

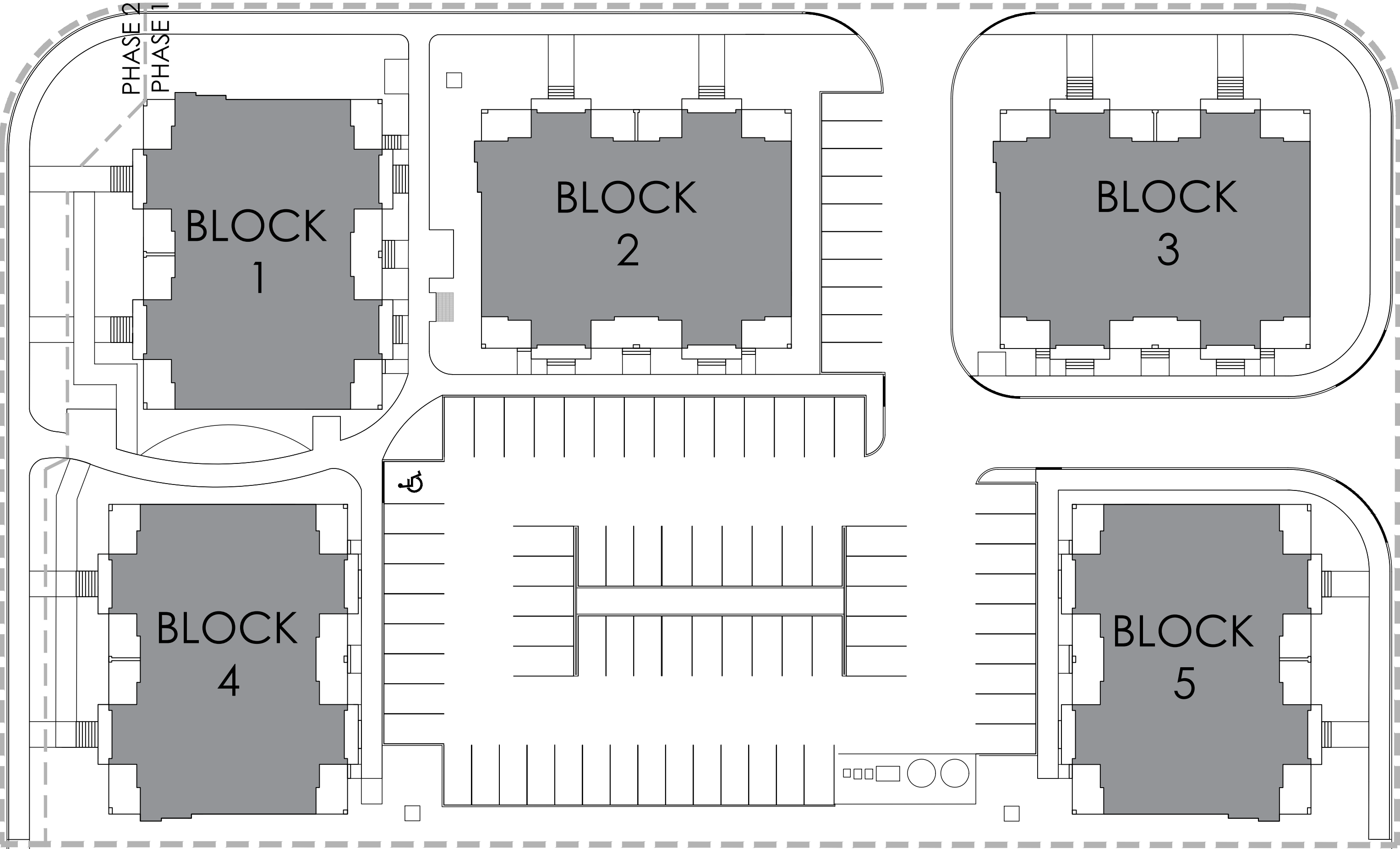
RESIDENTIAL



MATTAMY (HALF MOON BAY) LIMITED
HALF MOON BAY NORTH PH 9
APARTMENT BLOCKS
2444 Watercolors Way

WATERCOLOURS WAY

GREENBANK ROAD (FUTURE)



