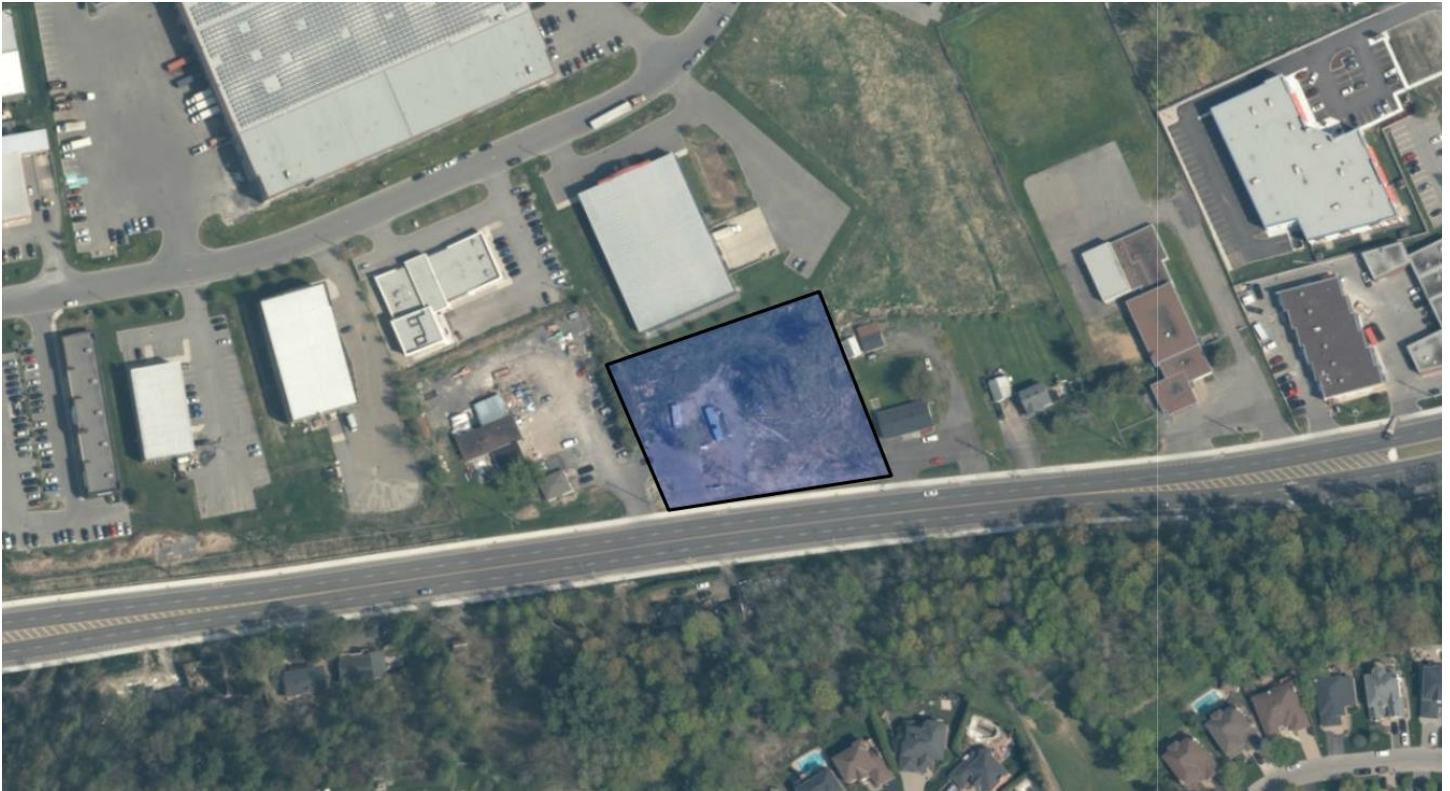


# PLANNING RATIONALE

## 3735 ST. JOSEPH BOULEVARD



Project No.: OCP-18-0054

Prepared for:

Blueprint Construction Services Ltd.  
17-1010 Polytek Street  
Ottawa, ON, K1J 9J1

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September 27, 2018

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## APPENDICES

<i>Appendix A:</i>	<i>Topographic Plan of Survey, prepared by Annis, O’Sullivan, Vollebekk Ltd. (NOT TO SCALE)</i>
<i>Appendix B:</i>	<i>Site Plan, prepared by Blueprint Construction Services Ltd. (NOT TO SCALE)</i>
<i>Appendix C:</i>	<i>Floor Plan, prepared by Blueprint Construction Services Ltd. (NOT TO SCALE)</i>

## **1.0 OVERVIEW / INTRODUCTION**

This Planning Rationale is submitted on behalf of our client, BluePrint Construction Services Ltd., and the owner, 2383808 ONTARIO INC., in support of a Site Plan Control Application for the development of a one-storey commercial/office building with a walk-out basement on the subject lands, which are municipally known as 3735 St. Joseph Boulevard. This Planning Rationale describes the subject and adjacent lands; describes the proposed development; discusses the suitability of the proposal in the context of Provincial policy and municipal policy and zoning; and concludes by affirming that Site Plan Control approval is appropriate for the proposed development on the subject lands.

