

CONSULTANT - SUB-CONSULTANT:

SEAL:



CLIENT:

BENSON AUTO PARTS

CLIENT REF. #:

PROJECT:

1871 MERIVALE ROAD  
 BENSON GARAGE

KEY PLAN:

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ISSUED FOR - REVISION:

NO.	DATE	DESCRIPTION
5	04.09.2018	ISSUED FOR SPA REVISION
4	11.06.2018	ISSUED FOR SPA REVISION
3	13.03.2018	ISSUED FOR DISCUSSIONS
2	06.12.2017	ISSUED FOR SPA REVISION
1	09.11.2017	ISSUED FOR SITE PLAN APPROVAL

PROJECT NO: 179-00033-00 DATE: FEBRUARY 2017

ORIGINAL SCALE: AS SHOWN IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.

DESIGNED BY: RT  
 DRAWN BY: EW  
 CHECKED BY: RT

DISCIPLINE: ARCHITECTURAL

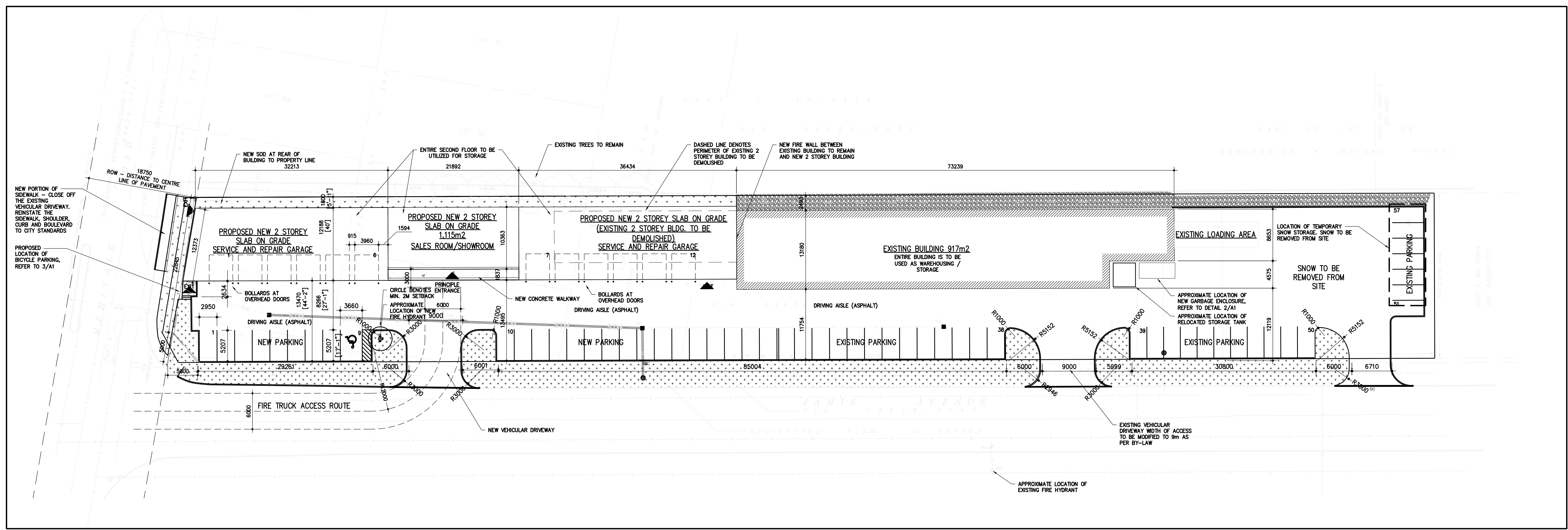
TITLE: SCHEMATIC SITE PLAN AND NOTES

SHEET NUMBER: A1

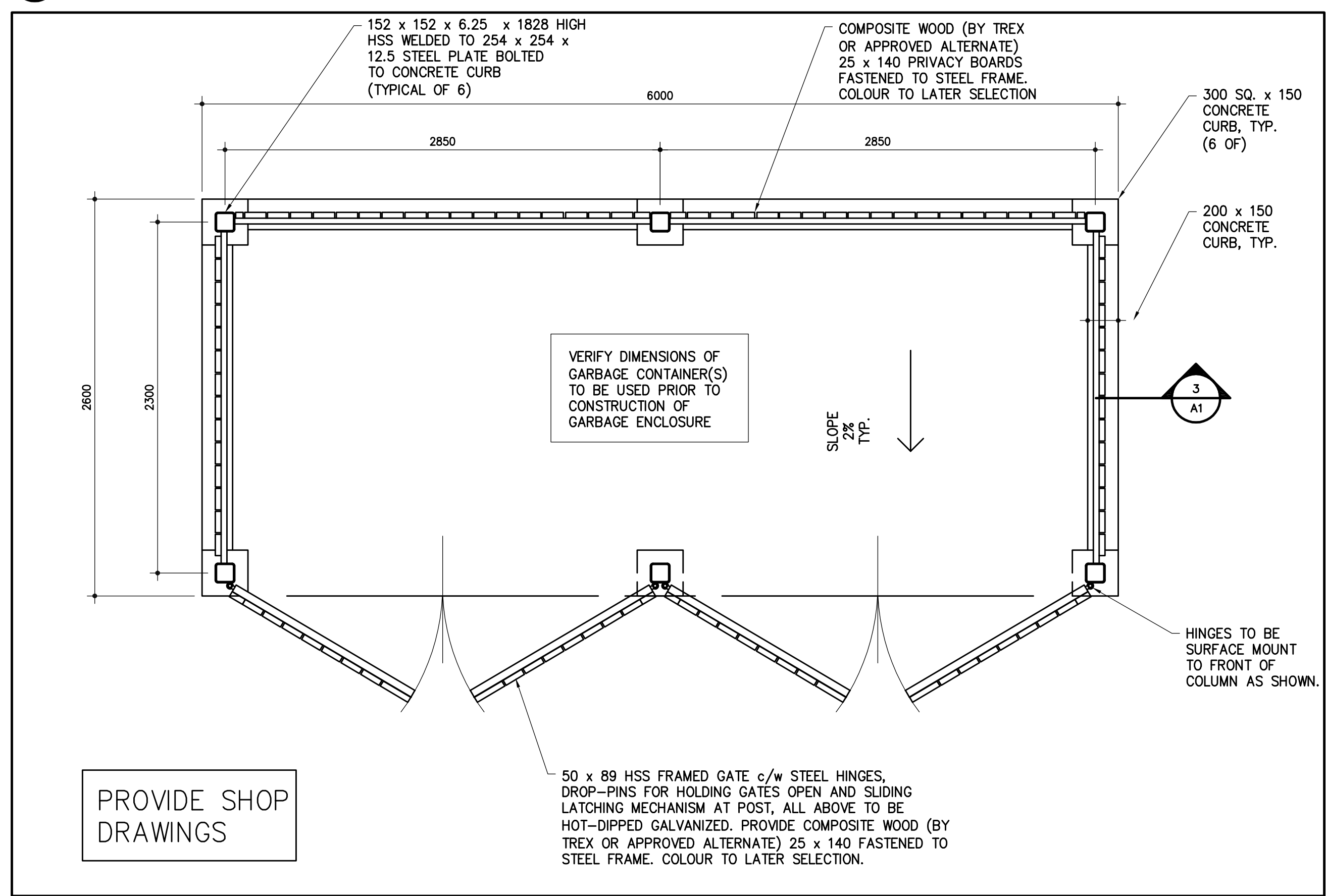
SHEET #: 1 OF 2

ISSUE: ISSUED FOR SITE PLAN APPROVAL

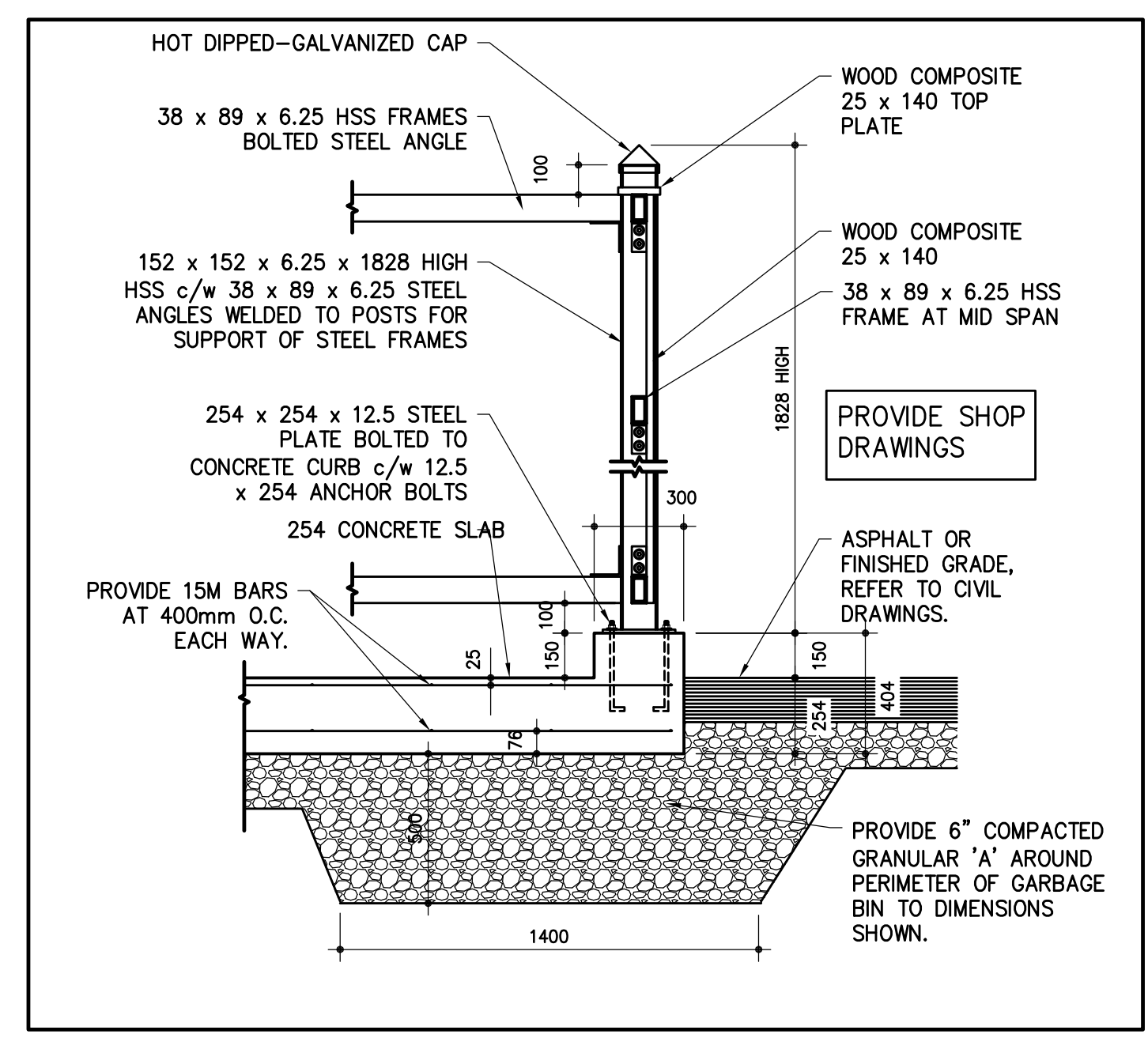
DATE OF: 11.06.2018



1 OVERALL SITE PLAN  
 SCALE: 1:300