SEELEY'S BAY STREET

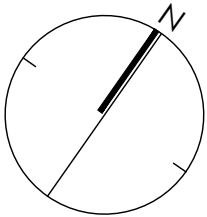
RESIDENTIAL

COMMERCIAL

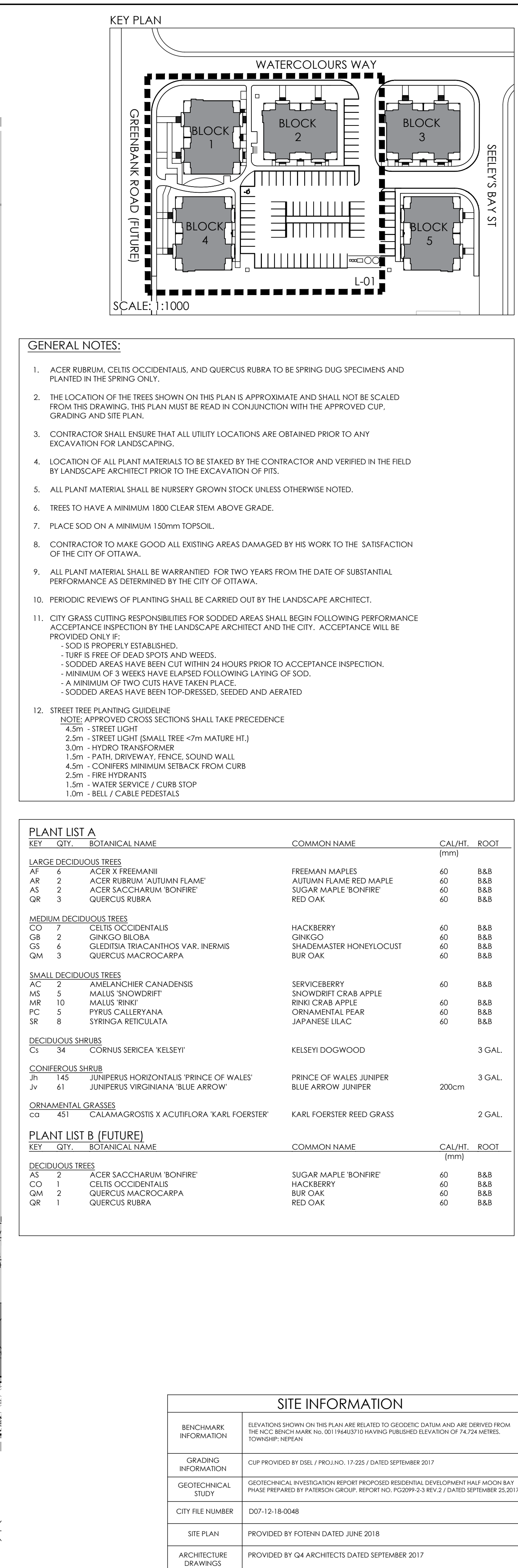
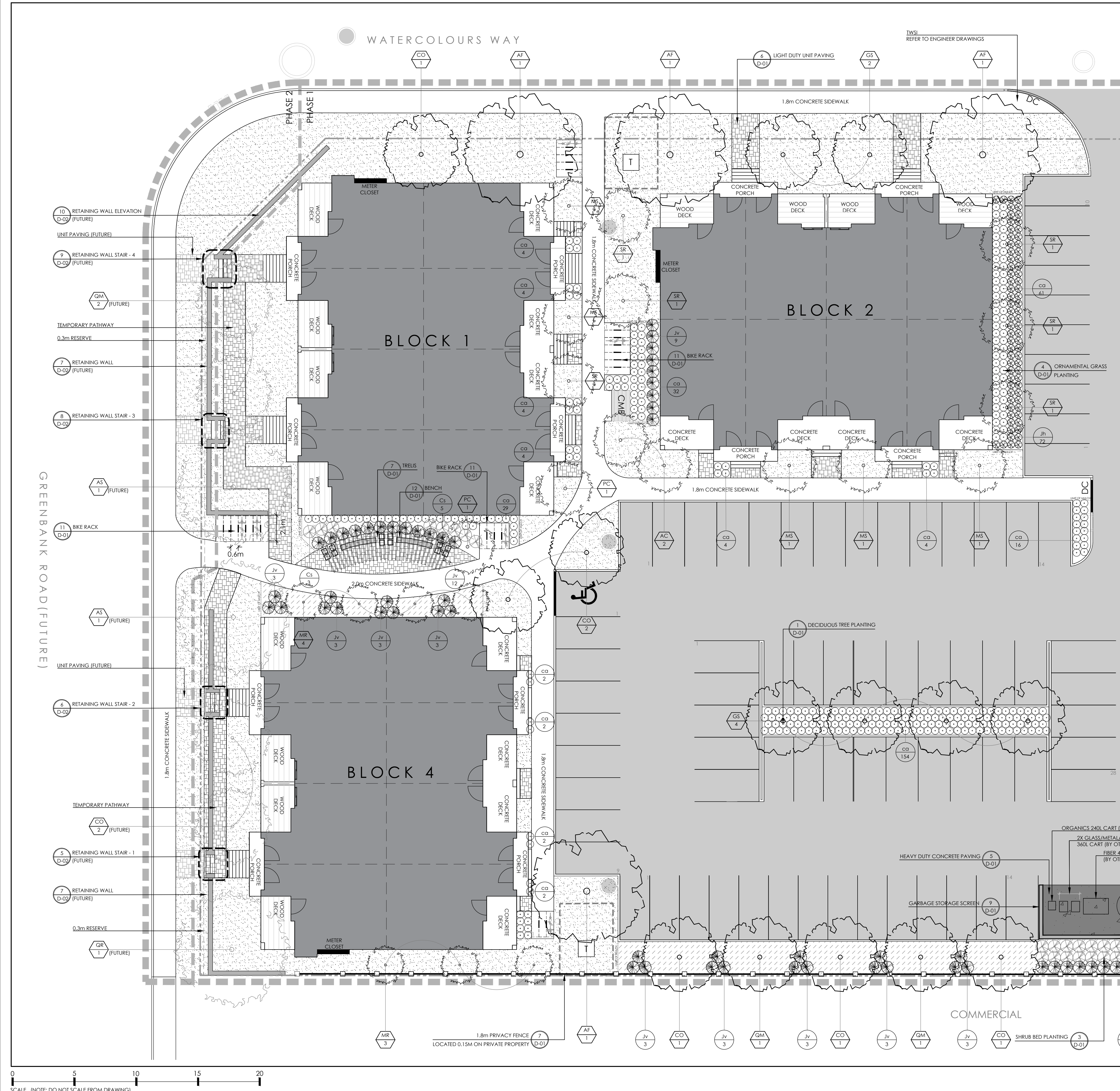


