

PLANNING RATIONALE REPORT

394 BRONSON AVENUE

PIN: 0410-90184

Part Lot 134, Registered Plan 3459 N (BRONSON W.)

K1R 6J6

CITY OF OTTAWA

APPLICATION FOR SITE PLAN CONTROL

PREPARED BY
OTTAWA CARLETON CONSTRUCTION
337 SUNNYSIDE AVENUE, OTTAWA, ON, K1S 0R9
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1. INTRODUCTION

1.1 BACKGROUND

Ottawa Carleton Construction was retained by the owner to prepare a planning rationale in support of an application for the renovation and expansion of the existing structure on site, developing new residential dwellings at 394 Bronson Avenue.

This report will examine the existing conditions of the site along with the current community context of the Centretown-Somerset neighbourhood, examining its inherent qualities, and how they influence the proposed design. This report reviews the positive impacts of residential intensification and efficient design and construction which will further support the proposed construction on the site. The report will then proceed to explain the proposed development, through its original construction and occupation, to the current context and circumstances the lot addresses today. This report reviews the applicable land use planning policies outlined by the Provincial Policy Statement (PPS), Ottawa's Official Plan (OP), and the Ottawa Zoning By-law Provisions.

This report will indicate that the proposed development has taken into consideration all of the required policies to design and construct a residential building, and that the proposed construction, and all relevant applications will be vital to the success of the project.

1.2 DESIGN INTENT

The proposed development aims to expand upon the approved footprint of the existing three storey residential use building into a newly refurbished six storey, mixed use mid-rise apartment complex. The seven unit apartment complex was approved in 2016 after the demolition of the existing two storey duplex building on site. The proposed revised structure is suitable for the lot and neighborhood, and will provide desired additional residential rental units within an all-new constructed building. The Somerset community has ample space for urban intensification, while conserving the identity of the residential neighbourhood through the use of materials, massing and scale.

In the Somerset neighbourhood, there can be found a variety of mixed-use developments within clustered residential neighbourhoods and along mainstreets, combining a variety of low density housing alongside mid to high-rise apartment complexes and office buildings. Despite the central urban location of the community, the residential streets are kept quiet and secluded from the arterial roadways that carry heavier traffic. This creates a region that encourages bicycle and pedestrian-friendly movement, private residential streets, and distinctive community character in Ottawa's urban core. It is the vision of Ottawa's urban planners to create communities with balanced development, using built form, greenspace and infrastructure to stimulate neighbourhood growth and activity, while maintaining the identity and character of the city's various neighbourhoods (*Urban Design and Compatibility 2.5.1*).

Numerous design principles that have been outlined by the Ottawa Official Plan have been considered by this project, to ensure that the whole building integrates into the community, and respects the established natural and built environment of the Centretown-Somerset neighbourhood.

With these guidelines for sustainable construction and design in mind, the proposed construction will increase the amount of viable living space by optimizing the approved building envelope within the required setbacks outlined by the Ottawa Zoning Bylaws (Consolidation 2008-250), while maintaining an appropriate form of housing and land use for the neighbourhood as prescribed by the Ottawa Official Plan. This new multi unit apartment residence with a

single commercial unit at grade will adhere to the prescribed community planning guidelines and citywide urban development programmes to ensure a cohesion with the established traditional mainstreet.

2. PLANNING APPLICATIONS

2.1 APPLICATION FOR SITE PLAN CONTROL

The proposed development looks to achieve Site Plan Approval for the new structural addition required to fulfill the revised vision for the mixed use residential apartment complex at 394 Bronson Avenue. By the measures of Ottawa's Planning Act, a Site Plan Control application would be required in this instance to ensure that the development meets the quality and standards approved by the City. The proposal looks to create 13 dwelling units within the newly proposed six storey structure, and one commercial unit space at the ground floor, expanding upon the previously approved three storey structure that housed 7 proposed residential units and one commercial unit.

3. EXISTING CONDITIONS

3.1 COMMUNITY ATTRIBUTES

394 Bronson is located in the Somerset Ward of downtown Ottawa, an area that comprises of the urban residential neighbourhoods of Ottawa's "Golden Triangle" - Centretown, Centretown-West, and Lebreton Flats. The region is bound by geographical and city infrastructure boundaries, encompassing the area between Highway 417 to the south, the Rideau Canal to the east, the Ottawa River to the north, and the O-Train tracks to the west. The region is home to over 35 000 people, including areas of residential settlement, high density commercial uses, Ottawa's Parliament Hill, and expansive municipal parkland.