2 GARBAGE ENCLOSURE PLAN  
 SCALE: 1:25



3 TYPICAL GARBAGE ENCLOSURE SECTION  
 SCALE: 1:20

SITE AND PARKING INFORMATION		
<b>TYPE OF BUILDING OR USE</b>	<b>BICYCLE PARKING</b>	<b>PARKING CALCULATION/BUILDING USES</b>
AUTO REPAIR SHOP (GROUP "1" DIVISION "2")	SERVICE AND REPAIR GARAGE = 1/200m <sup>2</sup> = 870m <sup>2</sup> /7500 (GROUND FLOOR NEW BUILD) = 1.7 TOTAL	SERVICE AND REPAIR GARAGE = 2/BAY = 12x2 = 24 SALES/SHOWROOM = 2/100m <sup>2</sup> = 205m <sup>2</sup> /100 x 2 = 4 STORAGE = 1/100m <sup>2</sup> = 915m <sup>2</sup> + 1,115m <sup>2</sup> /100 x 1 = 21 WHEELCHAIR ACCESSIBLE = 1
<b>FIRE ACCESS</b>	FIRE TRUCK ACCESS ROUTE IS FROM SEVENTH STREET EXTENSION AND SHALL CONFORM TO OBC 2006 - 3.2.2.4, 3.2.2.5 AND 3.2.2.6.	SALES/SHOWROOM + SECOND FLOOR OFFICE = 1/250m <sup>2</sup> = 205m <sup>2</sup> /250 = 0.8 TOTAL OTHER = 1/1,500m <sup>2</sup> = 915m <sup>2</sup> + 1,168m <sup>2</sup> = 1.4 TOTAL 4 BICYCLE PARKING SPACES ARE REQUIRED. TOTAL PARKING SPACES PROVIDED: 5