LIST OF DRAWINGS:

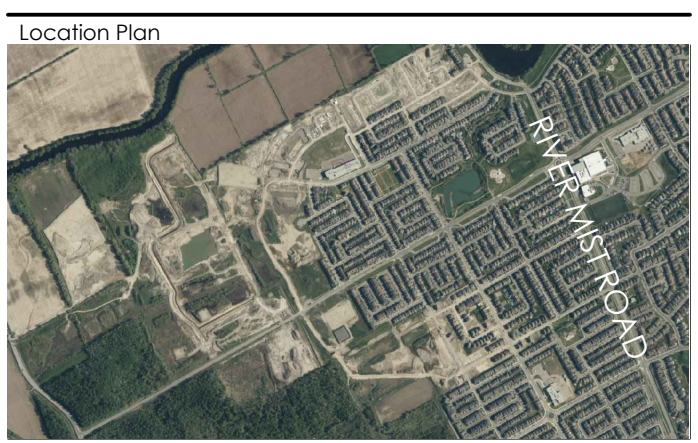
- L-01 - LANDSCAPE PLAN
- L-02 - LANDSCAPE PLAN
- D-01 - DETAILS
- D-02 - DETAILS



KEYMAP
NTS

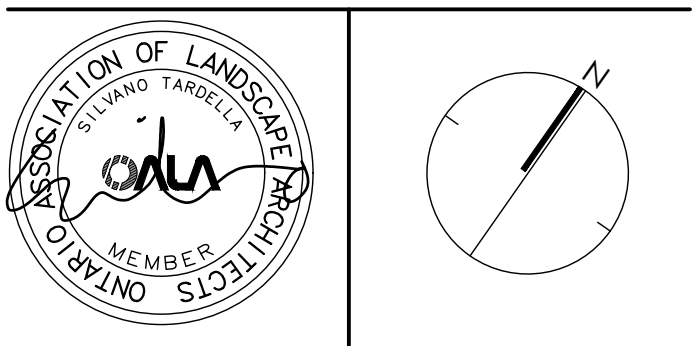


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LEGEND	
---	PROPERTY LINE
---	0.3m RESERVE
---	LIMIT OF WORK
FENCING	
---	WASTE ENCLOSURE SCREEN
---	1.8m HIGH PRIVACY FENCE LOCATED 0.15m ON PRIVATE PROPERTY
PLANTING	
---	LARGE/MEDIUM DECIDUOUS TREE
---	FUTURE DECIDUOUS TREE
---	SMALL TREE (<7m)
---	CONIFEROUS TREE
---	DECIDUOUS SHRUB
---	CONIFEROUS SHRUB
---	ORNAMENTAL GRASSES
---	SODDING
SURFACING	
---	CONCRETE SIDEWALK
---	HEAVY DUTY CONCRETE PAVING
---	ASPHALT PAVING (BY OTHERS)
---	UNIT PAVING
---	UNIT PAVING (FUTURE)
---	MULCH
---	CURB CUT
---	RETAINING WALL (FUTURE)
SITE FURNISHING	
---	BENCH
---	BIKE RACK
UTILITIES	
---	TRANSFORMER
---	METER CLOSET
---	COMMUNITY MAILBOX
DETAIL KEY	
---	DETAIL NO.
---	SHEET NO.
PLANTING KEY	
---	SPECIES
---	QUANTITY
---	SPECIES
---	QUANTITY