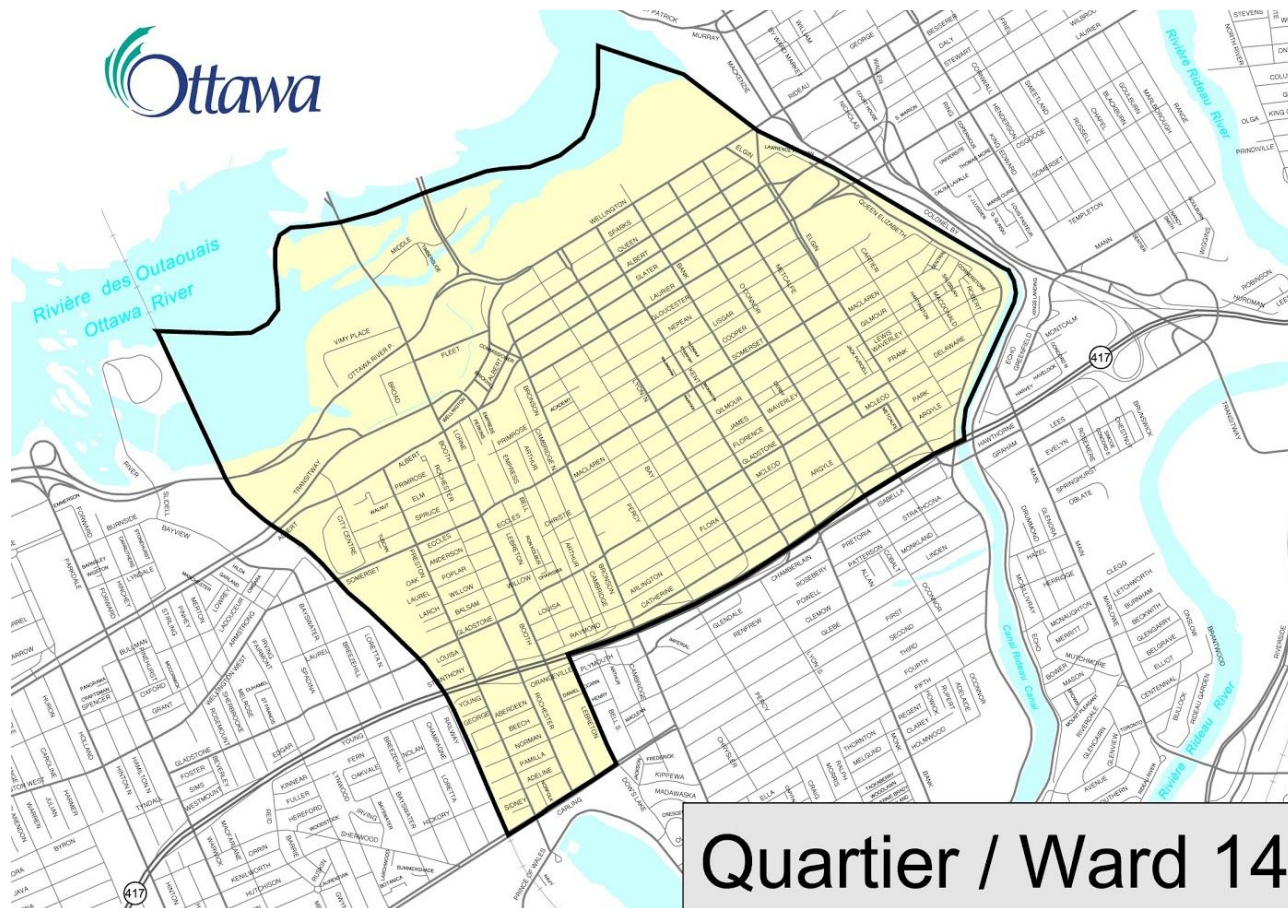


EXHIBIT A: MAP OF WARD 14 'SOMERSET' WARD

The Centretown area is one of the oldest established districts in Ottawa. With Parliament Hill at its center, the city blocks surrounding it were built up into the financial center of the city, erecting mid to high-rise buildings for commercial use, residential occupation, and office space. The smaller lowrise storefronts and residential neighborhoods still remain, but become more prominent to the western perimeter of the Ward. The streets are laid out in standard grid formation aligned to the cardinal compass points. Wider avenues and mainstreets were maintained to ensure easy flow of traffic driving to and from the Ottawa city center, while the residential neighbourhoods beyond these arterial roadways created one-way streets to generate privacy from heavy traffic and noise pollution.

The residential neighborhood was first established during the 1870s, erecting houses intended for civil servants and single family use, while row houses, semi-detached homes, duplexes and low-rise apartment buildings were introduced as residential infill over time, subdividing some of the larger estates into apartment dwellings. The arterial mainstreets tend to house the more current developments and mixed land uses, while the streetscapes between

Bank Street and Bronson Avenue are reserved for low density housing, local institutional buildings such as churches and schools, and municipal parkland.

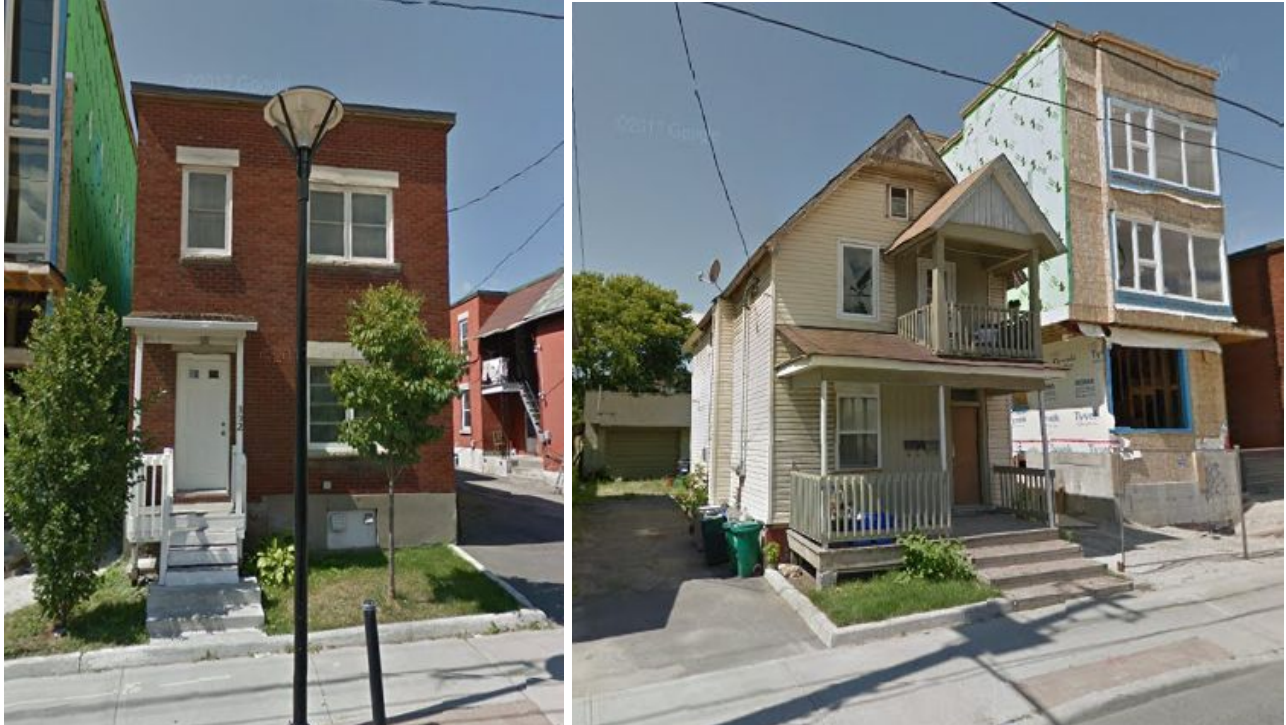


EXHIBIT B: SITE CONTEXT ADJACENT PROPERTIES 392 BRONSON AVE, 396 BRONSON AVE. (GOOGLE STREETVIEW, 2018)

Ottawa census reveals that the primary demographic of the Centretown-Somerset region are a mix of seniors, post-secondary students and young professionals who live in shared living accommodations, such as rental duplexes, townhouses, rooming houses, or mid to high rise apartment dwellings. Therefore, the demand for accessible, affordable housing is high.