## **2.0 PRE-CONSULTATION**

A pre-consultation meeting was held February 20, 2018 with the City of Ottawa to discuss the proposed one-storey light industrial development. City staff determined that the development application would be categorized as a “Site Plan Control for New Development – Manager Approval, Public Consultation” application. Following pre-consultation, City staff confirmed the list of technical studies and plans required in order to deem a Site Plan Application submission adequate for circulation. The following plans and studies are being submitted as part of the Site Plan Control application:

- Site Plan
- Floor Plans
- Architectural Elevations
- Topographic Survey Plan
- Landscape Plan
- Grading, Drainage, and Sediment and Erosion Control Plan
- Site Servicing and Stormwater Management Report
- Stormwater Management Report
- Phase 1 Environmental Assessment
- Transportation Noise Study
- Geotechnical Study
- Tree Conservation Report

## **3.0 SITE CONTEXT**

The subject lands are located at 3735 St. Joseph Boulevard in the City of Ottawa. The subject lands have an area of 5,082.86 sq. meters (0.51 hectares) and 84.24 metres of frontage on the north side of St. Joseph Boulevard. The site is currently vacant and undeveloped with existing vegetation throughout the site. The subject lands are located within the Taylor Creek Business Park and are serviced by municipal water and sewage infrastructure. The closest intersections are Taylor Creek Drive and St. Joseph Boulevard, approximately 290

metres west of the subject lands, and Trim Road and St. Joseph Boulevard, approximately 285 metres east of the subject lands to the east.

The subject lands are located within the City of Ottawa, in the former Geographic Township of Cumberland and are legally known as “PART LOT 31 CONCESSION 1 OLD SURVEY CUMBERLAND BEING PARTS 1 TO 12 INCL. PLAN 4R29604. SUBJECT TO AN EASEMENT IN GROSS OVER PARTS 4 TO 11 INCL. PLAN 4R29604 AS IN OC790487. SUBJECT TO AN EASEMENT IN GROSS OVER PARTS 2 TO 8 INCL. PLAN 4R29604 AS IN OC851072. SUBJECT TO AN EASEMENT IN GROSS OVER PARTS 7, 10 AND 12 PLAN 4R29604 AS IN OC1643786. CITY OF OTTAWA.” Figures 1 and 2 show the subject lands and their surroundings.

The subject lands are surrounded by light industrial buildings, including a large-scale industrial warehouse to the north; small commercial/light industrial buildings to the east; a residential neighbourhood opposite of St. Joseph Boulevard to the south; and light industrial and office buildings to the west.

A topographic plan of survey, prepared by Annis, O’Sullivan, and Vollebakk, is at Appendix A.



Figure 1: Subject Lands





Figure 2: Surrounding Lands

## 4.0 DEVELOPMENT PROPOSAL

The proposed development involves the construction of a one-storey commercial/office building. Owing to the site's topography, the building will appear as though it is two-storeys at its rear. The Site Plan (see Appendix B) identifies the proposed site configuration, including parking/circulation and landscaping.

As shown on the floor plan (Appendix C), the ground floor will consist of +/- 114.3 sq. metres of space for personal service establishments, +/- 349.4 sq. metres of space for medical office(s), and +/- 110.5 sq. metres for restaurant(s). There are currently six (6) proposed entrances to the ground floor. The foundation / basement floor will consist of a +/- 563.4 sq. metre instructional facility and with four (4) entrances.

There is a single point of vehicular access to St. Joseph Boulevard along the westerly portion of the southern lot line. Bi-directional drive aisles surround the north, west, and south sides of the building. A total of 43 proposed parking spaces are proposed, with parking areas located within the north, west, and south yards. Eleven (11) of the parking spaces in the north (rear) yard are designated as "small car parking". Three (3) barrier free spaces are proposed: two (2) are located within the front yard and one (1) is located in the rear yard all in general proximity to building entrances. A concrete pedestrian walkway is proposed from the existing sidewalk on St. Joseph Boulevard to the southern entrance of the proposed building, just east of the parking area. Concrete walkway is also proposed at the perimeter of the majority of the building.

