

PLANNING RATIONALE REPORT

**99 - 101 AND 103 PINHEY - SITE PLAN APPLICATION
CITY OF OTTAWA**

**PREPARED BY: P H ROBINSON CONSULTING
SEPTEMBER 2018**

This report has been prepared on behalf of 2641484 Ontario Inc. in support of a Site Plan Control Application for their lands at 99,101 and 103 Pinhey in the Hintonburg Community in Ottawa. The legal description of the property is Part of Lots 1,2 and 3 (east of Pinhey Street) Registered Plan 105, City of Ottawa (see Figure 1 - Survey Plan) in the Appendix Section.

The property is located on the south east corner of Armstrong Street and Pinhey (see Figure 2 Location plan). To the west of the property (west side of Pinhey Street) is a surface parking area. To the east and south the lands are used for a mixture of commercial, and surface parking areas with some loading bays for nearby businesses. To the north and northwest the lands are primarily residential in nature and have been subject to some recent modern infill. The neighbourhood to the north has experienced a significant amount of modern residential infill development over the last few years. See photos in appendix

The subject lands have 15.26 metres of frontage (50') on the east side of Pinhey and 31.93 metres of frontage (105') on Armstrong Street. The depth along the south property line is 26.99 metres (89') and along the rear (east) property line the dimension is 32.31 metres (106'). See the survey plan (Figure 1) for further details. Full size copies of the survey plan are being filed as part of the site plan application. For zoning purposes the frontage along Pinhey Street is considered to be the front lot line.

The property currently consists of two buildings that were built prior to 1908 with 103 Pinhey facing Pinhey and 99 Pinhey facing both Pinhey and Armstrong Streets. The two buildings are connected along the Pinhey Avenue frontage. At the present time both buildings are not occupied. These buildings were formerly the headquarters of a heating contracting business. There are surface parking areas for the property to the rear of the buildings.

The intent of the site plan application is to build a 4 storey residential condominium building with approximately 1228 m² (13220 ft²) of residential floor area within 24 units and 1 level of underground parking. There will be a roof terrace on the roof of the building which is intended to provide some amenity areas for residents and also to provide an area for residents to garden.

The project name for the building is **The Kensington** and draws its architectural style from the Kensington area of London, England. See Figure 3 in the Appendix section for the site plan.

The proposal calls for 24 new residential apartment units (9 of them will be 1 bedroom units and 15 will be 2 bedroom units). The proposal calls for 7 parking spaces in total which are all to be located in the underground parking area that is accessed a ramp from Armstrong Street.

An area for bicycle storage will be provided in the underground parking level for the building and there will also be some bicycle spaces provided along the interior side yard (south lot line) near the secondary entrance to the building.

The building will be primarily constructed with a brick exterior with large windows and recessed balconies along the street frontages that allow for variation in the external building appearance. For more details refer to the architectural elevation drawings in the Appendix section of this report.

The designs call for terraces and balconies on the Armstrong frontages and also balconies along the interior and rear yard sides of the building.

The architectural style has been inspired by the white stone and clean lines of the Kensington area of London, the classic style of **The Kensington Lofts** and it has a timeless quality that will endure the test of time. The design of the Kensington allows for a contemporary portrayal of Victorian architectural characteristics (i.e. white and black exteriors, patterned mullions in windows, classic natural stone, pronounced front entries to units and high ceilings).

As well the building has integrated modern panelling and features to keep up with the changing Hintonburg neighbourhood. By combining classic Victorian features with modern styling, we have posed to produce a timeliness building that will transcend through the growth and change that is expected to occur in Hintonburg.

The proposed four storey residential condo development will be constructed with conventional wood and steel framing set on a strong cast in place concrete floor over an underground parking level. There will be 6 units per level consisting of 9 one bedroom and 15 two bedroom for a total of 24 units.

Four of the ground floor units will have their entrance at grade and two out of these four units will have a lower basement level with an internal stair combined with an open to above area where 14 foot (4.3 m) tall glazing at the front will provide generous daylight into the unit at both levels. All other units will be accessible via two common entrances, having the principle one located at the corner of Pinhey and Armstrong street and a secondary one located at the south east corner of the building.

A vehicular ramp along the east side of the property will be provided to access the underground parking area where utility locker and garbage rooms will also be located. A pedestrian ramp along the south property line will lead to the secondary entrance at the rear.

The building will be provided with a common roof top terrace accessible by the common stair and elevator and all upper units will be equipped with their own

private terrace or balcony.

There will be planters, new landscaping and hard landscaping along the street frontage of the property and along the interior side yard. Currently, the site does not have any natural vegetation or formal landscaping. The proposal calls for new trees on the City Right of Way on Armstrong Street.

The new building will have a building footprint of approximately 514 m² (5533 ft²) and a total building area of approximately 1228 m² (13,220 ft²). The maximum building height is 14.36 m which is less than the permitted building height of 14.5 m.

The City of Ottawa parking requirements for this type of development would be:

Total required parking = The 1st 12 units are exempt from parking requirements and units in excess of 12 units are calculated at 0.5 spaces/unit and 0.1 spaces per unit for visitor parking for the units in excess of the 12th unit. This results in a parking requirement of (12 units x 0.5 spaces/unit = 6 parking spaces and then a visitor requirement of 12 x 0.1 spaces/unit = 1.2 spaces = 7.2 spaces which is rounded to 7 spaces. As a result, there are 7 total parking spaces required for the property and the development proposal being submitted calls for 7 parking spaces in total which are all in an underground parking level.

Background studies addressing soils, environmental issues and civil engineering design are being filed as part of this Site Plan application. A full set of engineering, architectural, environmental, geotechnical, environmental noise, surveying and landscaping plans and reports are also being filed with this site plan submission. No major issues or concerns were identified in these studies.

Zoning

Under Zoning By-law 2008-250 the subject lands are zoned R4T-c (Residential Fourth Density Zone) .

This is a zone which permits apartment dwellings. The proposed use of the site is in conformity with the existing zoning and the majority of the setback requirements that apply to this site. Due to the shape of the lot there will be variances related to side yard, corner side yard and front yard setbacks and also variances related to amenity areas and the size of the roof top structure. The final set of variances required will be confirmed after the initial review of this application by Planning Staff and the Minor Variance application will be filed in the near future once we have received initial comments.. Details of the setbacks and the requirements are on the Site Plan drawing filed with the application.

Provincial Policy Statement

The current Provincial Policy Statement (PPS) came into effect in April 2014 and it outlines the key matters of Provincial planning interest with respect to land use planning decisions made by municipal approval authorities. Any decisions that are made by municipal approval authorities must be consistent with the policies of the PPS.

