

Legend

- PROPOSED WELL LOCATION
- PROPOSED BOLLARDS
- POTENTIAL SWM AREA
- CONCRETE PAD
- ASPHALT AREA
- BUILDING ENTRANCE
- RIVERSTONE

Notes

3	REVISED AS PER COMMENTS	MS	DK	18.09.19
2	REVISED AS PER COMMENTS	MS	EB	18.08.31
1	FOR SITE PLAN SUBMISSION	MS	EB	18.07.17

Revision By Appd. YFMMDD

File Name: 160410099-DB JP 18.06.05

Permit-Seal Dwn. Chkd. Dsgn. YFMMDD

Client/Project  
THOMAS CAVANAGH CONSTRUCTION LIMITED  
9094 CAVANAGH ROAD

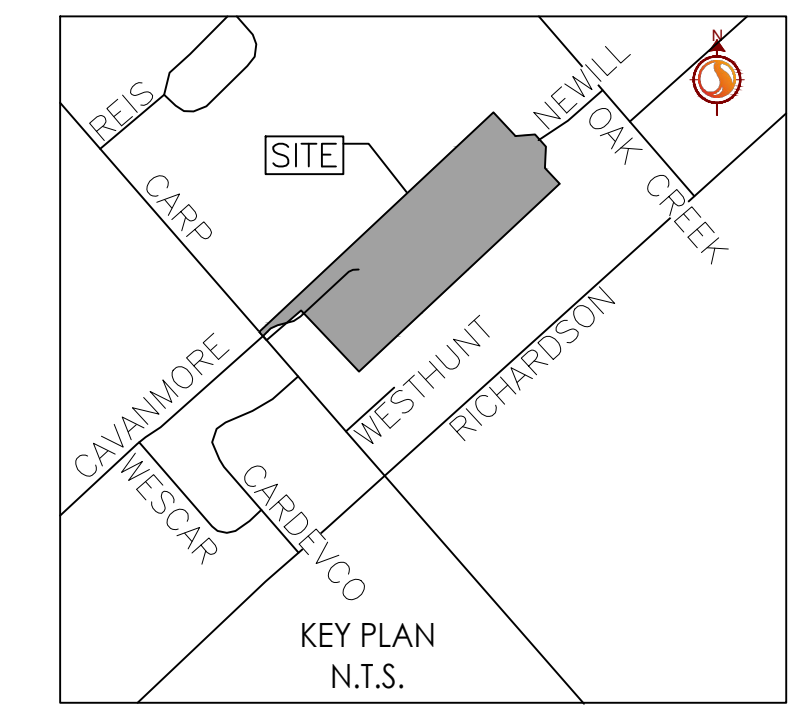
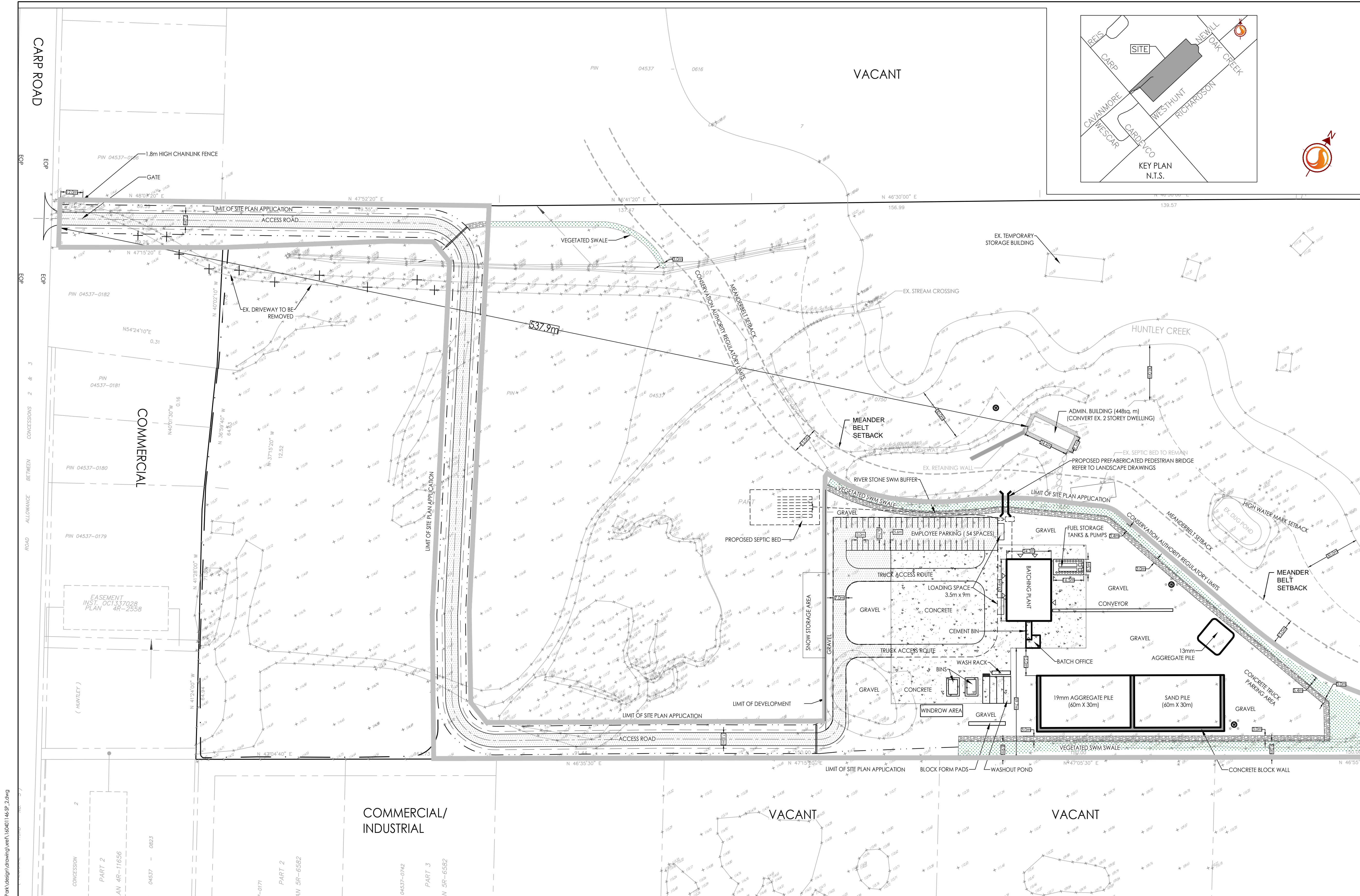
2596 CARP ROAD  
CONCRETE BATCHING PLANT  
OTTAWA, ONTARIO