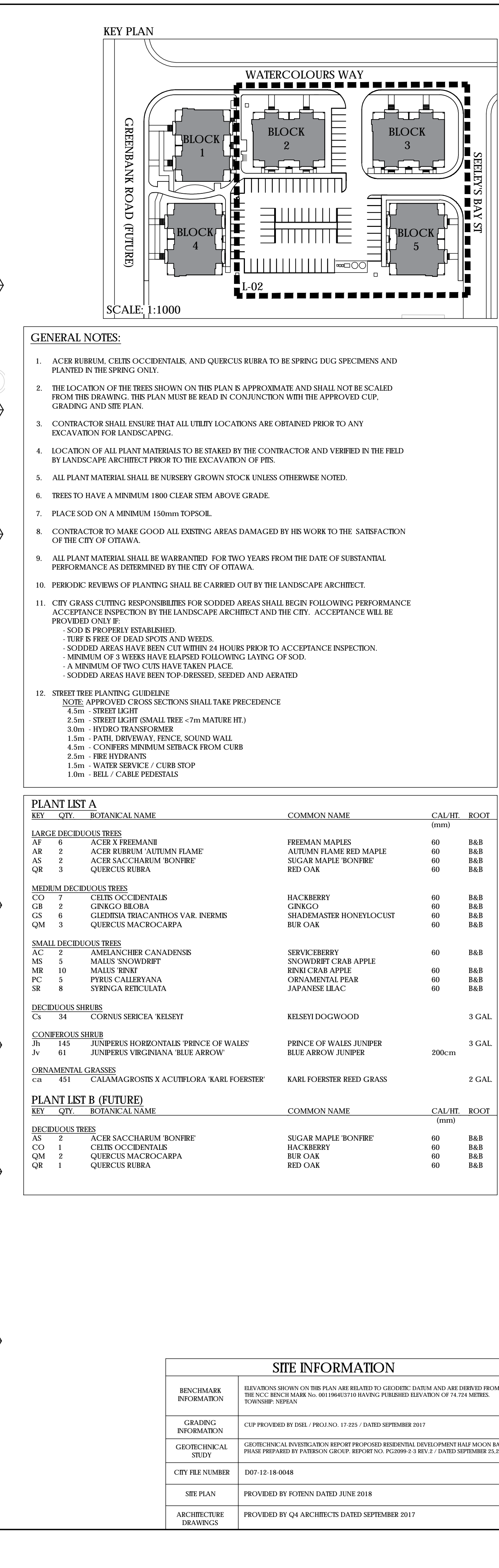
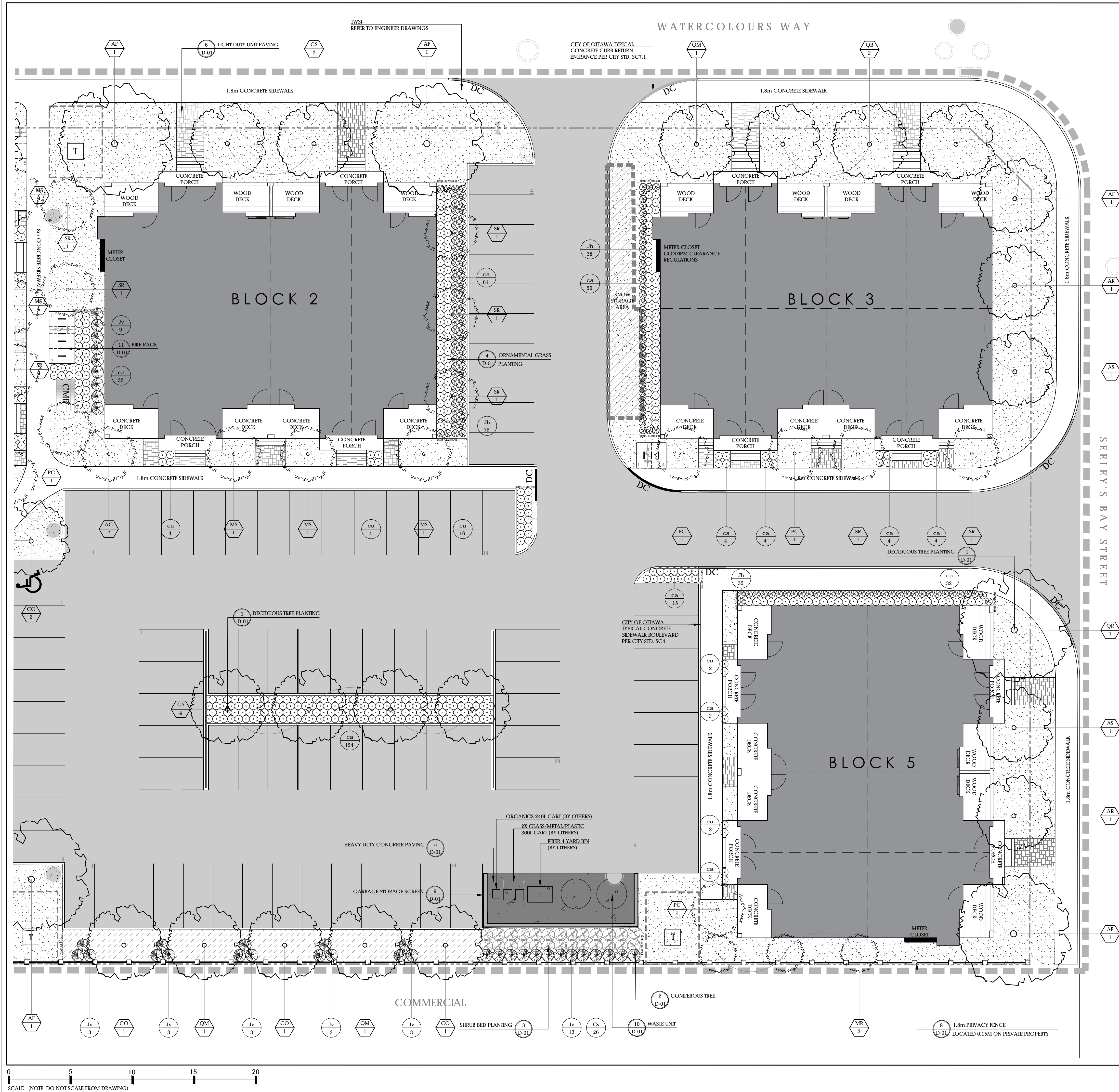
2	Issued for Second Submission	July 13/18
1	Issued for Site Plan Control Submission	Mar.29/18