A garbage enclosure is proposed at the northwest corner of the subject lands, providing efficient access for private garbage pick-up. Snow piling is proposed at the northwest corner of the building. Six (6) bicycle parking spaces are proposed southeast of the building and along the concrete pedestrian walkway.

## 5.0 PLANNING POLICY & REGULATORY FRAMEWORK

### 5.1 Provincial Policy Statement

The Provincial Policy Statement (PPS), issued pursuant to Section 3 of the *Planning Act*, provides policy direction on land use planning matters of provincial interest. The proposed development is consistent with the Provincial Policy Statement's policies to promote economic development and competitiveness. The proposed development introduces commercial and offices uses in a suburban area within the City of Ottawa and will contribute to building strong healthy communities. The proposed development is within both a *settlement area* (Policy 1.1.3) and a designated *employment area* (Policy 1.3.2). The proposal contributes to sustaining healthy and livable communities (Policy 1.1.1):

Pol 1.1.1 Healthy, liveable and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
- b) accommodating an appropriate range and mix of residential (including second units, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;
- e) promoting cost-effective development patterns and standards to minimize land consumption and servicing costs;
- f) improving accessibility for persons with disabilities and older persons by identifying, preventing and removing land use barriers which restrict their full participation in society;

The proposed development offers a mix of commercial and office uses, is cohesive with surrounding land uses, is adequately serviced by municipal services, and is accessible by all modes of transportation.

The development, as proposed, is consistent with matters of Provincial interest, as expressed in the 2014 Provincial Policy Statement.

### 5.2 City of Ottawa Official Plan

The City of Ottawa Official Plan provides policy direction to manage growth in a sustainable manner and promotes liveable communities and healthier environments. Under the City of Ottawa Official Plan, the subject lands are designated *Urban Employment Area* on Schedule 'B' – Urban Policy Plan.

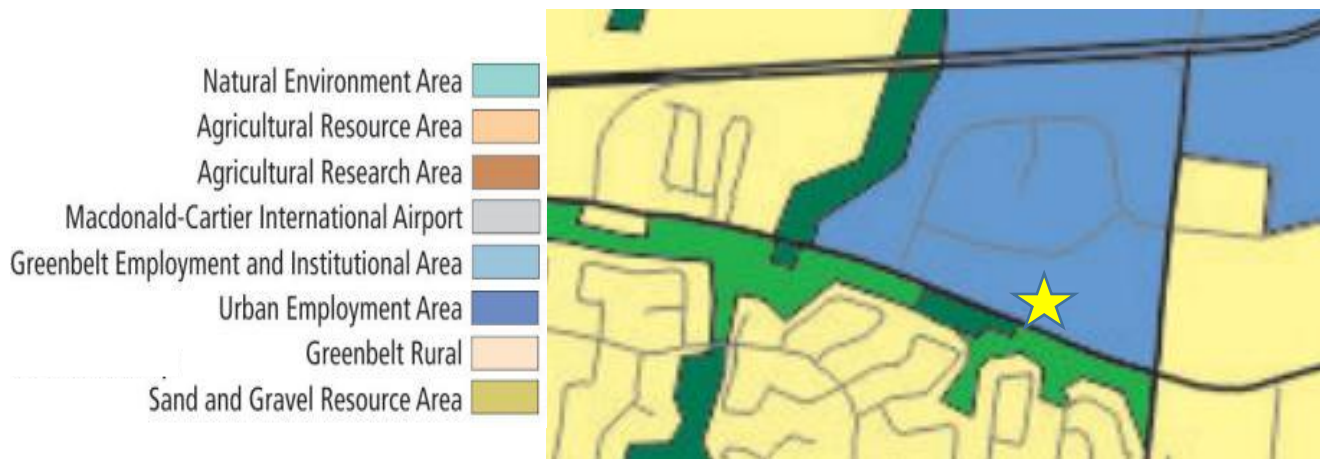


Figure 3: City of Ottawa Official Plan, Schedule 'B' – Urban Policy Plan

According to Official Plan Policy 3.6.5, *Urban Employment Areas* are intended to be established clusters of business and economic activity that are capable of accommodating more than 2,000 jobs. The proposed development consists of multiple uses (restaurant, medical office, personal service, and instructional facility), which are all permitted uses under Policy 3.6.5(2) of the Official Plan.

Section 2.2 of the Official Plan discusses growth management strategies throughout the urban areas. The Official Plan sets out two strategies for distributing growth through the urban area to build strong communities:

- Intensification and infill
- New development on vacant land in designated growth areas that contributes to the completion of an existing community or builds a new community(ies)

Policy 2.2.2(2) outlines how employment intensification is achieved through “intensification of a property, building or area that results in a new increase in jobs and/or gross floor area.” The proposed development represents infilling of vacant land and intensification of an employment area and conforms to the Official Plan’s growth management policy in these regards.