The following are sections of the PPS that are applicable to a redevelopment on the subject property:

- 1.1.1 Healthy, liveable and safe communities are sustained by:
 - a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term; *The redevelopment on the site represent an efficient intensification of the site and will not create inefficient land use patterns in the area.*
 - e) promoting cost-effective development standards to minimize land consumption and servicing costs. *The intensification of the site will be achieved through a 4 storey new building on the site and the sites parking requirements will be through underground parking. The existing infrastructure within the City Right of Way will be connected to the new building.*
- 1.1.3.1 *Settlement areas* shall be the focus of growth and their vitality and regeneration shall be promoted. *The property is within a settlement area of the City of Ottawa.*
- 1.1.3.2 Land Use Patterns within *settlement areas* shall be based on:
 - a) densities and a mix of land uses which: 1) efficiently use land and resources. *This redevelopment of the property is an efficient use of the land and will allow for a sensitive infill development that meets the majority of City zoning requirements for this use and with underground parking to ensure that there is a maximum built utilization of the site.* 2) are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion; *The proposed new development on the property will efficiently utilize the existing infrastructure available within the City Right of Way on both Armstrong Street and Pinhey Street.*
- 1.4.3 Planning authorities shall provide for an appropriate range of housing types and densities to meet projected requirements of current and future residents of the regional market area by:
 - c) directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs. *The proposed infill development is within an established neighbourhood with nearby infrastructure, public transit along nearby Wellington Street (providing*

service every 15 minutes) and the nearby O-Train and future LRT and nearby parks (McCormick and Hintonburg Parks), schools and community facilities for residents needs.

- d) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of alternative transportation nodes and public transit in areas where it exists or is to be developed; *The infill development represents an efficient use of land on the property and utilizes existing infrastructure*

Official Plan Designation – City of Ottawa Official Plan

The site is designated General Urban Area in the Urban Policy Plan of the City of Ottawa Official Plan.

The General Urban Area designation permits the development of a full range and choice of housing types to meet the needs of all ages, incomes and life circumstances, in combination with conveniently located employment, retail, service, cultural, leisure, entertainment and institutional uses. This will facilitate the development of complete and sustainable communities. A broad scale of uses is found within this designation, from ground-oriented single-purpose to multi-storey mixed-use; from corner store to shopping centre.

Permitted uses within a General Urban Area include **residential**.

Key policies within the General Urban Area designation that are applicable to this infill development are contained in Section 3.6.1 of the Official Plan and are:

3.6.1.1 General Urban Area areas are designated on Schedule B. The General Urban Area designation permits **all types and densities of housing**, as well as employment, retail uses, service, industrial, cultural, leisure, greenspace, entertainment and institutional uses. *The density of housing proposed is permitted in this designation.*

3.6.1.3 When considering a proposal for residential intensification through infill or redevelopment in the General Urban Area, the City will:

Recognize the importance of new development relating to existing community character so that it enhances and builds upon desirable established patterns and built form; *The proposed 4 storey residential building located close to or on the edge of the property is in general conformity with existing residential development and recent infill projects in the neighbourhood.*

In addition, the subject property is located within the area covered by the **Scott Street Secondary Plan**. This Secondary Plan has a number of land use designations within its boundaries which are roughly bounded by the Ottawa

River Parkway, Northwestern Avenue, Bayview Avenue and then lands to the north of Wellington Street but not fronting onto Wellington Street.

The subject property is located within the Low-Rise Residential designation which would allow for the height of building and type of use that is being proposed. The range of uses permitted in the General Urban Area designation in the Official Plan is permitted in the Low-Rise Residential designation of the Secondary Plan.

Schedule B of the Secondary Plan outlining Maximum Building Heights identifies the subject property as having a maximum building height in line with the existing zoning which allows for a building height of 14.5 m. The subject property is in conformity with this Secondary Plan policy.

Conclusions

The proposed development of a new 4 storey residential building with 24 apartments units and underground parking at 99-101-103 Pinhey is consistent with the majority of current zoning, and the relevant Official Plan and Secondary Plan policies for these lands.

The site represents a sensitive infill development that will allow for:

- a well designed contemporary mixed use building that will be located within an established neighbourhood that will add to the character of the street and the neighbourhood
- an underground parking level which results the required being located beneath the building and with the majority of the streetscape along both roads being occupied by living space of the building.
- a new development that meets the majority of current zoning regulations
- a re-development of the existing property that will contribute to the overall intensification of these sections of Pinhey and Armstrong Streets through a sensitive development.

Through the site plan process there are a number of key engineering studies and drawings required in support of the development. These studies show that the site can be serviced through existing service connections along Pinhey and Armstrong Streets. The overall site drainage and grading has been designed based on current City guidelines and there will be some roof top storage.

Landscaping will be provided along the side, and rear yards to provide screening and buffering to adjacent properties. As well, some new landscaping within the City Right of Way on Armstrong Street is being proposed.

The proposed building height of this development is within the maximum

permitted building height.

It is our opinion that the proposed development is consistent with the Provincial Policy Statement and the City of Ottawa Official Plan and the majority of relevant zoning and Secondary Plan regulations. It is being proposed at an appropriate scale of infill development and will be compatible with surrounding land uses and will contribute to this area of Hintonburg.