EXHIBIT C: SITE CONTEXT ADJACENT PROPERTIES - BRONSON AVENUE E (GOOGLE STREETVIEW 2018)

3.2 CURRENT SITE CONTEXT

The site at 394 Bronson Avenue is located on the western side of the roadway, between Gladstone Avenue and Christie Street. The property parcel creates a rectilinear-shaped interior lot (No. 134, Plan 3459) that shares a rear property line with the residences facing onto Cambridge Street. The site has a road frontage of 10.09 meters, and extends a depth of 30.18 meters to the rear property line. To the north of the property on the same side of the street is 392 Bronson Avenue, and to the south is 396 Bronson Avenue, two lots of similar size and depth that have two storey single detached houses on the lot that predate 1928 (geoOttawa historical photos). To the west at the rear of the property is 245 Cambridge Street, another two storey single detached dwelling on a quiet residential road with comparably sized lots and residential structures of a similar age. To the east across the Bronson Avenue roadway is 417 Bronson Avenue, a two storey low-rise apartment complex that backs onto McNabb Park. All of the immediately adjacent properties with road frontage onto Bronson Avenue are of the same zoning (TM), and are occupied by low density housing under 3 storeys, or commercial occupations at grade. These buildings all exhibit architectural styles that range from of the late Victorian era (1870-1910), to more contemporary designs as new additions and construction have updated the appearance of the traditional mainstreet. These buildings have been either rented for rooming house purposes, or subdivided into apartments. The homes to the rear of 394 Bronson that face Cambridge Street are primarily of single family occupation, but maintain a similar architectural style and scale, clad in red brick, stucco, or wood clapboard.



EXHIBIT D: 394 BRONSON AVE. W - PROPOSED SITE CONTEXT AERIAL VIEW, GEO OTTAWA 2017

The site at 394 Bronson is currently occupied by a 3 storey residential use building of all-new construction, which was approved to contain seven residential units and a single commercial unit. The approved envelope has already been framed in, pending the approval of this application to expand upon the existing structure to increase the building to a six storey height housing an increased 13 residential units over five storeys. The building is surrounded by ample landscaped space, with mature trees in the rear yard, and a proposed landscaped front yard adjacent to the pedestrian sidewalk. The commercial unit that faces the roadside has been approved in a previous application, and all residential functions are contained within the single structure, including an in-house area for garbage and recycling collection.



EXHIBIT E: 394 BRONSON AVE. - CURRENT SITE CONTEXT BIRDSEYE VIEW (WEST), (GOOGLE EARTH 2017)

The existing structure on site matches the established pattern of land use and location within the lot, set back from the roadway an approved 1.33 meters, pressing the front entrance back from the sidewalk while creating an overhang under the floors above. The rear yard is a minimum depth of 7.54 meters, allowing for the retention of mature deciduous trees, and ample bicycle parking spaces within a 69 square meter amenity area. The use of natural vegetation and the preservation of mature trees and shrubbery are integral to maintaining the privacy of the older established residential neighbourhood along the lot's rear property line.,



EXHIBIT F: 394 BRONSON AVE. - CURRENT SITE CONTEXT STREET VIEW, (GOOGLE EARTH 2016)

4. DEVELOPMENT PROPOSAL

4.1 DESIGN SUMMARY

The proposed construction at the site of 394 Bronson Avenue looks to expand upon the existing structure on site to construct an all new six storey apartment complex that will house 13 residential units, and one new commercial rental space at grade. The residence will aim to invigorate the existing established neighbourhood through the use of mid-rise scale, and modern exterior cladding, affording the local rental market a more contemporary form of living in the Somerset community.

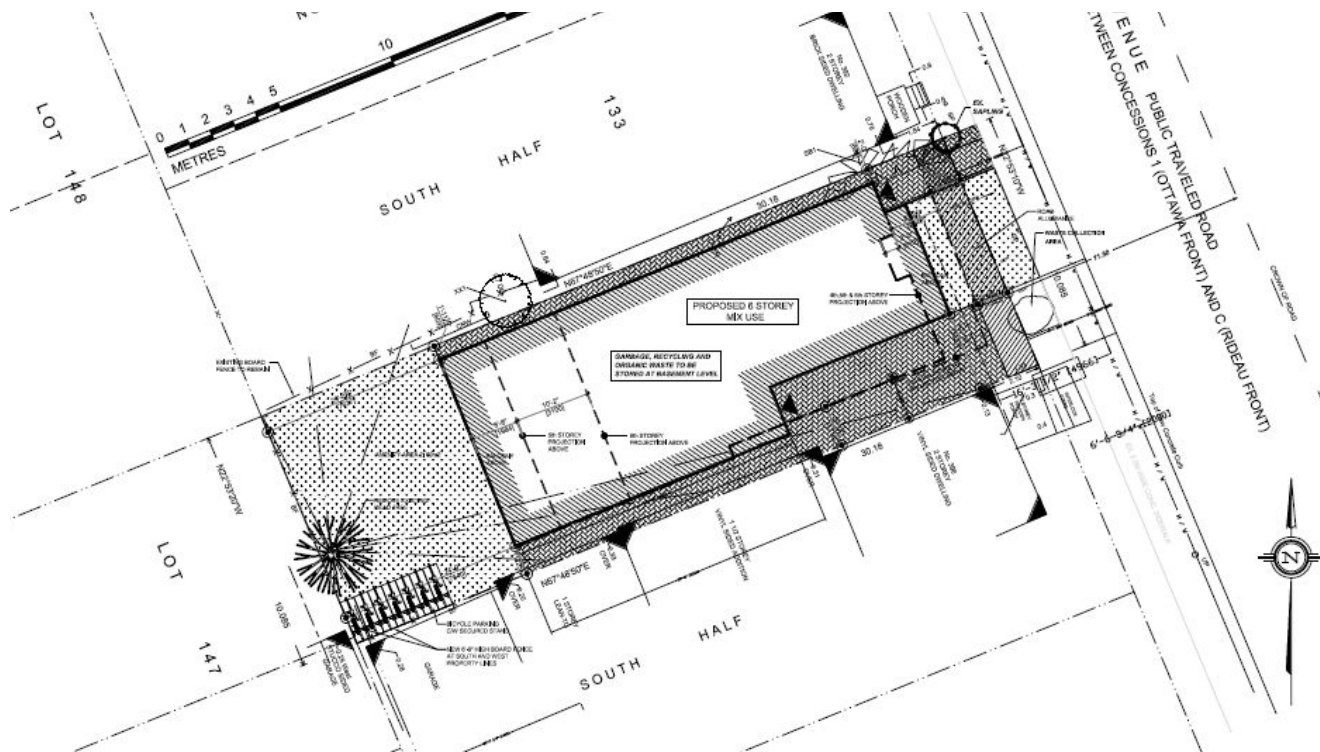


EXHIBIT G: 394 BRONSON AVENUE, PROPOSED SITE PLAN, SOMA STUDIOS 2016

4.2 PROPOSED OCCUPANCY

The residence is intended for the use of rental tenants within the thirteen units over five floors. The lot would look to accommodate outdoor parking for seven bicycles, while developing the rest of the site to house a building within the prescribed setbacks of the TM Zone (*Ottawa Bylaws Consolidation 2008-250*). The newly introduced commercial unit will provide ample space for gross floor area.

