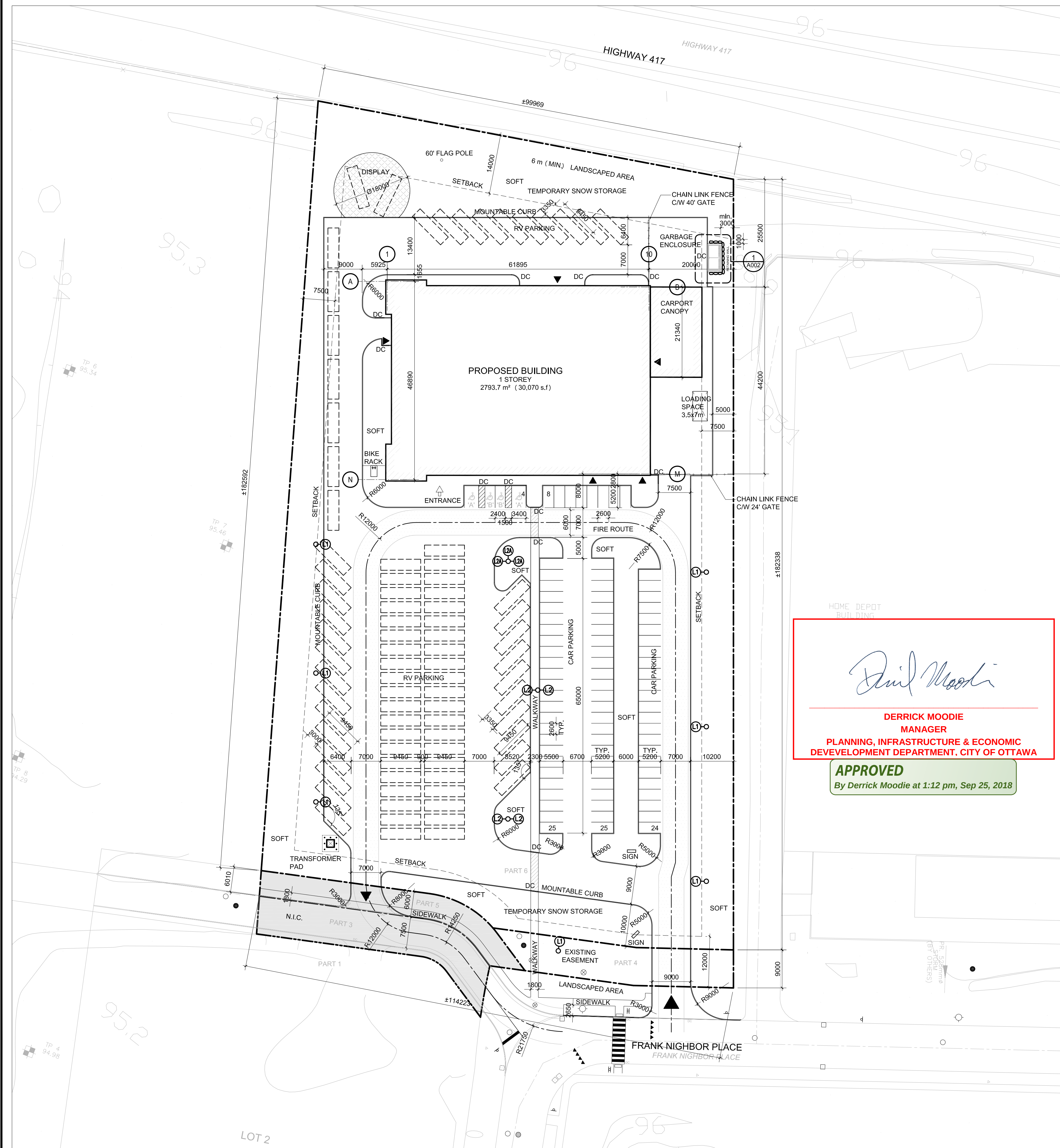




1 SITE PLAN
A-001 SCALE 1:500



KEY PLAN

ZONING INFORMATION

NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2008-250

ZONING MECHANISM	PROVISIONS	PROVIDED
ZONING CODE	IL6 (1414) H (30) -h Light Industrial Zone	Automobile Rental Establishment
MINIMUM LOT AREA	2000 m ²	±19401 m ²
MINIMUM LOT WIDTH	no min.	± 114 m
MINI. FRONT YARD SETBACK	12 m	±94 m
MINI. REAR YARD SETBACK	14 m (HIGHWAY SETBACK)	25.5 m
MINI. INTERIOR SIDE YARD	7.5 m	7.5 m (EAST) 20 m (WEST)
MAX. FLOOR SPACE INDEX	2	
MAX. LOT COVERAGE	65 %	13.84 %
MAX. BUILDING HEIGHT	18 m	±7.6 m
PARKING REQUIREMENTS	±46	87
STANDARD PARKING SPACE	2.6m WIDTH x 5.2m LENGTH	2.6m WIDTH x 5.2m LENGTH
ACCESSIBLE PARKING SPACE	4 (TYPE 'A': 2, TYPE 'B': 2)	4 (TYPE 'A': 2, TYPE 'B': 2)
MINI. WIDTH OF LANDSCAPED AREA	3 m (SIDE) 6 m (FRONT / BACK)	5 m (SIDE) 6 m (FRONT) 10m (BACK)
LOADING ZONE	1	1
BICYCLE PARKING	2	2
GROSS FLOOR AREA	2793.77 m ² (30,070 s.f.) GROUND FLOOR ±200 m ² (2,150 s.f.) MEZZANINE	

FLOOR AREA & PARKING SPACE			
	GROSS FLOOR AREA	PARKING RATE	PARKING REQU.
SHOWROOM	±1140 m ²	2 / 100 m ² G.F.A.	23
SERVICE AREA	±1000 m ² , 8 service bays	2 / SERVICE BAY	16
OFFICE	±200 m ²	2.4 / 100 m ² G.F.A.	5
SUPPLY STORE	±60 m ²	3.4 / 100 m ² G.F.A.	2
TOTAL	±2400m ² (±25,830 s.f.)		± 46 86

PROJECT INFORMATION:

BUILDING CLASSIFICATION:
THE BUILDING IS CLASSIFIED AND DESIGN TO CONFORM TO THE ONTARIO BUILDING CODE 2012 (CURRENT EDITION) PART 3

OCCUPANCY:
GROUP E, UP TO 2 STOREYS, SPRINKLERED (3.2.2.62)

BUILDING STATISTICS:
BUILDING AREA (FOOTPRINT): 2793.8 m².
NUMBER OF STOREYS: 1
BUILDING SPRINKLERED: YES
CONSTRUCTION TYPE: NON-COMBUSTIBLE
OF STREET ACCESS ROUTES: 1

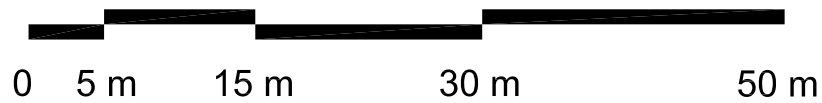
ZONING GROSS FLOOR AREA: ±2400 m².
GROUND FLOOR ±2200 m².
MEZZANINE ±200 m².
FLOOR ASSEMBLY & F.R.R.: 45 MIN.

TOPOGRAPHICAL PLAN INFORMATION:
SURVEY PROPERTY BOUNDARIES TAKEN FROM TOPOGRAPHICAL PLAN OF

PART OF BLOCK 2
REGISTERED PLAN 4M-1012
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

LEGEND

- PROPERTY LINE
- SETBACK
- CHAIN LINK FENCE
- PROPOSED BUILDING
- PYLON SIGN
- FIRE ROUTE
- LOADING SPACE 3.5x7m
- PEDESTRIAN WALKWAY / PAINT LINE
- DEPRESSED CURB
- BIKE RACK
- HANDICAP PARKING
- BUILDING ENTRANCE
- LIGHTING REFER TO ELEC. DWG
- TRANSFORMER PAD REFER TO ELEC. DWG
- SIGNAGE, REFER TO CIVIL



4	ISSUED FOR SITE PLAN REV UPDATE	25 May 2018
3	ISSUED FOR 90% REVIEW	25 May 2018
2	ISSUED FOR SITE PLAN COMMENTS	18 April 2018
1	ISSUED FOR SITE PLAN APPLICATION	9 Feb. 2018
no.	revision	date

N45 ARCHITECTURE INC.
71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811

project
CAMP MART - SITE CAST

20 FRANK NIGHBOR PLACE,
KANATA, ON.

north

seal

ONTARIO ASSOCIATION OF ARCHITECTS
ROBERT C. MATTHEWS
LICENCE 2966

drawing title	
SITE PLAN	
scale AS SHOWN	drawn by J.J.
date Jan. 2018	checked by R.M.
project number 17-249	drawing number A-001
CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.	
revision	