Title  
OVERALL SITE PLAN

Project No. 160410099 Scale 1:1000

Drawing No. Sheet 1 of 2 Revision

OSSP-1 1 of 2 3



APPROVED  REFUSED

THIS DAY OF 20

ADAM BROWN, MANAGER  
DEVELOPMENT REVIEW RURAL  
PLANNING, INFRASTRUCTURE AND ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

**RURAL GENERAL INDUSTRIAL ZONE- RG6(279)-h**  
City of Ottawa Comprehensive Zoning By-law 2008-250

Holding Provisions: the holding symbol may only be removed by amendment to this by-law upon compliance with the following:

- (a) submission and approval by the City of a site plan, consent or subdivision application

Land Uses	Existing GFA	Proposed GFA
Principal use(s)	heavy industrial	668 m <sup>2</sup>
Accessory use(s)	office*	448 m <sup>2</sup>
TOTAL	448 m <sup>2</sup> *	1116 m <sup>2</sup>

\*existing detached dwelling to be converted to office.

Provision	Required	Provided
Lot width	≥ 30 m	30 m
Lot area	≥ 4000 m <sup>2</sup>	283,968 m <sup>2</sup>
Front yard setback	≥ 12 m	536 m
Rear yard setback	≥ 7.5 m	N/A
abutting a RG, RH or RC zone	≥ 10 m	508 m
other cases	≥ 10 m	39.8 m
interior side yard setback	≥ 12 m	N/A
Corner side yard setback	≥ 12 m	N/A
Principal building height	≤ 15 m	18.3 m
Lot coverage	≤ 50%	0.4%
Vehicle Parking (Area D on Schedule 1A)	≥ 10.8	12
office (2.4/100 m <sup>2</sup> GFA)	≥ 5.4	42
heavy industrial use (0.8/100 m <sup>2</sup> GFA)	TOTAL	10.8
Parking lot landscape buffer	≥ 3 m	N/A
abutting a street	≥ 1.5 m	3 m
not abutting a street		
Bicycle Parking		
office (1.0/250 m <sup>2</sup> GFA)	1.8	2
all other non-residential uses (1.0/150 m <sup>2</sup> GFA)	0.8	1
TOTAL	2.6	3
Loading Spaces		
office	1	1
heavy industrial use	1	1

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