4.3 BUILDING FEATURES

This all new construction will create an apartment complex that contributes to the revitalized nature and evolving appearance of the Bronson Avenue streetscape, identifying key elements of construction and land use that will benefit the area by creating affordable residential units along the traditional mainstreet.

The mid-rise mixed use building will follow the rectilinear form of the lot itself, optimizing the amount of viable floor space by building above the approved three storey framing, while maintaining appropriate setbacks from all property lines. This will create dynamic, unique exterior, setting back the storeys above the third floor to minimize an imposing facade and shadow on the street level. The floors above the ground floor cantilever over the southern facade creating covered walkway to the rear yard, while maximizing the interior living space above as it extends to the prescribed 1.5 meter setback at the interior side yard. The floors are also set back from the rear yard above the third floor, angled the necessary 45 degrees to provide considerable outdoor balcony space for the tenants, while considering the need for privacy from the neighboring lots. The building orientation allows for maximum exposure to natural light from it's east-west alignment, providing all units with sunlight and shade throughout the day.

The front facade is a combination of various geometric shapes, creating dynamism, and unique proportions that align both vertically and horizontally. The use of material helps to assert this proportion, using various exterior cladding to express each section as a part of the larger whole.

The height of the building and increased setbacks encourages a human scale found throughout Centretown, which will not overshadow the existing structures on any of the adjacent properties. The flat roof will be available to the use

of the tenants as a shared outdoor space. The roof will allow for a sizeable deck facing the front (eastern) facade, that still ensures a comfortable setback from the ledge of the roof, to reduce noise transfer and afford privacy.

The lot will continue to preserve the existing mature trees and shrubbery on site where possible. The rear yard will retain the existing deciduous trees along the rear property line to maintain a natural privacy screen with the adjacent R4 Zone behind the property. This will prevent noise transfer, generate natural screens, and create partial shade for the residential units facing the rear yard..

The site will provide an area designated for 7 bicycle parking spaces which are hidden from view at the roadside. All tenant storage facilities and residential garbage storage containers will be housed within the building to prevent odors from carrying, and provides a clear, clean and organized exterior.

4.4 MATERIALITY

The newly constructed six storey building will be clad in materials that are familiar with the architectural culture and atmosphere of the Somerset region, using common or traditional materials to relate the building to the fabric of the neighbourhood, while introducing common, modern materials to differentiate it from the surrounding lots. The ground floor and front entrance will be clad in stone veneer to associate it with the common masonry exteriors of the surrounding houses, with a vertical portion of the front facade on the north side clad in red brick. The second and third storeys above the entrance will be clad in painted metal siding, using the projection to create a visual focal point to the facade. The oversized glazing will break up the overall massing of this projection, creating a visual “floating box” appearance. The storeys above the third floor will be faced in a combination of painted metal panels and vertical metal cladding that will add texture and colour to the facade, dividing the building vertically into three sections. The will primarily use exterior metal cladding to finish the exteriors of the interior and rear facing elevations, with attention to texture and variation to break up the overall massing, and reduce the amount of reflection from the building surface.

These contemporary architectural forms accentuate the existing architectural vernacular of Centretown in new materials and complementary forms. The unique shape of the building creates a dynamic front and rear facade, creating projections and recesses that provide outdoor spaces for the tenants to enjoy, with opportunities to establish balcony gardens and outdoor amenity spaces. The mass of this building does not overpower the adjacent properties, and is not out of proportion or height with the streetscape. The proposed addition to the existing three storey apartment building will be a welcome addition to the Bronson Avenue residential neighbourhood.



EXHIBIT H: 394 BRONSON AVENUE - PROPOSED FRONT & REAR ELEVATIONS, SOMA STUDIOS 2018



EXHIBIT I: 394 BRONSON AVENUE - INTERIOR SIDE ELEVATION (SOUTH), SOMA STUDIOS 2018

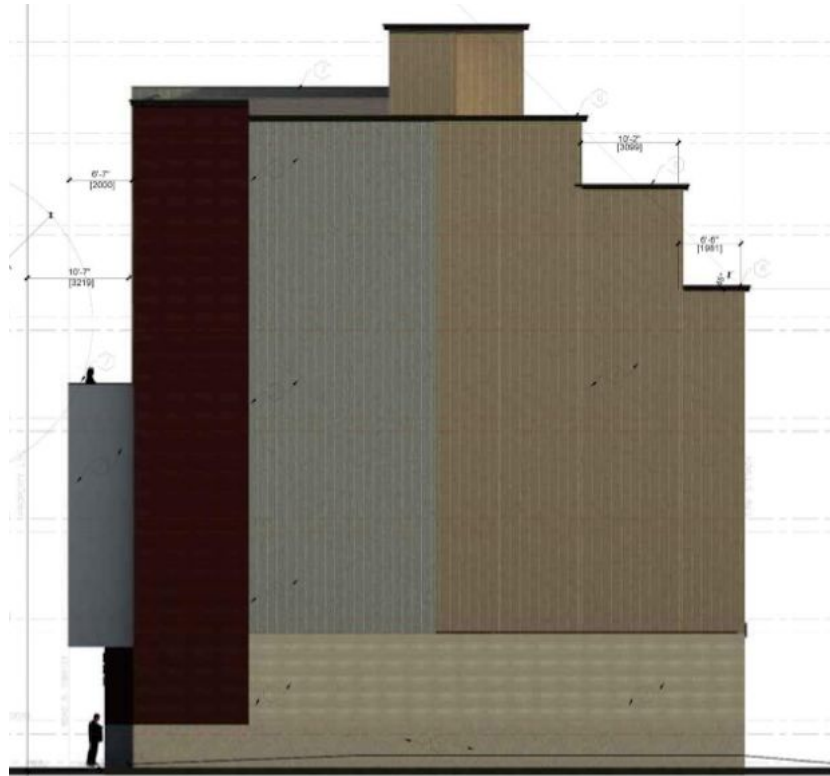


EXHIBIT J: 394 BRONSON AVENUE - INTERIOR ELEVATION (NORTH), SOMA STUDIOS 2018

5. LEGISLATION FRAMEWORK

The following paragraphs are the policies and guidelines that this project and all Ontario development must adhere to. The governing bodies of each Planning Act set forth the regulations for sustainable forms of construction by enforcing sensible land use, and projects of varying density and intent, to ensure a safe, quality living environment. Each subsection will express the policy in direct phrasing or paraphrasing, which has aided in guiding and informing the choices made regarding the proposal for new construction at the site of 394 Bronson Avenue. All policies pertaining to the project will be fulfilled, and in instances where the project does not meet the requirements, applications for amendments and procedures for approval will be sought to complete the project with the full consent of the City of Ottawa.