CONSULTANTS	
ARCHITECT	Q4 ARCHITECTS INC. 2171 KENNEDY RD. SUITE 202, TORONTO, ON M3H 4B4
ENGINEER	DAVID SCHWARTZ ENGINEERING LTD. 120 BEECH RD. SUITE 103, OTTAWA, ON K2S 1E9
SURVEYOR	J.D. BARNES LTD. 15-2050 ANGLADE RD. SUITE 100, OTTAWA, ON K1B 3G3
OWNER	MATTAMY HOMES 50 HINES RD. SUITE 100, OTTAWA, ON K1B 3G3
PLANNING	POTERN PLANNING + DESIGN 203 MOLEDRUM STREET, OTTAWA, ON K0P 0Z8

NAK
design strategies
100-250 BESSERER STREET, OTTAWA, ON K1N 6B3 CANADA
T 613.237.2345 F 613.237.6423 NAKDESIGNSTRATEGIES.COM
Project

APARTMENT BLOCKS HALF MOON BAY NORTH PH 9 2444 WATERCOLOURS WAY	
Title: LANDSCAPE PLAN	
Date: Jan 2018	Sheet: L-01
Scale: 1:150	
Drawn: NAK	
Checked: NAK	
Job No.: 17-227	



- GENERAL NOTES:**
- ACER RUBRUM, CELTIS OCCIDENTALIS, AND QUERCUS RUBRA TO BE SPRING DUG SPECIMENS AND PLANTED IN THE SPRING ONLY.
 - THE LOCATION OF THE TREES SHOWN ON THIS PLAN IS APPROXIMATE AND SHALL NOT BE SCALED FROM THIS DRAWING. THIS PLAN MUST BE READ IN CONJUNCTION WITH THE APPROVED CUP, GRADING AND SITE PLAN.
 - CONTRACTOR SHALL ENSURE THAT ALL UTILITY LOCATIONS ARE OBTAINED PRIOR TO ANY EXCAVATION FOR LANDSCAPING.
 - LOCATION OF ALL PLANT MATERIALS TO BE STAKED BY THE CONTRACTOR AND VERIFIED IN THE FIELD BY LANDSCAPE ARCHITECT PRIOR TO THE EXCAVATION OF PITS.
 - ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK UNLESS OTHERWISE NOTED.
 - TREES TO HAVE A MINIMUM 1800 CLEAR STEM ABOVE GRADE.
 - PLACE SOD ON A MINIMUM 150mm TOPSOIL.
 - CONTRACTOR TO MAKE GOOD ALL EXISTING AREAS DAMAGED BY HIS WORK TO THE SATISFACTION OF THE CITY OF OTTAWA.
 - ALL PLANT MATERIAL SHALL BE WARRANTED FOR TWO YEARS FROM THE DATE OF SUBSTANTIAL PERFORMANCE AS DETERMINED BY THE CITY OF OTTAWA.
 - PERIODIC REVIEWS OF PLANTING SHALL BE CARRIED OUT BY THE LANDSCAPE ARCHITECT.
 - CITY GRASS CUTTING RESPONSIBILITIES FOR SODDED AREAS SHALL BEGIN FOLLOWING PERFORMANCE ACCEPTANCE INSPECTION BY THE LANDSCAPE ARCHITECT AND THE CITY. ACCEPTANCE WILL BE PROVIDED ONLY IF:
 - SOD IS PROPERLY ESTABLISHED.
 - TURF IS FREE OF DEAD SPOTS AND WEEDS.
 - SODDED AREAS HAVE BEEN CUT WITHIN 24 HOURS PRIOR TO ACCEPTANCE INSPECTION.
 - MINIMUM OF 3 WEEKS HAVE ELAPSED FOLLOWING LAYING OF SOD.
 - A MINIMUM OF TWO CUTS HAVE TAKEN PLACE.
 - SODDED AREAS HAVE BEEN TOP-DRESSED, SEEDING AND AERATED.
 - STREET TREE PLANTING GUIDELINE
NOTE: APPROVED CROSS SECTIONS SHALL TAKE PRECEDENCE
4.5m - STREET LIGHT
2.5m - STREET LIGHT (SMALL TREE - 7m MATURE HT.)
3.0m - HYDRO TRANSFORMER
1.5m - PATH, DRIVEWAY, FENCE, SOUND WALL
4.5m - CONCRETE MINIMUM SETBACK FROM CURB
2.5m - FIRE HYDRANTS
1.5m - WATER SERVICE / CURB STOP
1.0m - BELL / CABLE PEDESTALS