### 5.3 City of Ottawa Zoning By-law 2008-250

As shown within Figure 4, the subject lands are zoned IL H(21) - Light Industrial with a site-specific 21 metre height limit under the City of Ottawa Zoning By-law (No. 2008-250). Section 203(1a) indicates uses permitted on lands zoned Light Industrial:

- Animal hospital, automobile dealership, automobile rental establishment, broadcasting studio, catering establishment, day care, drive-through facility, emergency service, heavy equipment and vehicle sales, rental and servicing, light industrial uses, medical facility, municipal service centre, office, park, parking garage, parking lot, place of assembly, post office, printing plant, production studio, research and development centre, service and repair shop, small batch brewery, technology industry, training centre, truck transport terminal, warehouse.

The following additional uses are permitted within the IL zone, provided the gross floor area of each use does not exceed 300 sq. metres and provided their cumulative gross floor area does not exceed 2,999 sq. metres:

- Animal care establishment, amusement centre, amusement park, automobile service station, bank, bank machine, bar, car wash, convenience store, gas bar, instructional facility, payday loan establishment, personal service business, recreational and athletic facility, restaurant.



*Figure 3: Screenshot from City's "GeoOttawa" Mapping, identifying Zoning of Subject Lands*

The Site Plan, at Appendix B, includes a site statistics chart that communicates the compliance of the proposal with applicable provisions of the Zoning By-law.

## **6.0 CONCLUSION**

The proposed development is consistent with the Provincial Policy Statement and conforms to the City of Ottawa Official Plan. The proposal complies with the City of Ottawa Zoning By-law (No. 2008-250) as the proposed land uses are permitted within the IL H(21) Zone; the site plan demonstrates that the site is compliant with the provisions of the IL H(21) Zone.

The proposal is an appropriate use of the subject lands, is in the public interest, and represents good planning.



Respectfully submitted,

Prepared By:

*Evan Garfinkel*

Evan Garfinkel, M.PL  
Junior Planner

Reviewed By:



Benjamin Clare, M.C.P., R.P.P.  
Senior Land Use Planner

## Appendix A

*Topographic Plan of Survey, prepared by Annis, O'Sullivan, Vollebakk Ltd. (NOT TO SCALE)*



**Appendix B**

*Site Plan, prepared by Blueprint Construction Services Ltd. (NOT TO SCALE)*

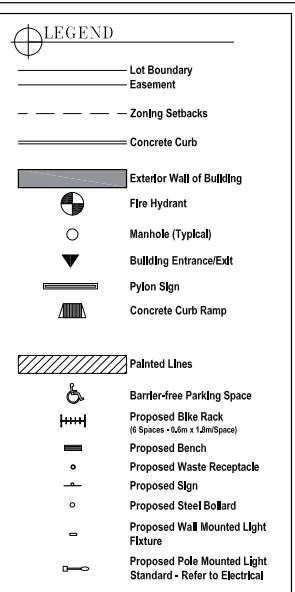
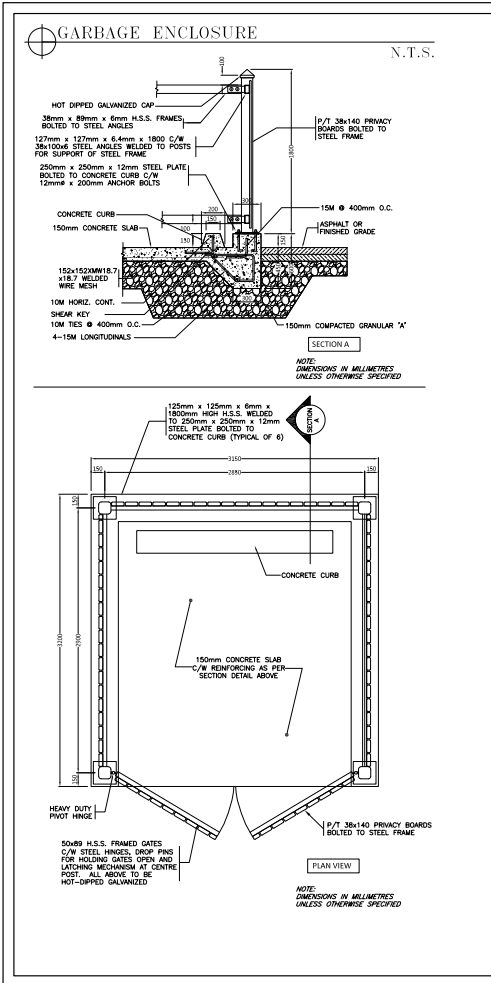