5.1 ONTARIO PROVINCIAL POLICY STATEMENT

The Provincial Policy Statement (P.P.S.) is a provincial wide policy that guides land use planning and development toward sustainable and efficient forms of construction. The goal of this policy is to improve the quality of life for Ontarians, by protecting the province's natural resources, considers the importance of public safety, and the quality of built environments. The O.P.P. is issued under Section 3 of the Planning Act, and came into effect on April 30, 2014. The following guidelines are integral to the design of 394 Bronson, in regards to effective urban planning and design:

Part V: Policies

1.1 Managing and Directing Land Use to Achieve Efficient and Resilient Development and Land Use Patterns

1.1.1 Healthy, liveable and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;
- b) accommodating an appropriate range and mix of residential (including second units, affordable housing and housing for older persons), employment
- c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;
- e) promoting **cost-effective development patterns** and standards to minimize land consumption and servicing costs;

1.1.3.1 Settlement areas shall be the focus of growth and development, and their **vitality and regeneration** shall be promoted.

1.1.3.2 Land use patterns within settlement areas shall be based on: a) densities and a mix of land uses which:

- 1. efficiently use land and resources;
- 2. are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;
- 3. minimize negative impacts to air quality and climate change, and promote energy efficiency;
- 4. support **active transportation**;
- 5. are transit-supportive, where transit is planned, exists or may be developed; and
- 6. are freight-supportive; and b) a range of uses and opportunities for intensification and redevelopment in accordance with the criteria in policy 1.1.3.3, where this can be accommodated.

1.1.3.3 Planning authorities shall identify appropriate locations and promote opportunities for **intensification and redevelopment** where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs. Intensification and redevelopment shall be directed in accordance with the policies of Section 2: Wise Use and Management of Resources and Section 3: Protecting Public Health and Safety.

1.1.3.4 Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.

1.2 Coordination

1.2.6 Land Use Compatibility

1.2.6.1 Major facilities and sensitive land uses should be planned to ensure they are appropriately designed, buffered and/or separated from each other to prevent or mitigate adverse effects from odour, noise and other contaminants, minimize risk to public health and safety, and to ensure the long-term viability of major facilities.

1.4.1 Housing

To provide for an appropriate range and mix of housing types and densities required to meet projected requirements of current and future residents of the regional market area, planning authorities shall:

a) maintain at all times the ability to accommodate residential growth for a minimum of 10 years through residential intensification and redevelopment and, if necessary, lands which are designated and available for residential development; and

b) maintain at all times where new development is to occur, land with servicing capacity sufficient to provide at least a three-year supply of residential units available through lands suitably zoned to facilitate residential intensification and redevelopment, and land in draft approved and registered plans.

1.4.3 Planning authorities shall provide for an appropriate range and mix of housing types and densities to meet projected requirements of current and future residents of the regional market area by:

a) establishing and implementing minimum targets for the provision of housing which is affordable to low and moderate income households. However, where planning is conducted by an upper-tier municipality, the upper-tier municipality in consultation with the lower-tier municipalities may identify a higher target(s) which shall represent the minimum target(s) for these lower-tier municipalities;

b) permitting and facilitating:

1. all forms of housing required to meet the social, health and well-being requirements of current and future residents, including special needs requirements; and

2. all forms of residential intensification, including second units, and redevelopment in accordance with policy 1.1.3.3;

e) establishing development standards for residential intensification, redevelopment and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety.

1.7 Long-Term Economic Prosperity

1.7.1 Long-term economic prosperity should be supported by:

b) optimizing the long-term availability and use of land, resources, infrastructure, electricity generation facilities and transmission and distribution systems, and public service facilities;

c) maintaining and, where possible, enhancing the vitality and viability of downtowns and mainstreets;

d) encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes;

The proposed development at 394 Bronson Avenue will observe the aforementioned planning guidelines outlined by the P.P.S. The proposed construction of a six storey mixed use structure will contribute to the controlled intensification of the Bronson Avenue streetscape, creating an optimal housing opportunity in a burgeoning Ottawa residential neighbourhood. The construction on the site will minimize the negative impacts on environmental and natural resources, by updating the existing municipal services to the building, and employing more sustainable and environmentally friendly construction materials, ensuring a more energy efficient design, and contributing to the living quality of the residents. Introducing new construction to this area of Bronson Avenue in Somerset will bring vitality to the urban residential neighbourhood, complementing the existing forms and housing patterns, establishing new materials and architectural volumes that will enhance the dwelling's roadside presence, and introducing a suitable urban density for the Bronson traditional mainstreet. As the demands for affordable housing in convenient, central locations will increase, this project aims to assist the vision of a mixed use, and mixed density area in Ottawa's downtown core. This will aid in the long term prosperity of the neighbourhood, encouraging other neighbouring rental units to update and renovate their structures, and provide ample accommodation to an increasing young, local population.

5.2 CITY OF OTTAWA'S OFFICIAL PLAN

The Official Plan (O.P.) is the prescribed policy framework for all introduced development in the City of Ottawa up to the year 2021. It is a legal document that is defined by the P.P.S. under the Ontario Planning Act, thereby guiding new construction to include more sustainable and efficient forms of design. It is also the framework that directs many other municipal activities, such as road and park construction, community design programs, creation of comprehensive zoning by-laws, and the review of development applications. The site at 394 Bronson is governed by the general Official Plan of Ottawa Volume 1, and the Former Ottawa Secondary Plan - Centretown, Volume 2a. The following policies are relevant and integral to the completion of the proposed development phase:

Ottawa Official Plan – Volume 1

Section 2: Strategic Directions

2.2 Managing Growth

- The City will manage growth by directing it to the urban area where services already exist or where they can be provided efficiently.
- Growth in the urban area will be directed to areas where it can be accommodated in compact and mixed-use development, and served with quality transit, walking and cycling facilities.