PLANT LIST A				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL/HT. ROOT (mm)
LARGE DECIDUOUS TREES				
AF	6	ACER X FREEMANII	FREEMAN MAPLES	60 B&B
AR	2	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	60 B&B
AS	2	ACER SACCHARUM 'BONFIRE'	SUGAR MAPLE 'BONFIRE'	60 B&B
QR	3	QUERCUS RUBRA	RED OAK	60 B&B
MEDIUM DECIDUOUS TREES				
CO	2	CELTIS OCCIDENTALIS	HACKBERRY	60 B&B
CB	2	GINKGO BILOBA	GINKGO	60 B&B
GS	6	GLEDITSIA TRACANTHOS VAR. INERMIS	SHADEMASTER HONEYLOCUST	60 B&B
QM	3	QUERCUS MACROCARPA	BUR OAK	60 B&B
SMALL DECIDUOUS TREES				
AC	2	AMELANCHIER CANADENSIS	SERVICEBERRY	60 B&B
MS	5	MALUS 'SNOWDRIFT'	SNOWDRIFT CRAB APPLE	60 B&B
MR	10	MALUS 'RINKI'	RINKI CRAB APPLE	60 B&B
PC	5	PYRUS CALLERYANA	ORNAMENTAL PEAR	60 B&B
SR	8	SYRINGA REICULATA	JAPANESE LILAC	60 B&B
DECIDUOUS SHRUBS				
Cs	34	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	3 GAL
CONIFEROUS SHRUB				
Jh	145	JUNIPERUS HORIZONTALIS 'PRINCE OF WALES'	PRINCE OF WALES JUNIPER	3 GAL
Jv	61	JUNIPERUS VIRGINIANA 'BLUE ARROW'	BLUE ARROW JUNIPER	200cm
ORNAMENTAL GRASSES				
ca	451	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER REED GRASS	2 GAL

PLANT LIST B (FUTURE)				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL/HT. ROOT (mm)
DECIDUOUS TREES				
AS	2	ACER SACCHARUM 'BONFIRE'	SUGAR MAPLE 'BONFIRE'	60 B&B
CO	1	CELTIS OCCIDENTALIS	HACKBERRY	60 B&B
QM	2	QUERCUS MACROCARPA	BUR OAK	60 B&B
QR	1	QUERCUS RUBRA	RED OAK	60 B&B

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Location Plan

LEGEND

- PROPERTY LINE
- 0.3m RESERVE
- LIMIT OF WORK

FENCING

- WASTE ENCLOSURE SCREEN
- 1.8M HIGH PRIVACY FENCE LOCATED 0.15M ON PRIVATE PROPERTY

PLANTING

- LARGE/MEDIUM DECIDUOUS TREE
- FUTURE DECIDUOUS TREE
- SMALL TREE (<7m)
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- ORNAMENTAL GRASSES
- SODDING

SURFACING

- CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE PAVING
- ASPHALT PAVING (BY OTHERS)
- UNIT PAVING
- UNIT PAVING (FUTURE)
- MULCH
- CURB CUT
- RETAINING WALL (FUTURE)

SITE FURNISHING

- BENCH
- BIKE RACK

UTILITIES

- TRANSFORMER
- METER CLOSET
- COMMUNITY MAILBOX

DETAIL KEY

- DETAIL NO.
- SHEET NO.