APPENDIX

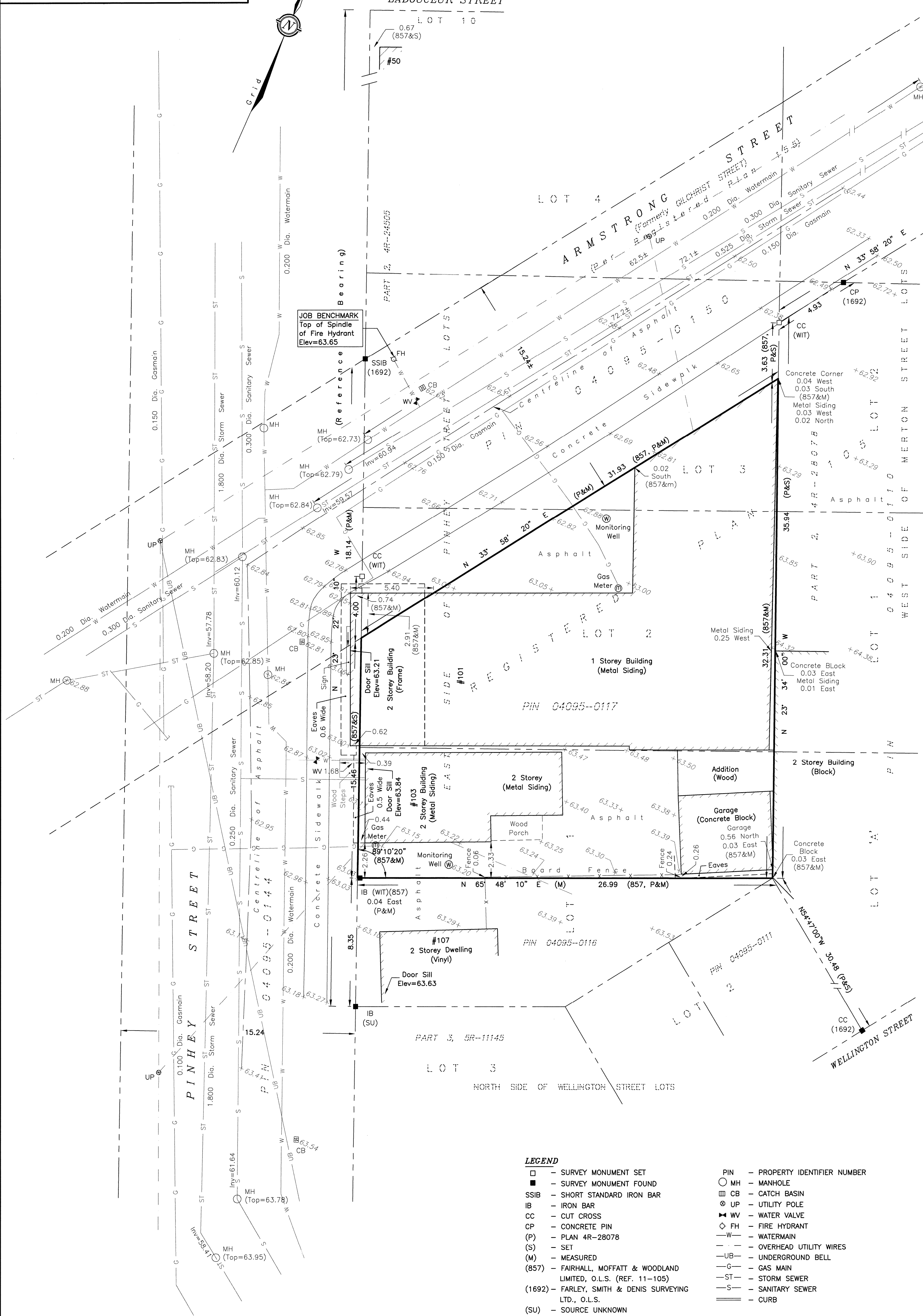
PAGE 1 - SURVEY PLAN

PAGE 2 - LOCATION PLAN

PAGES 3 - 8 - FLOOR PLANS, ARCHITECTURAL ELEVATION PLANS AND SITE PLAN

PAGES 9- 12 PHOTOS OF PROPERTY AND SURROUNDING AREA. PHOTOS 1 AND 2 OF PINHEY FRONTAGE OF PROPERTY, PHOTO 3 OF ARMSTRONG FRONTAGE OF PROPERTY AND PHOTO 4 IS OF RECENTLY BUILT TOWNHOUSES ON NORTH WEST CORNER OF PINHEY AND ARMSTRONG

METRIC
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



SURVEYOR'S REAL PROPERTY REPORT - PART 1
TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOTS 1, 2 & 3
(East of Pinhey Street)
REGISTERED PLAN 105
CITY OF OTTAWA

SCALE 1 : 150
0 1 2 5 10 15 metres

FAIRHALL, MOFFATT & WOODLAND LIMITED
ONTARIO LAND SURVEYORS

ELEVATION NOTES

- ELEVATIONS SHOWN HEREON ARE REFERRED TO GEODETIC DATUM (CGVD28).
- ELEVATIONS FOR MANHOLE COVERS AND CATCH BASINS HAVE TO BE INDEPENDENTLY CONFIRMED BEFORE THEY CAN BE ACCEPTED FOR FINAL DESIGN OR CONSTRUCTION PURPOSES.
- IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREE WITH THE INFORMATION SHOWN ON THIS DRAWING.

UTILITY NOTES

- THIS DRAWING CANNOT BE ACCEPTED AS ACKNOWLEDGING ALL OF THE UNDERGROUND UTILITIES AND IT WILL BE THE RESPONSIBILITY OF THE USER TO CONTACT THE RESPECTIVE UTILITY AUTHORITIES FOR CONFIRMATION OR LOCATION.
- UNDERGROUND UTILITIES, AS REPORTED ON THIS DRAWING, ARE BASED ON AN ACTUAL 'FIELD LOCATE' BY THE RESPECTIVE UTILITY AGENCIES OR HAVE BEEN COMPILED FROM DATA OBTAINED FROM THE FOLLOWING SOURCES:
 - CITY OF OTTAWA PUBLIC UTILITIES REGISTRY
 - UNDERGROUND UTILITY LOCATE USL-1
- BEFORE ANY WORK INVOLVING PROBING, EXCAVATING, ETC., A FIELD LOCATION OF UNDERGROUND PLANT BY THE PERTINENT UTILITY AUTHORITY IS MANDATORY.
- INVERTS SHOWN ARE PER CITY OF OTTAWA ENGINEERING DRAWINGS.

NOTE

BEARINGS ARE GRID DERIVED FROM THE EASTERLY LIMIT OF PINHEY STREET AS SHOWN ON PLAN 4R-28078, HAVING A BEARING OF N 23° 22' 10" W AND ARE REFERRED TO THE CENTRAL MERIDIAN, 76°30'W LONGITUDE MTM ZONE 9, (NAD83 ORIGINAL).

SURVEYOR'S REAL PROPERTY REPORT - PART 2
REPORT SUMMARY

DESCRIPTION OF LAND

PART OF LOTS 1, 2 & 3, (EAST OF PINHEY STREET), REGISTERED PLAN 105, CITY OF OTTAWA AS IN ALL OF PIN 04095-0117.

REGISTERED EASEMENTS

NONE REGISTERED

REMARKS

NOTE LOCATIONS OF FENCES AND BUILDINGS.

ZONING

COMPLIANCE WITH ZONING, LAND USE, ENVIRONMENTAL AND BUILDING REGULATIONS NOT CERTIFIED BY THIS REPORT.