About 90 per cent of the growth in population, jobs and housing will be accommodated within areas designated within the urban boundary in this Plan. These are areas where services are already available or can be readily provided through the logical extension of existing services. Concentrating growth within the designated urban area also allows for a pattern and density of development that supports transit, cycling and walking as viable and attractive alternatives to the private automobile. This is the most cost-effective pattern for the provision of municipal services and infrastructure.

This Plan requires that intensification proposals have full regard for the existing built context and a full understanding of the impacts the proposal will have on both the immediate and wider surroundings. Consequently, this Plan calls for excellence in urban design and architecture, both in the public and private realms.

2.5: Building Liveable Communities

2.5.1 Urban Design and Compatibility

Urban Design

Community design generally deals with patterns and locations of land use, relative densities, street networks, and the allocation of community services and facilities. Urban design is more concerned with the details relating to how buildings, landscapes and adjacent public spaces look and function together.

Compatibility

In support of lively and complete mixed-use communities, the City's growth management strategy includes intensification of development in the urban area over the next 20 years and concentrating rural development in Villages. Introducing new development in existing areas that have developed over a long period of time requires a sensitive approach and a respect for a communities established characteristics.

Compatible development means development that, although it is not necessarily the same as or similar to existing buildings in the vicinity, nonetheless enhances an established community and coexists with existing development without causing undue adverse impact on surrounding properties.

Design Objective and Principles

The Design Objectives of this Plan are qualitative statements of how the City wants to influence the built environment as the city matures and evolves. Design should:

- Integrate new development to complement and enliven the surroundings.
- Allow the built form to evolve through architectural style and innovation.
- Allow for varying stages of maturity in different areas of the city, and recognize that buildings and site development will exhibit different characteristics as they evolve over time.
- Orient development to maximize opportunities for passive solar gain, natural ventilation, and use energy efficient development forms and building measures.

- Utilize advanced water conservation and efficiency measures.

Section 3: Designations and Land Use

3.6.1 General Urban Area

The General Urban Area designation permits the development of a full range and choice of housing types to meet the needs of all ages, incomes and life circumstances. The zoning by-law will continue to regulate the location, scale and type of land use in accordance with the provisions of this Plan.

Policies

1. General Urban Area areas are designated on Schedule B. The General Urban Area designation permits all types and densities of housing.
2. The evaluation of development applications, studies, other plans and public works undertaken by the City in the General Urban Area will be in accordance with Section 2.5.1 and Section 4.11.
3. When considering a proposal for residential intensification through infill or redevelopment in the General Urban Area, the City will:
 - Recognize the importance of new development relating to existing community character so that it enhances and builds upon desirable established patterns and built form;
 - Apply the policies of Section 2.5.1 and Section 4.11;
 - Consider its contribution to the maintenance and achievement of a balance of housing types and tenures to provide a full range of housing for a variety of demographic profiles throughout the General Urban Area;

The proposed addition to the approved three storey apartment complex is critical to the development of the proposed six storey apartment building. While the surrounding lots still retain their original structures of varying historical ages, the property at 394 Bronson is not of historic significance, and the building does not express defining or unique attributes that are imperative to preserve. The newly constructed building will incorporate the outlined design objectives as the Official Plan prescribes, ensuring the new development incorporates itself effectively into the fabric of the established community. It is the aim of the proposed development to balance the desire to introduce modern construction and materials to the site, while adhering to the overall appearance and housing patterns of the area. As the definition of “compatibility” suggests, the construction will coexist within the established community, while exhibiting a unique individuality. The streetscape pattern will be maintained in accordance with the Ottawa Zoning Bylaws, keeping the landscaped front yard depth from the roadway, the generous setback from the rear property line, and the width of the landscaped walkway at the southern interior side property line. The spacing between the adjacent houses will also be maintained, to ensure the continuity and scale of the streetscape.

The intention of the design is to establish a visual separation from the adjacent properties through the use of exterior material and building volume. This will define the difference between the houses of an earlier construction age, and the newly renovated site.

Ottawa Official Plan – Secondary Plans, Volume 2a – Centretown

3.3 Vision

No longer home to architectural blandness, Centretown has become a showcase for creative and beautiful design. Heritage buildings are celebrated features of the community, carefully preserved and often creatively re-used with some incorporated into new development. At the same time, new buildings have come in all shapes and sizes, responding to established neighbourhoods and the downtown context. The resulting eclecticism reinforces Centretown’s identity as a place that values its past while embracing the future.

3.4 Principles and Objectives

3.4.1 – Respect and maintain the character of Centretown’s neighbourhoods

Objectives:

1. Protect identified heritage buildings, streetscapes and areas;
2. Rehabilitate, conserve and re-use buildings with heritage value;
3. Preserve and reinforce the character of stable, valued neighbourhoods and main streets;
4. Ensure the scale, massing and design of new development respects the character of surrounding established areas with concentrations of heritage buildings;
5. Preserve irreplaceable, valued architectural styles.

3.4.2 – Accommodate residential growth

More people living in Centretown will strengthen the local economy, support investments in public transit and help achieve the City's broader sustainability objectives. New buildings to house more people will fill gaps in Centretown's urban fabric, optimizing the use of land and creating more attractive streetscapes.

Objectives:

1. Achieve a minimum intensification target of 10,000 new residents;
2. Target intensification where it will have minimal or no adverse impacts on established, low-rise neighbourhoods. The established low-rise neighbourhoods are generally located east of Elgin Street and west of Kent Street (including properties located south of James Street to the west of Bank Street);
3. Ensure utilities and municipal services are adequate to support the intensification target;
4. Provide adequate educational, recreational, social and cultural facilities and programming for all residents.

3.4.4 – Reinforce and promote commercial activity

Somerset Village is a destination for restaurants, and small commercial enterprises now occupy many of the historic homes south of Somerset Street and on either side of Bank Street. Encouraging commercial investment that respects the heritage character of the area has several benefits.

3.4.7 – Promote design excellence

Design excellence can result from the creativity of a single architect, landscape architect, engineer or artist, but it should be inspired by context and it almost always relies on input from many sources—professional collaborators and reviewers, users of the building or space, and the public. Building on the guidelines and other recommendations of the Centretown CDP, it is the City's intent to ensure that all significant developments and capital projects are subject to a rigorous design review process.