PLANTING KEY

- SPECIES
- QUANTITY
- SPECIES
- QUANTITY

Revisions

No.	Description	Date
2	Issued for Second Submission	July 13/18
1	Issued for Site Plan Control Submission	Mar. 29/18

Consultants

ARCHITECT	Q4 ARCHITECTS INC. 2171 AVENUE RD. SUITE 302, TORONTO ON, M2M 4B4
ENGINEER	DAVID SCHAEFER ENGINEERING LTD. 120 BIRCH RD. SUITE 101, OTTAWA ON K2B 1J9
SURVEYOR	JD BARNES LTD. 15-6450 LANSACRIST ROAD, OTTAWA, ON K1B 5N3
OWNER	MATTAMY HOMES 50 BRISBANE SUITE 100, OTTAWA, ON K1B 5N3
PLANNING	POTEN PLANNING + DESIGN 222 WILLOW STREET, OTTAWA ON K1P 1Z8

NAK design strategies
100-250 BESSERER STREET, OTTAWA, ON K1N 6B3 CANADA
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APARTMENT BLOCKS
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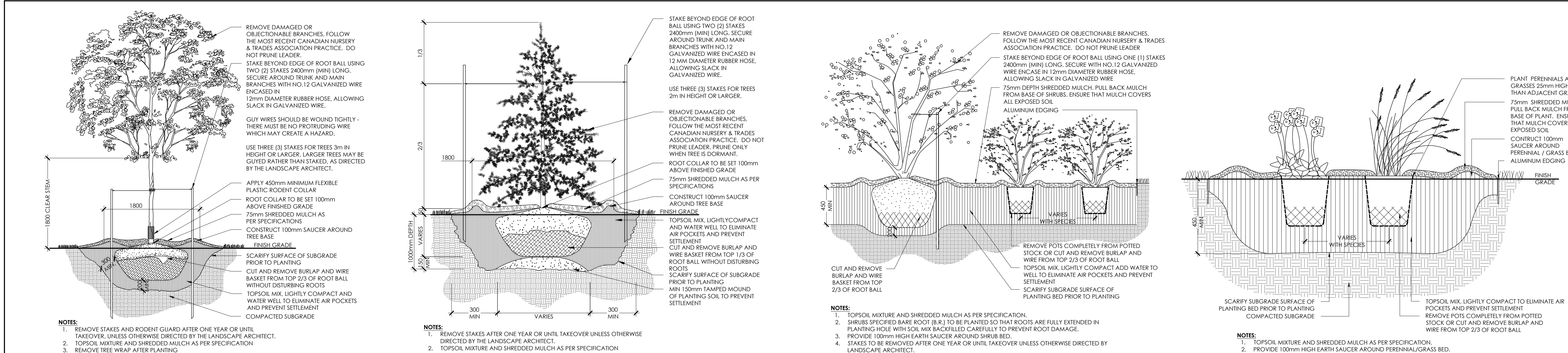
Title

LANDSCAPE PLAN

Date Jan 2018 **Scale** 1:150 **Drawn** NAK **Checked** NAK **Job No.** 17-227

Sheet

L-02

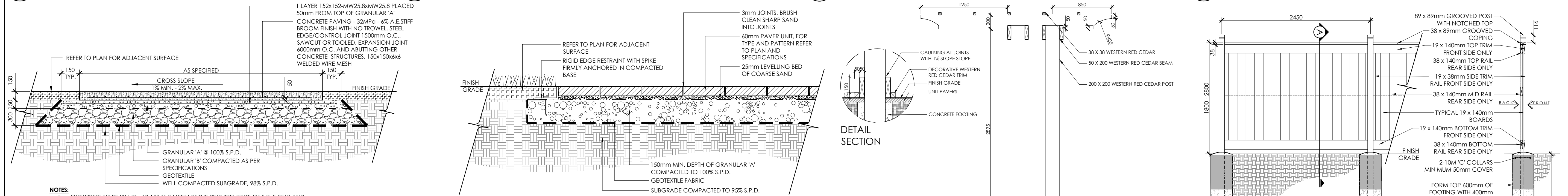


1 DECIDUOUS TREE PLANTING N.T.S.

2 CONIFEROUS TREE N.T.S.

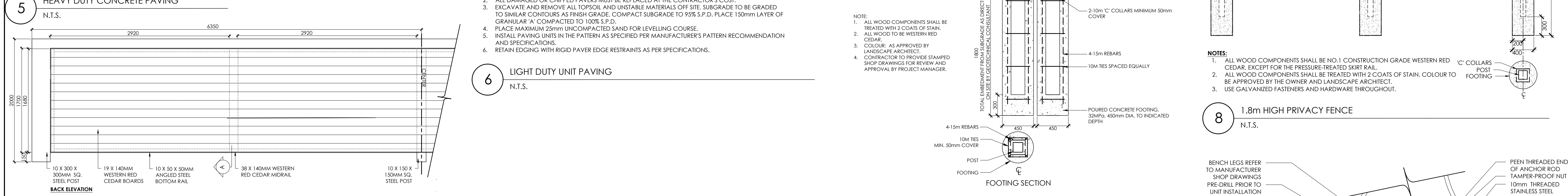
3 SHRUB BED PLANTING N.T.S.

