated

Date de création du dessin / Drawing creation date: 2018/05/01

A105



CARLETON
CONDOMINIUM
PLAN No. 299

CONDOMINIUM PIN
BLOCK 15299
No. 35

LEGEND

- SOFT LANDSCAPING
 - UNIT PAVERS REFER TO LANDSCAPE
 - ASPHALT PAVING
 - CONCRETE
 - RIVERSTONE REFER TO LANDSCAPE
 - EXISTING BUILDING ELEMENT TO BE REMOVED
 - EXISTING FENCE
 - NEW SCREEN FENCE
 - NEW BOARD FENCE
 - LOT LINE
 - SETBACK LINE
 - DESIGNATED BUILDING ENTRANCE / EXIT
 - FIRE HYDRANT. REFER TO CIVIL
 - CATCH BASIN
 - MANHOLE
 - FLOOR DRAIN
 - UTILITY POLE
 - OVERHEAD UTILITY WIRES
 - LIGHT STANDARD
 - DEPRESSED CURB
 - EXISTING TREE TO REMAIN (REFER TO LANDSCAPE DRAWINGS)
 - NEW TREE (REFER TO LANDSCAPE DRAWINGS)
 - NEW SHRUBS (REFER TO LANDSCAPE DRAWINGS)
 - NEW EVERGREEN SHRUB (REFER TO LANDSCAPE DRAWINGS)
 - EXISTING GROUND ELEVATION [TO DETERMINE EXISTING AVERAGE GRADE]
 - NEW GROUND ELEVATION REFER TO CIVIL
- NOTE: "X"-E INDICATES EXISTING TO REMAIN



NOTE: EXISTING AVERAGE GRADE = 59.79

REFER TO LANDSCAPE PLANS FOR LOCATION OF TREES & PLANTINGS.