Objectives:

- Ensure all new development is well designed and built with high-quality, long-lasting materials;
- Ensure new development in established neighbourhoods respects and complements the existing character of the area;
- Steadily increase the number of buildings that meet high standards for energy efficiency, environmental design and green buildings generally (i.e., LEED rated buildings);
- Steadily increase the number of projects recognized by professional design organizations for excellence;
- Ensure the community is engaged in the processes that lead to significant new developments and has an opportunity to provide input on the design of new buildings and public projects.

3.8 Housing

There are expected to be many more people living in Centretown in the decades ahead, and a key objective of this Plan is to ensure there is a broad range of housing choices for existing and future residents.

3.8.1 – Affordable and assisted housing

The City shall include the provision of affordable housing units and the conservation and replacement of rental housing as possible Section 37 community benefits. A Centretown Affordable Housing Fund shall be created and funded from Section 37 and Development Charges Reserve Fund contributions.

3.8.2 – Protection of rental housing

The City shall review the provisions of the *Municipal Act* with the intent of strengthening existing policies regarding the replacement of rental units, focusing on affordability, tenure, rent controls and administration.

The property at 394 Bronson Avenue will take into account the aforementioned policies and objectives of the Centretown Secondary Plan. While it does not reside within the area outright, it is situated on its western border along Bronson Avenue between Gladstone Avenue and Christie Street, and has considered the relevant planning and development policies that are enacted to preserve the integrity, heritage, mobility, and community of the neighbourhood, to better integrate with the established traditional mainstreet.

The proposed mid-rise mixed use building will fulfill the desires of the Centretown development strategy, ensuring a healthy mix of residential units and commercial opportunity, providing affordable and sustainable living accommodation to the area's expanding population.

The building is committed to design excellence through the use of energy efficient, high quality material, and by offering alternative forms of living within the built environment. This will ensure a stable balance of residential units for all demographics, as well as providing suitable commercial opportunity along the traditional mainstreet, as the secondary plan requests.

5.3 OTTAWA ZONING BY-LAW PROVISIONS

The proposed development at 394 Bronson Avenue is designated under the TM Zone. All relevant zoning bylaws and setbacks are included below, addressing each by-law associated with the site's newly proposed development phase:

Adequate Municipal Services (Section 56)

56. (1) No land can be used or the intensity of any use of land expanded or any building placed, erected, altered, enlarged, or used within of the City of Ottawa unless the land is serviced by municipal water, sewerage and drainage systems that have adequate capacity. (By-law 2010-307)

Due to the increase in potential tenants in the new structure at 394 Bronson, the need for services from the City of Ottawa have been increased. All sewage, drainage and plumbing systems into the proposed building have been designed to these specifications, and will provide a necessary system to the residents that is adequate to its proposed capacity.

Minimum Parking Space Rates (Section 101)

1. Off-street motor vehicle parking must be provided for any land use at the rate set out in Table 101 below. In addition, visitor parking must be provided in accordance with Section 102.
10. In the case of an apartment building, **mid – high rise** and low rise and stacked dwelling, where a dwelling unit has a driveway accessing its own required parking space, additional required parking may be located in tandem in the driveway. (Subject to By-law 2014-292)

Amenity Space (Section 137)

137. (1) Amenity area must be provided for a residential use that is a permitted use in the zone in which it is located, in accordance with Table 137.
 - (2) Amenity area must be located on the same lot as the use for which it is provided.
 - (3) Amenity area provided outdoors must not be located in a required front or corner side yard.
 - (4) Where amenity area is located outside at grade, it may be included in the calculation of landscaped area requirements.
 - (5) Minimum required communal amenity area may only be included as part of a required landscaped buffer where it is aggregated into areas of 54m² or more.

The existing site conditions will be maintained at grade for a private entranceway at the southern interior side yard, which will provide a 1.2 meter wide walkway to the proposed amenity space and bicycle parking spaces located in the rear yard. The proposed occupancy does not require a parking space for the first twelve units of residential space, however the site is large enough to accommodate the required single parking space, and an additional second space. This will not negatively impact or interfere with the adjacent properties, nor will it diminish the size of the landscaped rear yard for tenant amenity.

The amenity area is located within the rear yard at grade and at the roof level of the building, combining new landscaping features and retaining the existing trees and shrubbery where available. The total provided amenity area for the 13 residential units is 150 square meters, matching the minimum area required.

Table 137 - Amenity Area (By-law 2014-189) (OMB Order File #PL150797 issued July 25, 2016 – By-law 2015-228)

Column	Land Use	Total Amenity Area	Communal Amenity Area	Layout Of Communal Amenity Area
5)	Apartment building - mid/high rise	6m2 per dwelling, + 10% of the gross floor area of each rooming unit	A minimum of 50% of the required total amenity area	Aggregated into areas up to 54m2, and where more than one aggregated area is provided, one must be a minimum of 54m2