THIS REPORT WAS PREPARED FOR
ORANGE RENOVATIONS & RESTORATIONS
THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON MAY 23, 2018.

2018/05/23
DATE
JOHN H. GUTR
ONTARIO LAND SURVEYOR

**Fairhall
Moffatt &
Woodland**
LIMITED
ONTARIO LAND SURVEYORS
Surveying and Land Information Services
100-600 TERRY FOX DRIVE, KANATA, ONTARIO K2L 4B6
TEL: (613) 591-2580 FAX: (613) 591-1495
www.fmw.on.ca

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM

2050470



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
in accordance with
Regulation 1026, Section 29 (3).

JOB No.
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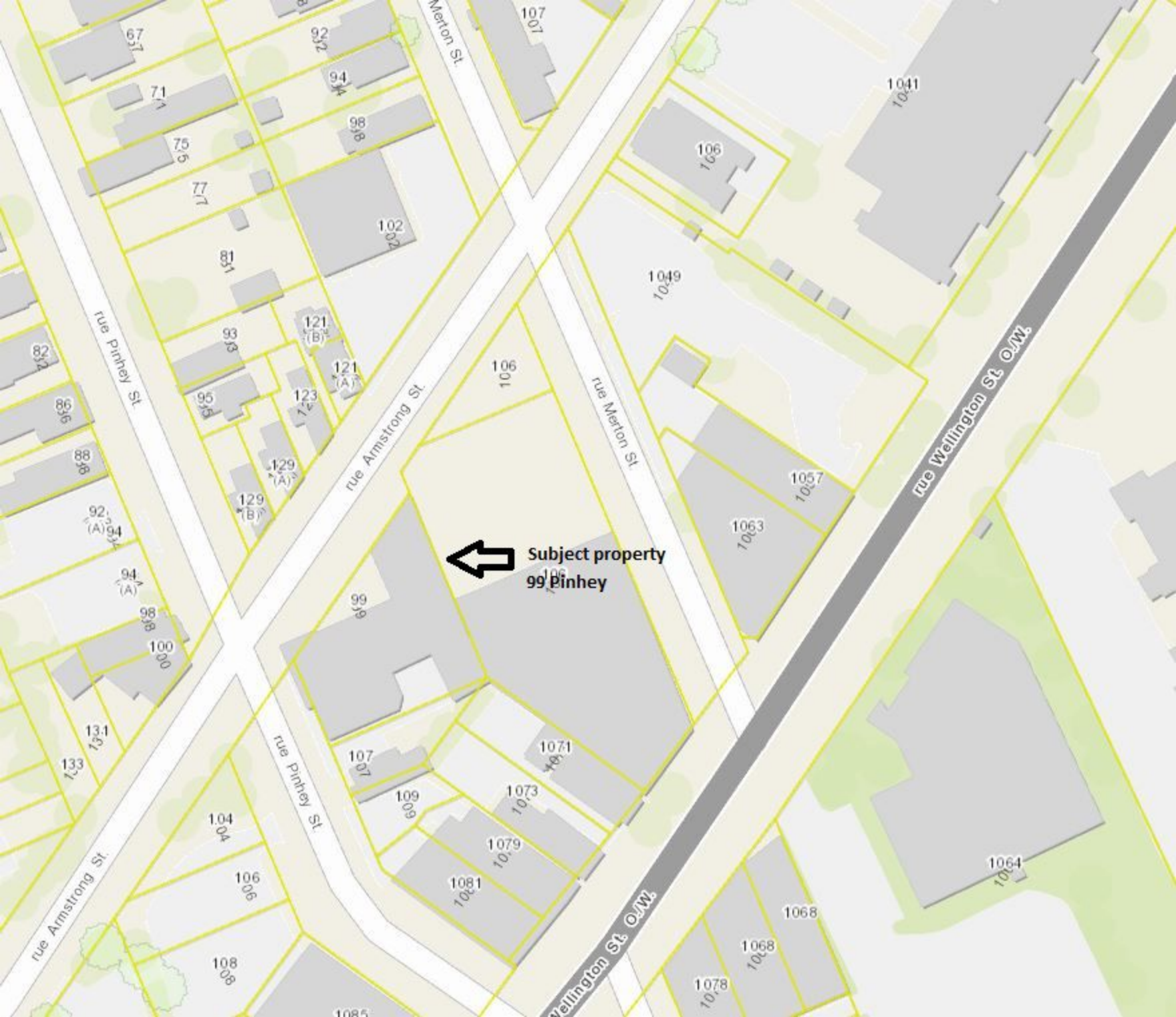
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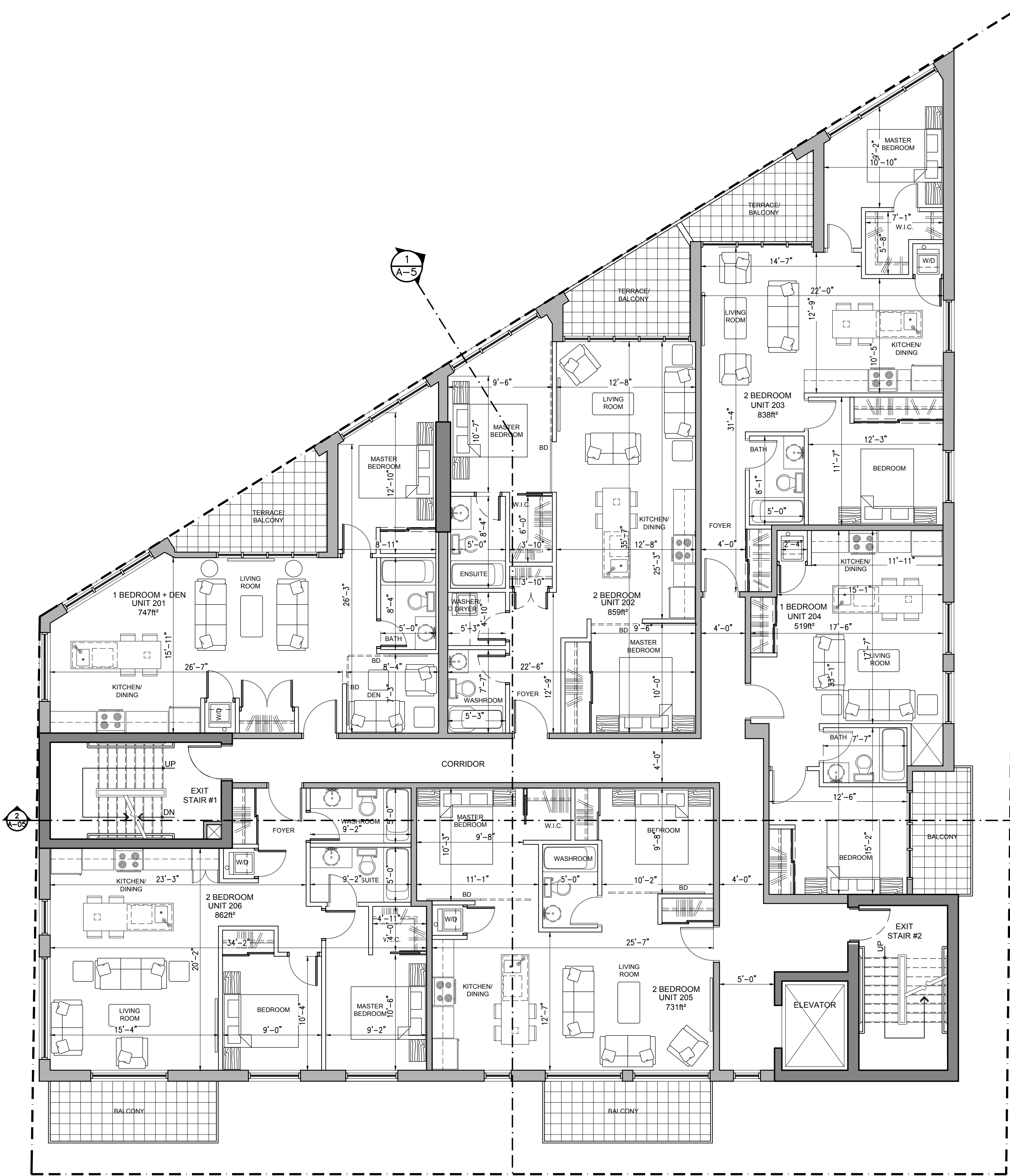
LEGEND