DESIGNER BCIN 38012 P. LALONDE  
SIGNATURE OF MEMBER

No.	Revision/Issue	Date
1.	PRELIMINARY	JAN 2018
2.	SPC	AUGUST 2018
3.	SPC	AUG 8, 2018

PROJECT INFO  
3735 ST JOSEPH BLVD  
OTTAWA, ONTARIO  
MIXED-USE DEVELOPMENT  
LEGAL DESCRIPTION  
PART OF LOT 31, CONCESSION 1  
PARTS 5-13 PLAN 4R-21645

SITE PLAN  
Sheet #  
A2.1



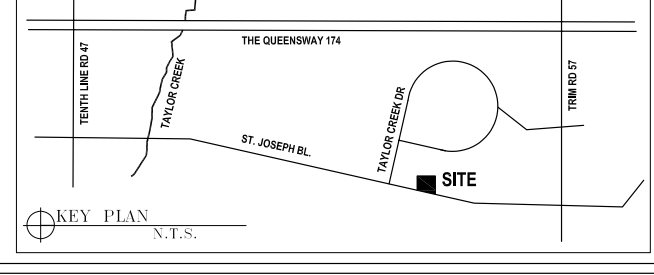
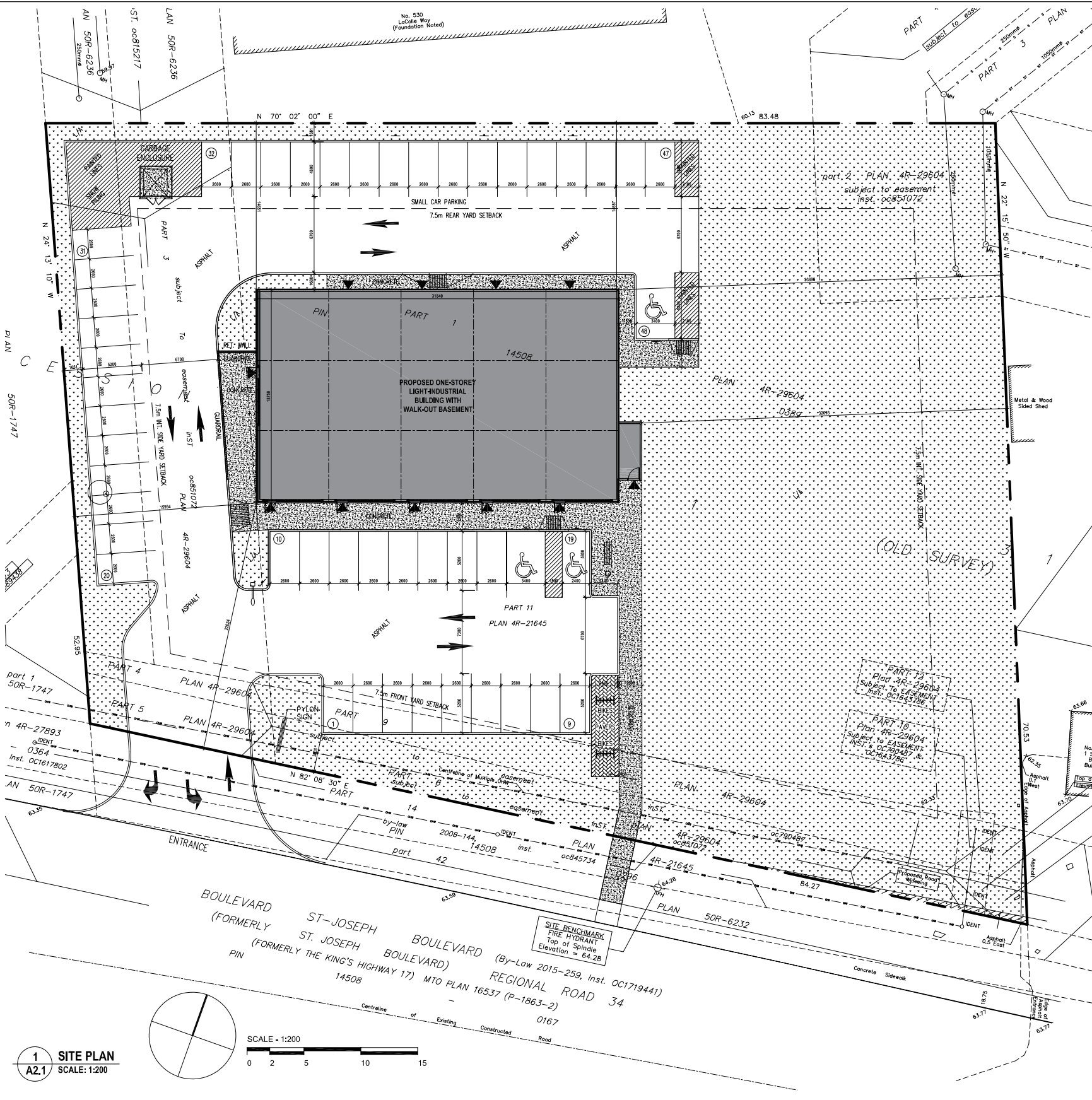
- NOTES
- Bike Racks to be City of Ottawa Standard Bike Rack Installed on concrete pads as per City of Ottawa Standard Details SF06 and SF07.
  - Bollards to be City of Ottawa Standard 100mm diameter steel bollard for parking lots / parks as per City of Ottawa Standard Detail F5. Paint colour to be black instead of red.
  - Refer to the Lighting Plan for information regarding Light Standards (pole mounted and wall mounted).
  - Property boundary information was derived from a topographic survey prepared by OLS Annis, O'Sullivan, Vollebek Ltd, dated April 28, 2014.
  - Hydro pole locations was derived from a topographic survey prepared by OLS Annis, O'Sullivan, Vollebek Ltd, dated September 15, 2015.