4 PERENNIAL AND ORNAMENTAL GRASS PLANTING N.T.S.

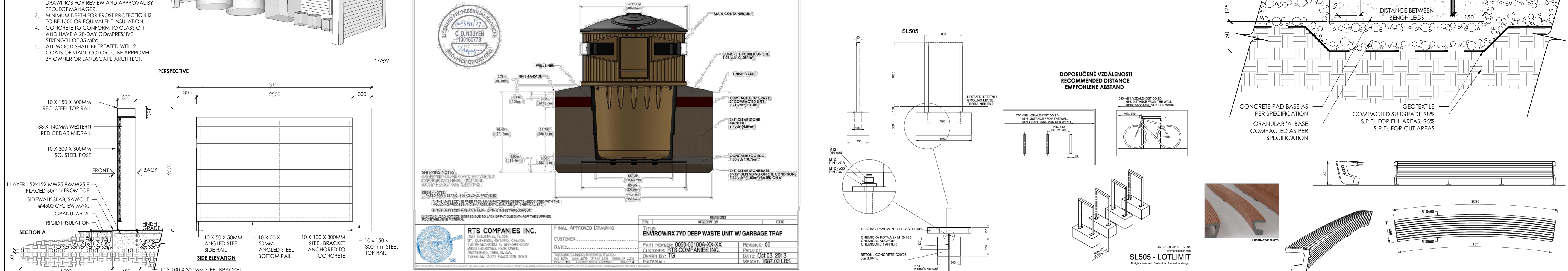


5 HEAVY DUTY CONCRETE PAVING N.T.S.

6 LIGHT DUTY UNIT PAVING N.T.S.



8 1.8m HIGH PRIVACY FENCE N.T.S.



9 GARBAGE STORAGE SCREEN N.T.S.

10 WASTE UNIT N.T.S.

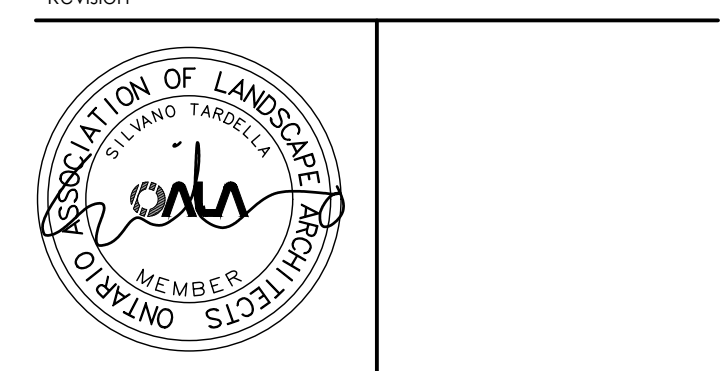
11 BIKE RACK N.T.S.

12 BENCH N.T.S.

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SITE INFORMATION	
BENCHMARK INFORMATION	ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODESIC CANADIAN AND ARE DERIVED FROM THE NAD 83 DATUM. THE NAD 83 DATUM IS BASED ON THE MEAN SEA LEVEL OF THE NORTH ATLANTIC OCEAN.
GRADING INFORMATION	CUT PROVIDED BY DSE / PROJ. 11/2017 DATED SEPTEMBER 2017
GEOTECHNICAL STUDY	GEOTECHNICAL INVESTIGATION REPORT (PROJ. 11/2017) DATED SEPTEMBER 2017
CITY FILE NUMBER	2017-12-16-0048
SITE PLAN	PROVIDED BY COTENANT DATED JUNE 2018
ARCHITECTURE DRAWINGS	PROVIDED BY GH ARCHITECTS DATED SEPTEMBER 2017

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ARCHITECT	GH ARCHITECTS INC. 2171 AVENUE RD. SUITE 302, TORONTO, ONT. M5M 4B4
ENGINEER	DAVID SCHAFER ENGINEERING LTD. 100 BIRCH RD. SUITE 100, OTTAWA, ONT. K2C 1P9
SURVEYOR	JD BARNES LTD. 15-2450 LANCASTER ROAD, OTTAWA, ONT. K1B 3H3
OWNER	MATTAMY HOMES 100 BIRCH RD. SUITE 100, OTTAWA, ONT. K1B 3H3
PLANNING	POTEM PLANNING + DESIGN 222 MCLEOD STREET, OTTAWA ON K2P 0Z8



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DETAILS	
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