- - SURVEY MONUMENT SET
- - SURVEY MONUMENT FOUND
- SSIB - SHORT STANDARD IRON BAR
- IB - IRON BAR
- CC - CUT CROSS
- CP - CONCRETE PIN
- (P) - PLAN 4R-28078
- (S) - SET
- (M) - MEASURED
- (857) - FAIRHALL, MOFFATT & WOODLAND LIMITED, O.L.S. (REF. 11-105)
- (1692) - FARLEY, SMITH & DENIS SURVEYING LTD., O.L.S.
- (SU) - SOURCE UNKNOWN
- (WIT) - WITNESS
- DIA. - DIAMETER
- INV. - INVERT

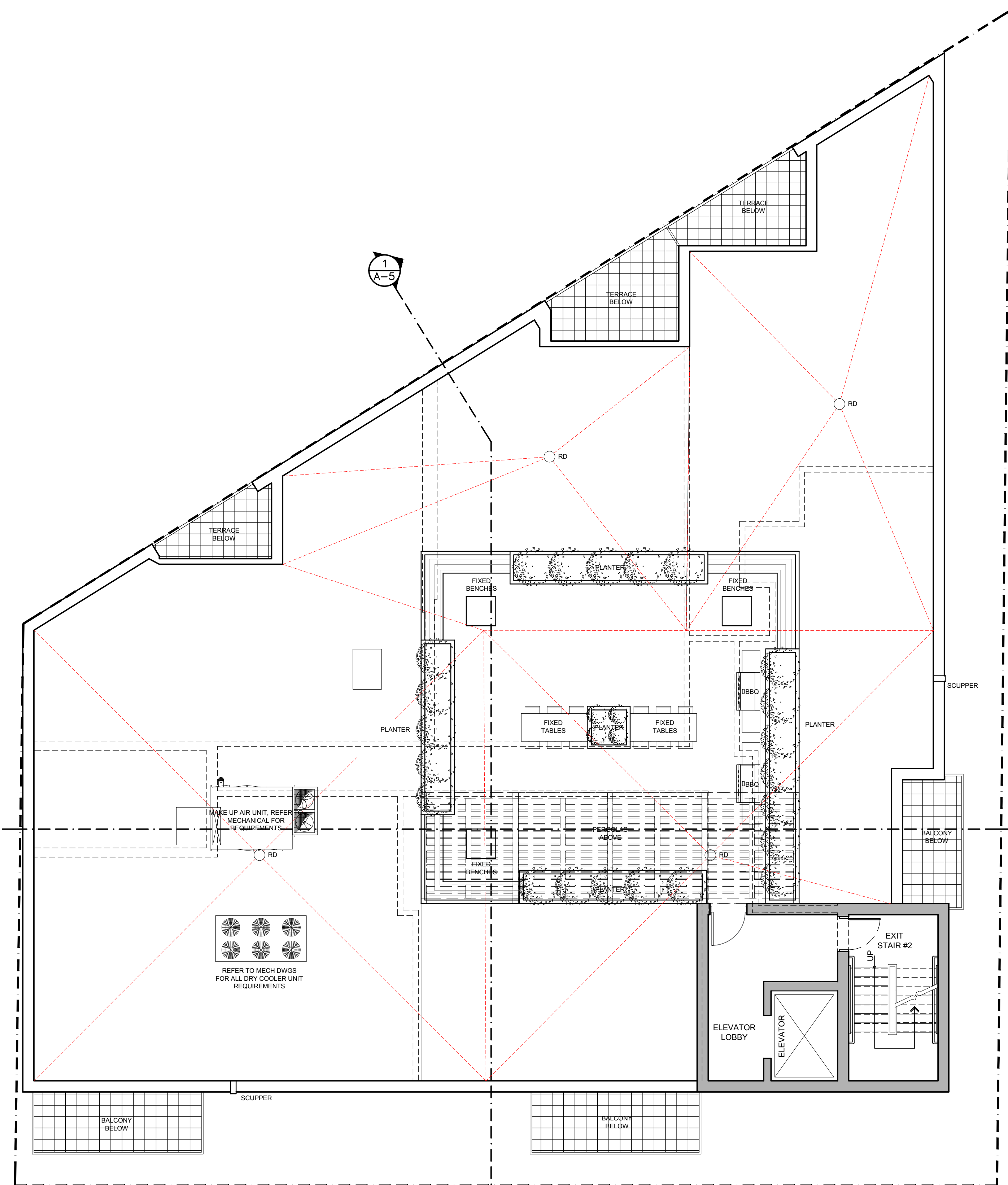
- PIN - PROPERTY IDENTIFIER NUMBER
- MH - MANHOLE
- CB - CATCH BASIN
- ⊕ UP - UTILITY POLE
- ⊕ WV - WATER VALVE
- ⊕ FH - FIRE HYDRANT
- W - WATERMAIN
- O - OVERHEAD UTILITY WIRES
- UB - UNDERGROUND BELL
- G - GAS MAIN
- ST - STORM SEWER
- S - SANITARY SEWER
- C - CURB