<b>DESCRIPTION OF LAND</b>		50 PARKING SPACES ARE REQUIRED. BARRIER FREE PARKING SPACES THAT ARE REQUIRED: 1 BARRIER FREE PARKING SPACES THAT ARE PROVIDED: 1 TOTAL PARKING SPACES PROVIDED: 57 (50 WITH SNOW STORAGE)
<b>ZONING BY-LAW</b>		<b>GLAZING REQUIREMENTS</b> TOTAL GLAZED AREA OF WEST FACADE = 48.6m <sup>2</sup> TOTAL AREA FROM GRADE TO 4.5m (WEST FACADE) = 60.3m <sup>2</sup> TOTAL GLAZED % ENTIRE WEST FACADE = 36.30% TOTAL GLAZED % FOR THE FIRST 4.5m (WEST FACADE) = 80.5%
<b>LANDSCAPING AREA</b>		<b>PARKING AND AISLE</b> 616/4W PROVIDED REGULAR PARKING (WIDTH 9.0) 6.7m (22'-0") 6.7m (22'-0") REGULAR PARKING (LENGTH 9.0) 5.2m (17'-1") 5.2m (17'-1") REGULAR PARKING (WIDTH PP) 2.6m (8'-6") 2.6m (8'-6") REGULAR PARKING (LENGTH PP) 6.7m (22'-0") 6.7m (22'-0") WHEELCHAIR ACCESSIBLE (WIDTH) 3.66m (12'-0") 3.66m (12'-0")
<b>BUILDING AREA</b>		
<b>SITE AREA</b>		
<b>LANDSCAPING AREA</b>		

D07-12-17-0054