ZONING STANDARDS CITY OF OTTAWA

GENERAL PROVISIONS			
SECTION	PROVISION	REQUIRED	PROPOSED
106 (1)	PARKING SPACE DIMENSIONS (MIN.) • STANDARD SPACE • SMALL CAR SPACE • BARRIER-FREE SPACE TYPE A • BARRIER-FREE SPACE TYPE B	• 2.6m x 5.2m • 2.4m x 4.6m • 3.4m x 5.8m • 2.4m x 5.8m	• 2.6m x 5.2m • 2.4m x 4.6m • 3.4m x 5.8m • 2.4m x 5.8m
T101	PARKING SPACE RATES		
T101	INSTRUCTIONAL FACILITY 3.4 SPACES / 100 M2 @ 598 M2 = 21 SPACES	21 SPACES	29 SPACES
T101	PERSONAL SERVICE 3.4 SPACES / 100 M2 @ 358 M2 = 13 SPACES	13 SPACES	13 SPACES
T101	OFFICE 2.4 SPACES / 100 M2 @ 242 M2 = 6 SPACES	6 SPACES	6 SPACES
T101	TOTAL PARKING SPACES	40	48
106 (3)(a)	SMALL CAR PARKING SPACES (MAX.) • 50% OF REQUIRED PARKING SPACES	21 SPACES MAX	16
PART C 122 (1) (ACCESSIBILITY BY-LAW)	BARRIER-FREE PARKING SPACES (MIN.) • 4% OF TOTAL SPACES	2 SPACES	3 SPACES
107	DRIVEWAY WIDTH (MIN.) • TWO WAY NO PARKING • ALONG 90° PARKING	• 6.7m	• 6.7m
T110	WIDTH OF LANDSCAPING AROUND PARKING (MIN.) • ABUTTING STREET • NOT ABUTTING STREET	• 3.0m • 1.5m	• 3.00m • 1.50m
110 (3)	REFUSE COLLECTION AREAS (MIN.) • FROM STREET LINE • FROM LOT LINES • HEIGHT OF OPAQUE SCREENING	• 9.0m • 3.0m • 2.0m	• 46.30m • >3.0m • <2.0m
T111A	BICYCLE PARKING SPACES (MIN.) • 1 SPACE/250m² GFA AT 597.85m² GFA	3 SPACES	6 SPACES
T113A (c)(4)	PARALLEL LOADING SPACE DIMENSIONS (MIN.) • 3.5m x 9.0m	3.5m x 9.0m	3.5m x 9.0m
T113A(g)	LOADING SPACES (MIN.) • GFA BETWEEN 2000-4999m²	0 SPACE	0 SPACE
LIGHT INDUSTRIAL (IL H21) ZONE			
SECTION	PROVISION	REQUIRED	PROPOSED
T203 (a)	LOT AREA (MIN.)	2,000m²	5,082.86m² (0.51ha)
T203 (b)	LOT WIDTH (MIN.)	NONE	84.54m
T203 (c)	LOT COVERAGE (MAX.)	65%	11.76%
T203 (d)	FRONT YARD & CORNER SIDE YARD (MIN.)	7.5m	22.61m
T203 (e)	INTERIOR SIDE YARD - WEST (MIN.)	7.5m	16.03m
T203 (e)	INTERIOR SIDE YARD - EAST (MIN.)	7.5m	32.59m
T203 (f)	REAR YARD (MIN.)	7.5m	14.64m
T203 (g)	FLOOR SPACE INDEX (MAX.)	2	0.61
T203 (h)	BUILDING HEIGHT (MAX.)	21m (HEIGHT SUFFIX ZONE)	7.15m
T203 (i)	WIDTH OF LANDSCAPED AREA (MIN.) • ABUTTING STREET	• 3m	• 3.00m