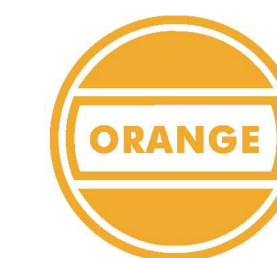
Subject property
99 Pinhey



1 TYPICAL LEVEL FLOOR PLAN
A-2 SCALE: 1:75



2 ROOF LEVEL PLAN
A-2 SCALE: 1:75



P² concepts
700 HURON AVENUE, SUITE 200
OTTAWA, ONTARIO K1V 6H8

KENSINGTON
LOFTS HINTONBURG

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NOT AUTHENTIC UNLESS SIGNED AND DATED

CONSULTING ENGINEERS
STRUCTURAL
MECHANICAL
ELECTRICAL

DESIGNED BY: P.E.
DRAWN BY: P.E.
APPROVED BY: P.E.

PROJECT

99 PINHEY

DRAWING TITLE
TYPICAL & ROOF LEVEL FLOOR PLANS

PROJECT NO.
0293
DATE
SEPT 10, 2018

A-2

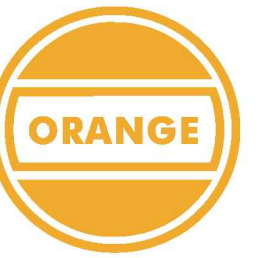
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1 NORTH ELEVATION (ALONG ARMSTRONG STREET)
SCALE: 1:75



2 WEST SIDE ELEVATION (ALONG PINHEY STREET)
SCALE: 1:75



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concepts
739 HICKWOOD AVE. UNIT 201
OTTAWA, ONTARIO K1V 6W8

KENSINGTON
LOFTS HINTONBURG

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MECHANICAL
ELECTRICAL

DESIGNED BY: P.E.
DRAWN BY: P.E.
APPROVED BY: P.E.

PROJECT

99 PINHEY

DRAWING TITLE
NORTH & WEST SIDE
ELEVATIONS

PROJECT NO.
0293
DATE
SEPT 10, 2018

A-3

D07-12-17-0102



P²
concepts
739 HICKWOOD AVE. UNIT 202
OTTAWA, ONTARIO K1V 6W8

KENSINGTON
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DESIGNED BY: P.E.
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APPROVED BY: P.E.

PROJECT

99 PINHEY

DRAWING TITLE

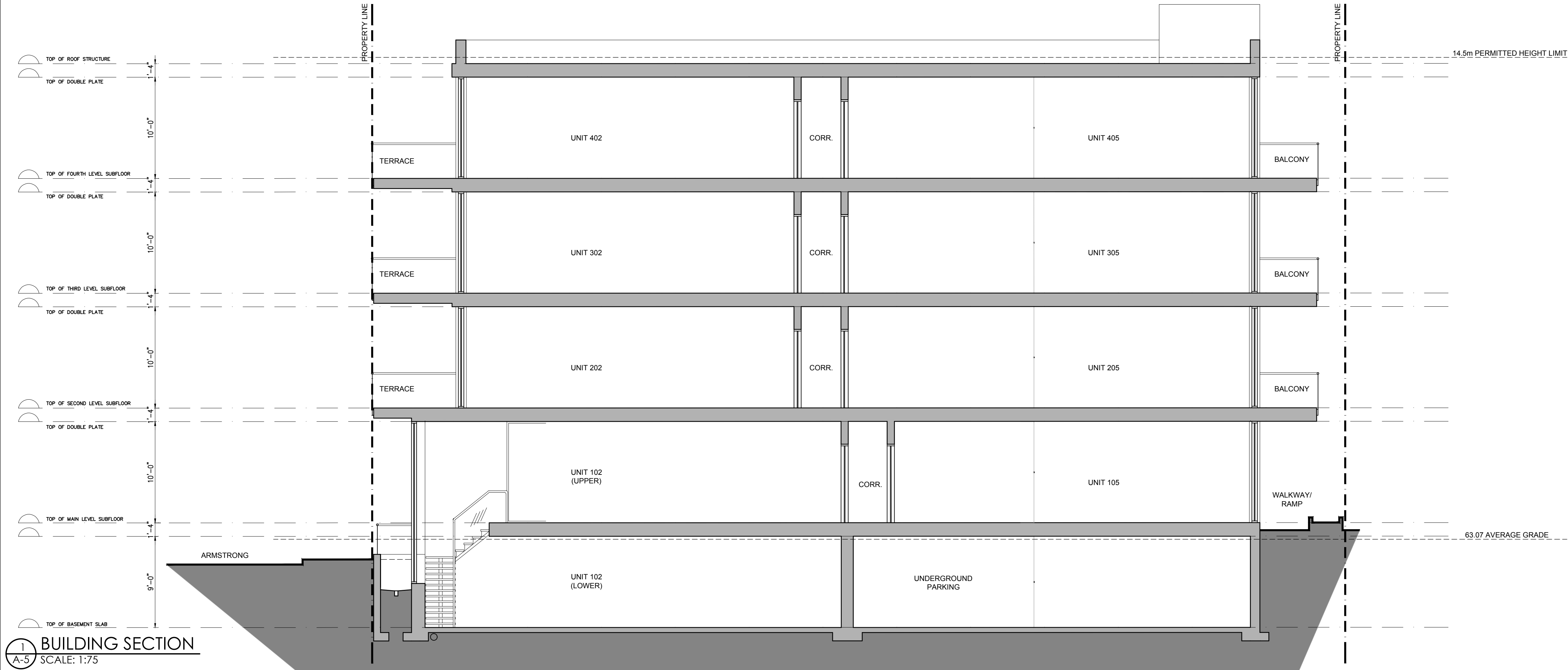
EAST AND SOUTH ELEVATIONS

PROJECT NO.
0293

DATE
SEPT 10, 2018

A-4

D07-12-17-0102



CLIENT:



P²
concepts
750 HURON AVENUE, SUITE 201
OTTAWA, ONTARIO, K1V 6A8

KENSINGTON
LOFTS HINTONBURG

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CONSULTING ENGINEERS

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MECHANICAL

ELECTRICAL

DESIGNED BY:

DRAWN BY:

APPROVED BY:

P.E.