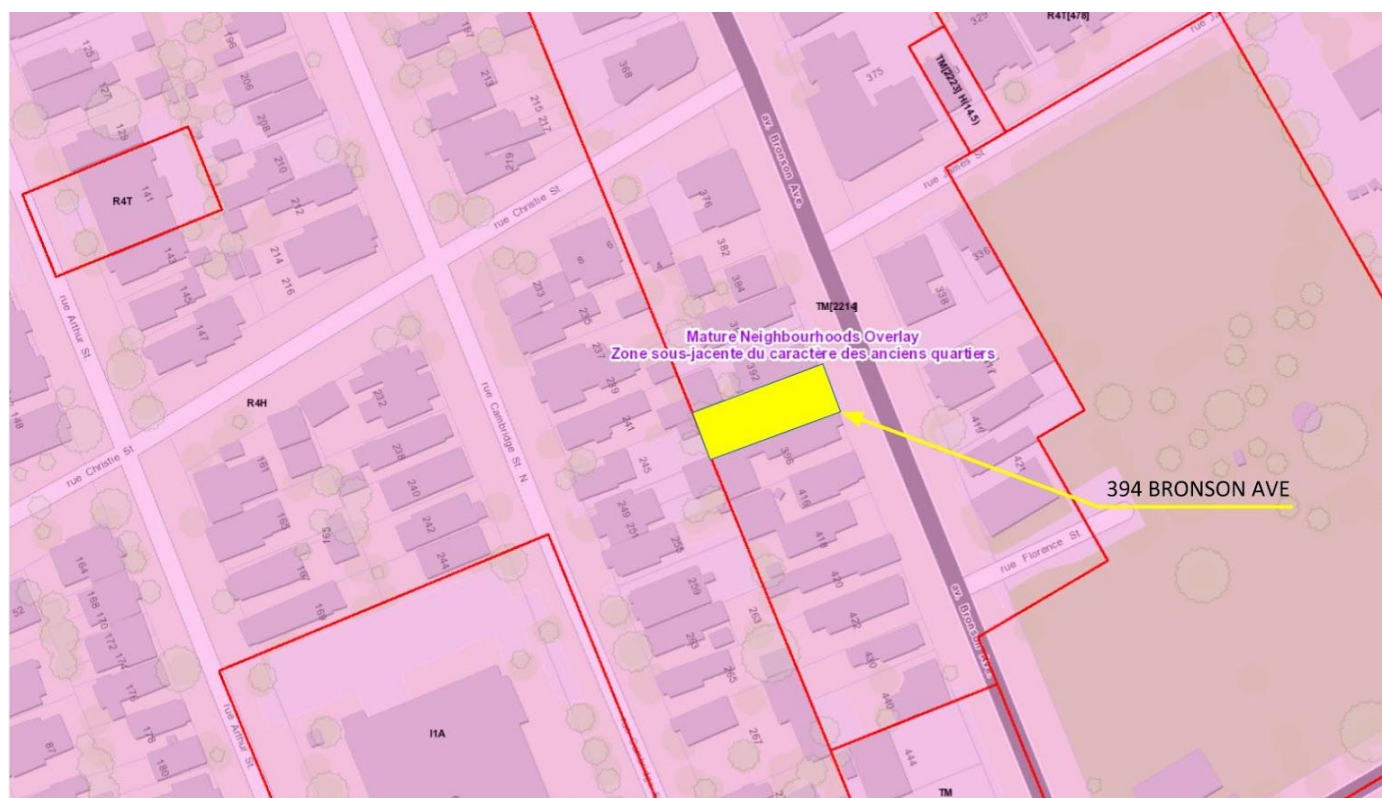


EXHIBIT K: ZONING MAP 394 BRONSON AVENUE, GEO OTTAWA 2017

394 BRONSON AVENUE W, PART LOT 134, PART OF REGISTERED PLAN 3459							
REQUIRED SITE DIMENSIONS TM (TABLE 197)			EXISTING SITE DIMENSIONS FOR EXISTING THREE STOREY MIXED USE BUILDING			PROPOSED SITE MEASUREMENTS FOR PROPOSED SIX STOREY MIXED USE BUILDING	
ZONING		TM - TRADITIONAL MAINSTREET	ZONING		TM [2214]	ZONING	TM [2214]
PRINCIPAL DWELLING		MID TO HIGH-RISE MIXED USE RESIDENTIAL (subject to Bylaw 2014-292)	EXISTING PRINCIPAL DWELLING		RESIDENTIAL LOW-RISE APARTMENT BUILDING	PRINCIPAL DWELLING	MIXED USE MID-RISE APARTMENT BUILDING
MINIMUM LOT WIDTH		NO MINIMUM	EXISTING LOT WIDTH		10.09 m	PROPOSED LOT WIDTH	10.09 m
MINIMUM LOT DEPTH		NO MINIMUM	EXISTING LOT DEPTH		30.18 m	PROPOSED LOT DEPTH	30.18 m
MINIMUM LOT AREA		NO MINIMUM	EXISTING LOT AREA		304.4 m sq.	PROPOSED LOT AREA	304.4m sq.
FRONT YARD SETBACK		MAXIMUM 2 m	EXISTING FRONT YARD SETBACK		1.33 m	PROPOSED FRONT YARD SETBACK	1.33 m
INTERIOR YARD SETBACKS	MAXIMUM	N/A	EXISTING INTERIOR YARD SETBACKS		0.6 m	PROPOSED INTERIOR YARD SETBACKS	0.6 m
	MINIMUM	NO MINIMUM					
CORNER YARD SETBACK		N/A	CORNER YARD SETBACK		N/A	CORNER YARD SETBACK	N/A
REAR YARD SETBACK	MINIMUM	FOR LOTS ABUTTING A R ZONE ALONG REAR PROPERTY LINE: 7.5 meters	EXISTING REAR YARD SETBACK		7.5 m	PROPOSED REAR YARD SETBACK	7.54 m
BUILDING HEIGHT	MAXIMUM	20 m BUT NOT MORE THAN SIX STORIES	BUILDING HEIGHT		APPROX. 9.5 m	BUILDING HEIGHT	19.946 m

As indicated by the zoning bylaw table above, the proposed development remains well within the prescribed setbacks and height limitations of the zone, which negates the necessity of applying for minor variance.

The newly proposed six storey mixed use building adheres to the minimum front, rear, and interior yard setbacks, and provides a large rear yard and rooftop for outdoor tenant use and bicycle parking. The dimensions of the lot accommodate the proposed building type, as well as all the proposed uses at the exterior.

6. SUMMARY AND CONCLUSION

6.1 PROPOSAL SUMMARY

The scope of the proposed new construction looks to maintain the existing framing of the approved three storey structure, while optimizing the total livable space by constructing an additional three storeys. The proposed six storey, mixed use apartment complex is encouraged and supported by the City's desire to provide various forms of residential development, while minimizing the negative impacts of urban sprawl and . The approved setbacks, height limitations, and access to services all allow for the controlled development of the site with a comfortable interior area for quality living. The use of materials, massing, human scale and natural landscaping will provide a residence that promotes safe and healthy living within the Glebe neighbourhood, while also remaining respectful of the architectural character and environmental quality in the region.

The proposed renovation is consistent with the prescribed guidelines of the City of Ottawa Official Plan, and the Ottawa Zoning Bylaws, creating an appropriate low rise apartment residence for the neighbourhood, while creating a unique housing opportunity that will invigorate the streetscape. The proposed construction will comply with all relevant planning amendments, to perpetuate appropriate land uses and provide comfortable and controlled growth for an established residential neighbourhood. The presence of vibrant residential villages will encourage public interaction and community involvement, while promoting active transportation, as well as pedestrian travel.

6.2 CONCLUSION

This submission for planning rationale is an appropriate and sustainable course of action for construction of a six storey mid-rise apartment dwelling at 394 Bronson Avenue. The redevelopment of the existing property will aim to combine the desires of the owner with the prescribed guidelines and bylaws of the City of Ottawa, to contribute to its vision for intensified urban land use, in a responsible and sustainable manner.