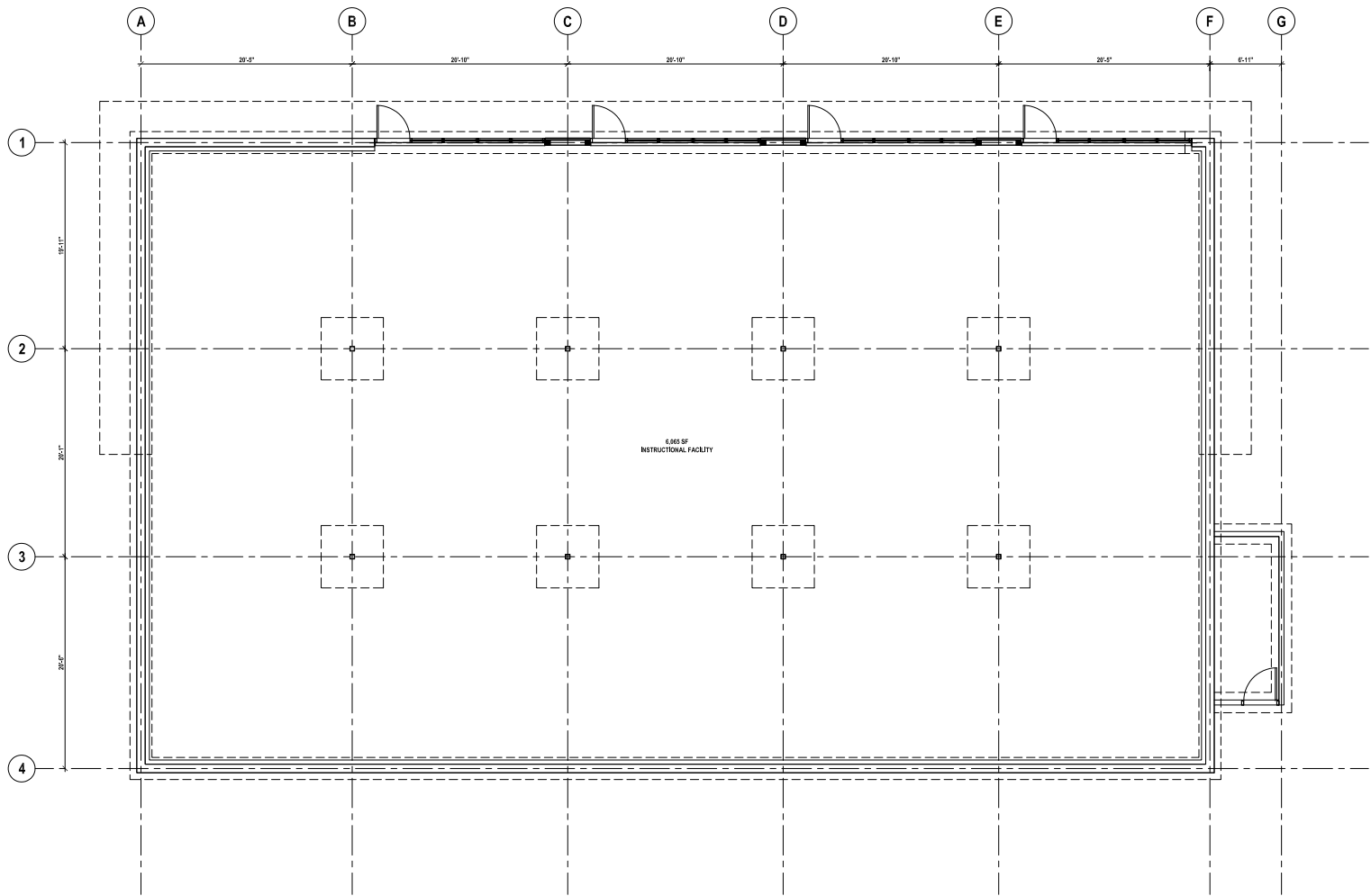
SITE STATISTICS

BUILDING AREA • GROUND FLOOR	597.85 M2
PAVED AREA	1,653.53m²
LANDSCAPED AREA	2,288.84m²
LOT AREA	5,082.86m²
BUILDING AREA %	11.76%
PAVED AREA %	32.53%
LANDSCAPED AREA %	45.03%