P.E.

PROJECT

99 PINHEY

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BUILDING SECTION

PROJECT NO.

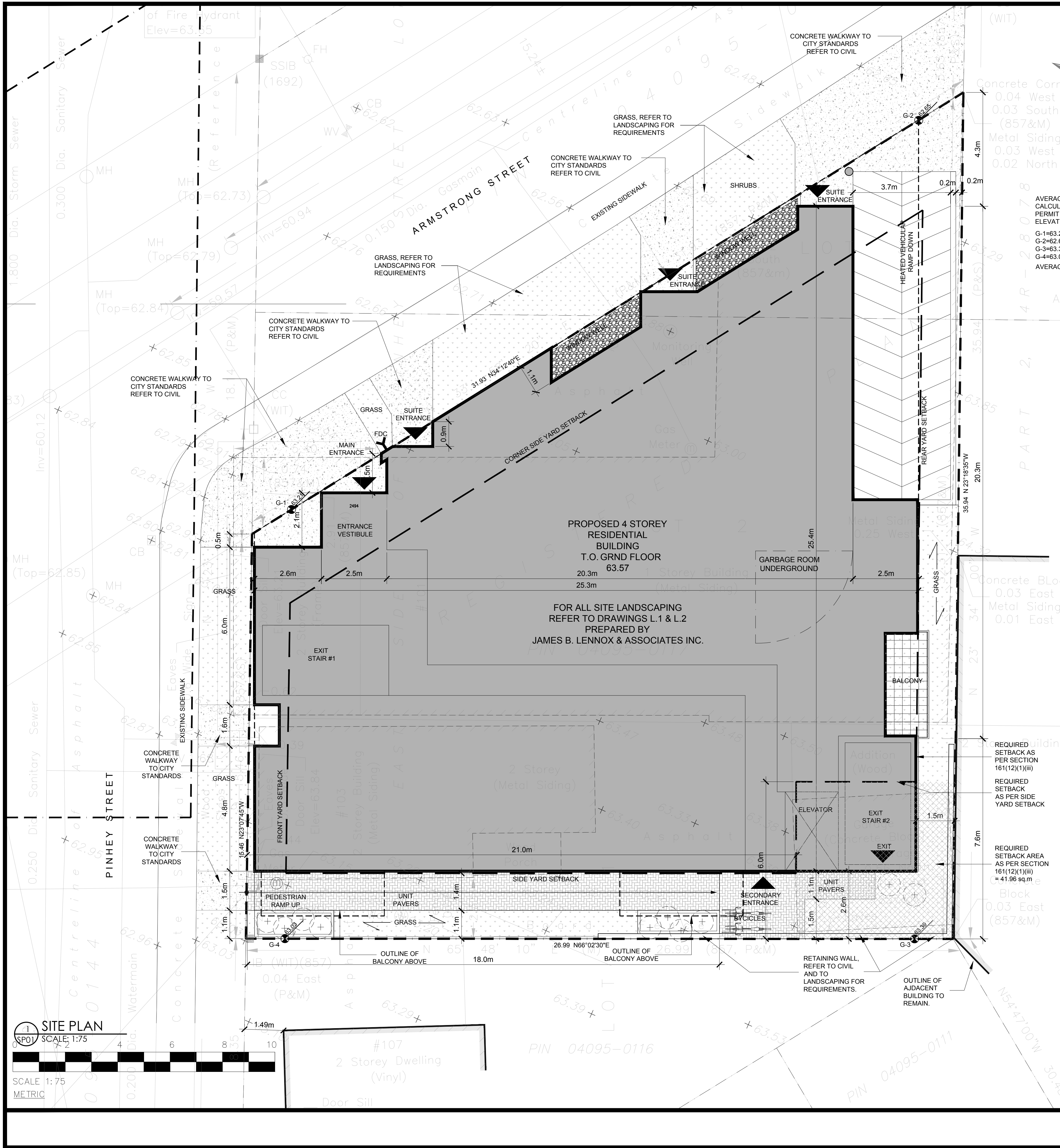
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LEGEND:

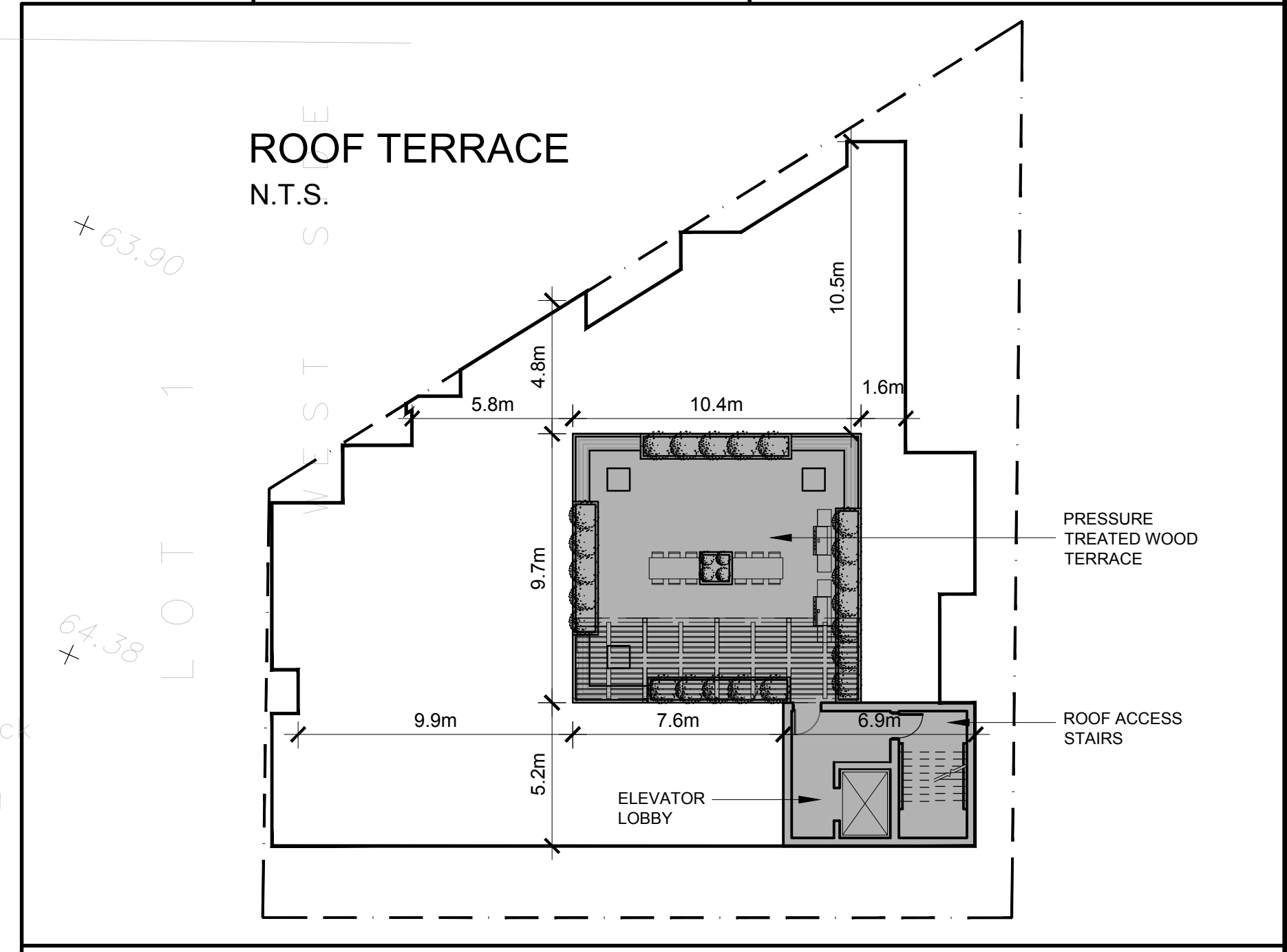
- PROPOSED NEW BUILDING
- EXISTING BUILDING TO REMAIN
- NEW PAVERS
- PROPERTY LINE
- ADJACENT LOT PROPERTY LINES
- EXISTING OVERHEAD HYDRO LINE
- NEW WOOD FENCE
- EXISTING HYDRO POLE TO REMAIN
- ENTRANCE ARROWS
- NEW BIKE RACKS
- NEW PARKING
- EXISTING CONCRETE CURB
- EXTERIOR SOFFIT LIGHTING FIXTURE
- EXTERIOR WALL MOUNTED LIGHT FIXTURE

PLAN OF SURVEY
GEOGRAPHIC TOWNSHIP OF
CITY OF OTTAWA

SITE INFORMATION DERIVED FROM SURVEY TITLED, TOPOGRAPHIC PLAN OF SURVEY, PART 1, 2 & 3 (EAST OF PINHEY STREET), REGISTERED PLAN 105, CITY OF OTTAWA, DATED 2018/05/23, PRODUCED BY FAIRHALL MOFFATT & WOODLAND LTD. SIGNED BY JOHN H. GUTRI, ONTARIO LAND SURVEYOR.

BEARING NOTE
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ELEVATION NOTE
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2. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN THE ABOVE REFERENCED SURVEY.



99 PINHEY STATISTICS		
ITEM	REQUIRED	PROVIDED
Zone	R4T-c	
Minimum Lot Area	450.0 sq.m	643.85 sq.m
Minimum Lot Width	12.0 m	15.46 m
Maximum Building Height (from EAG)	14.5 m	14.36 m
Maximum Parapet Height Above Max. Building Height	0.3 m	0.57 m
Maximum Building Height with Parapet (from EAG)	14.8 m	15.07 m
Minimum Front Yard Setback	1.49 m	0.0 m
Minimum Corner Side Yard Setback	3.0 m	0.0 m
Minimum Side Yard Setback	2.50 m for the first 21.0 m 6.00 m for > 21.0 m	2.50 m 2.50 m
Minimum Rear Yard Setback	1.5 m	1.5 m
Minimum Area Setback at Rear / Side Yards, As Per Section 161(12)(1)(iii)	30% of Lot Depth X 30% of Lot Width 30% of 28.4 m X 30% of 16.4 m 8.52 m X 4.92 m = 41.92 sq.m	x sq.m
Minimum Parking Spaces	0 for 1st 12 units & 0.5 per unit after 12 units = 6	6
Minimum Visitor Parking Spaces	0 for 1st 12 units & 0.1 per unit after 12 units = 1.2	1
Minimum Bicycle Parking Spaces	0.5 spaces per unit = 12	12 (10 indoor)
Minimum Amenity Area	15 sq.m per unit for 1st 8 units = 120 sq.m 6 sq.m for unit after 8 units = 96 sq.m	225.92 sq.m
Minimum Communal Amenity Area	100% of the 1st 8 units Amenity Area = 120 sq.m	22.40 sq.m (Grade) 100.88 sq.m (Roof)
Minimum Communal Amenity Area Soft Landscaping	80% (96 sq.m)	18.1% (22.40 sq.m)
Communal Amenity Area Location	At Grade and in the Rear Yard	Grade / Rear / Roof
Minimum Roof Top Access Area	10.5 sq.m	35.88 sq.m
Existing Average Grade (EAG)	Elevation 63.07m	
Number of Dwelling Units		24
Building Area		514.37 sq.m
GFA (As defined in the zoning bylaw)		1228.74 sq.m

CLIENT:

ORANGE

P² concepts
739 RIDGEWOOD AVE., UNIT 201
OTTAWA, ONTARIO K1V 6A6

KENSINGTON
LOFTS HINTONBURG

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04	FOR REVIEW	PK	AUG 30 2018
03	FOR REVIEW	PE	AUG 28 2018
02	FOR REVIEW	PE	AUG 01 2018
01	FOR REVIEW	PE	JULY 20 2018
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CONSULTING ENGINEERS

STRUCTURAL

MECHANICAL

ELECTRICAL

DESIGNED BY: P.E. DRAWN BY: APPROVED BY: P.E.

PROJECT

99 PINHEY

DRAWING TITLE

SITE PLAN

PROJECT NO. 0293

DATE JULY 04, 2018

PLAN #XXXX

SP-01

D07-12-17-0102



**HUBERT
HEATING**

EXCELLENCE SINCE 1922

101 PARK ST. SEATTLE, WA 98101

REOPENING
AUGUST 2017

Zoned R4T-C
Commercial Development
FOR SALE
Chris Nicholson
618.788.2514

HUBERT HEATING

EXCELLENCE SINCE 1922
101 PINNEY ST. OTTAWA, 728-3786

RELOCATING
AUGUST 2017
1280-1290 OLD INNES ROAD
UNIT 703

Zoned R4T-c
Development Opportunity

FOR SALE

Chris Nicholson
Sales Representative

Direct: 613.788.2512

Chris Nicholson's fullmarkottawa.com
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