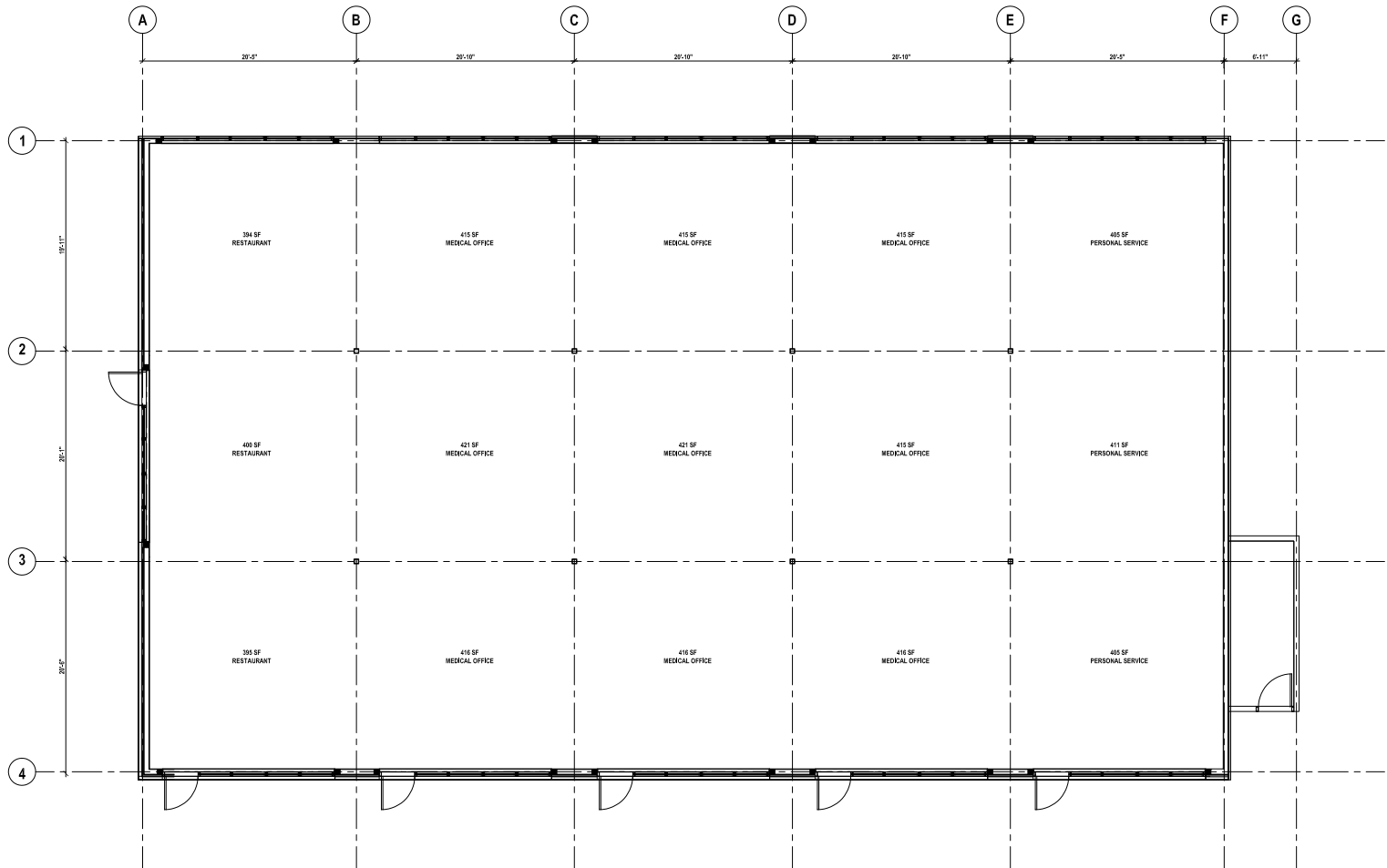


**Appendix C**

*Floor Plan, prepared by Blueprint Construction Services Ltd.*



1 FOUNDATION  
A3.1 SCALE: 1/4" = 1'



2 GROUND FLOOR  
A3.1 SCALE: 1/4" = 1'

No.	Revision/Issue	Date
1.	PRELIMINARY	MAY 2018
2.	SPC	AUGUST 2018

**PROJECT INFO**

3735 ST JOSEPH BLVD  
OTTAWA, ONTARIO

**SONSHINE COMMUNITY  
MINISTRIES**

**LEGAL DESCRIPTION**

PART OF LOT 31, CONCESSION 1  
PARTS 5-13 PLAN 4R-21645

**FLOOR PLAN  
GROUND LEVEL**

	Sheet #
	<b>A3.1</b>
Scale as shown	