



File No. D07-12-17-0123

May 24, 2018

Argue Construction Ltd.  
105-A Willowlea Road  
Carp, ON K0A 1L0

Attention: Keith Riley

Dear Mr. Riley:

**Subject: Site Plan Control Application  
2688 Carp Road**

The City has approved the Site Plan Control application received on September 26, 2017, subject to Owner of the subject lands entering into a Site Plan Agreement.

It is important to note that this Site Plan Control Approval will lapse if certain requirements are not fulfilled by May 17, 2019. Specific details of the requirements will be provided to you once it has been indicated that the Owner is prepared to enter into an agreement with the City. These requirements may include, but are not limited to the following:

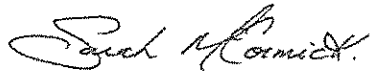
- Site Plan Agreement is signed.
- Security in the form of a Letter of Credit – in the City's standard format and wording, certified cheque or bank draft is provided.
- Certificate of Liability Insurance provided.
- Any required fees are paid

Please note that the documents referred to above, if not submitted in the City's required format(s), will be returned, resulting in a delay issuing a building permit and/or a commence work order.

Also enclosed is a copy of the approved plan(s). We will retain the original site plan(s).

If you have any questions or concerns, please contact Sarah McComrick by telephone at 613-580-2424, extension 24487 or by e-mail at [Sarah.McCormick@ottawa.ca](mailto:Sarah.McCormick@ottawa.ca).

Sincerely,



Sarah McCormick  
Planner II  
Development Review, Rural Services

- c.c. Councillor Eli El-Chantiry  
Kevin Hall, Infrastructure Approvals Project Manager, PIED (include 1 set of approved/signed mylars)  
Kevin Lamer (Mail Code: 26-14), Program Manager - Development Inspection West, PIED  
Matthew Hayley, Environmental Planner, Development Review Services Branch, PIED  
Linda Carkner, Program Manager, Right of Way  
Bradley Cheer (Mail Code: 16-11), Program Manager - Permit Approvals, Building Code Services, PIED (include all final/consolidated approved Geotechnical and/or Slope Stability studies)  
Todd O'Rourke, Zoning Plan Examiner, Building Code Services Branch, PIED (2 copies)  
Municipal Addressing/Sign Officers, Permit Approvals Unit, Building Code Services Branch, PIED (Site Plan)  
Joseph Langiano, Right of Way Agreements Coordinator  
Amanda Phanenhour, Supervisor - By-Law Enforcement, Emergency & Protective Services Department  
Christine Enta, Legal Counsel, City Clerk & Solicitor Department  
Joumana Tannouri, Securities Administrator, Finance Department (no plans)  
Chris Farley Ratcliffe, Account Manager, MPAC  
OttawaScene Canada Signs, 1565 Chatelain Avenue, Ottawa, ON K1Z 8B5 (no attachments)  
BRY-AIN Holdings Ltd., 6240 Fernbank Road, Stittsville ON K2S 1X5  
Niall Oddie, Mississippi Valley Conservation Authority, 10970 Hwy. 7, Carleton Place ON K7C 3P1



**SITE PLAN CONTROL APPROVAL APPLICATION  
DELEGATED AUTHORITY REPORT  
MANAGER, DEVELOPMENT REVIEW**

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Site Location: 2688 Carp Road

File No.: D07-12-17-0123

Date of Application: September 26, 2017

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This SITE PLAN CONTROL application submitted by Keith Argue, Argue Construction Ltd., on behalf of BRY-AIN Holdings Ltd., is APPROVED as shown on the following plan(s):

1. **Site Plan**, A1.0, prepared by A+ Architecture Inc., dated September 19, 2017, revision 4 dated 2018/05/01.
2. **Landscape Plan**, L1.0, prepared by CSW, dated September 5, 2017, revision 7 dated May 2, 2018.
3. **Exterior Elevations**, A3.0, prepared by A+ Architecture Inc., dated September 19, 2017, revision 2 dated April 16, 2018.
4. **Site Servicing & Part Grading Plan**, C-1, prepared by D.B. Gray Engineering Inc., dated September 13, 2017, revision 7 dated May 1, 2018.
5. **Grading Plan and Erosion & Sediment Control Plan**, C-2, prepared by D.B. Gray Engineering Inc., dated September 13, 2017, revision 7 dated May 1, 2018.
6. **Notes & Details**, C-3, prepared by D.B. Gray Engineering Inc., dated September 13, 2017, revision 6 dated April 23, 2018.
7. **Drainage Plan (Infiltration Trenches)**, C-4, prepared by D.B. Gray Engineering Inc., dated January 16, 2018, revision 4 dated May 1, 2018.

And as detailed in the following report(s):

1. **Stormwater Management Report**, prepared by D.B. Gray Engineering Inc., dated September 18, 2017, revised March 19, 2018.
2. **Phase 1 Environmental Site Assessment**, prepared by Paterson Group, dated December 20, 2017.
3. **Slope Stability Study**, prepared by Houle Chevrier Engineering, dated August 24, 2017.
4. **Hydrogeological Investigation**, prepared by Houle Chevrier Engineering, dated August 30, 2017.
5. **Geotechnical Investigation**, prepared by Houle Chevrier Engineering, dated June 27, 2017.
6. **Environmental Impact Statement**, prepared by McKinley Environmental Solutions, dated August 2017.

And subject to the following Standard and Special Conditions:

#### **Standard Conditions**

1. The Owner shall enter into a standard site development agreement consisting of the following conditions. In the event the Owner fails to enter into such agreement within one year, this approval shall lapse.
2. The Owner shall obtain such permits as may be required from Municipal or Provincial authorities and shall file copies thereof with the General Manager, Planning, Infrastructure and Economic Development Department.
3. The Owner shall reinstate, at its expense and to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department, any property of the City, including, but not limited to, sidewalks, curbs and boulevards, which is damaged as a result of the subject development.
4. The Owner acknowledges and agrees to install construction fencing, at its expense, in such a location as may be determined by the General Manager, Planning, Infrastructure and Economic Development Department.
5. The Owner acknowledges and agrees that waste collection and recycling collection will not be provided by the City and it shall make appropriate arrangements with a private contractor for waste collection and recycling collection. The Owner shall consult a private contractor regarding any access requirements for waste and/or recycling collection.

6. The Owner acknowledges and agrees that the City does not guarantee the quality or quantity of the groundwater used to service the subject lands. If, at some future date, the quality or the quantity of the groundwater becomes deficient, the City shall bear no responsibility, financial or otherwise, to provide solutions to the deficiency. All efforts and costs to remedy such deficiencies in the groundwater shall be the sole responsibility of the Owner.

The Owner acknowledges and agrees that a notice-on-title respecting the quality or quantity of the groundwater used to service this development, shall be registered on title to the subject lands, at the Owner's expense, and a warning clause shall be included in all agreements of purchase and sale and lease agreements.

7. The Owner, or any subsequent owner of the whole or any part of the subject lands, acknowledges and agrees that all agreements of purchase and sale or lease agreements shall contain the following clauses, which shall be covenants running with the subject lands:

"The Purchaser/Lessee for himself, his heirs, executors, administrators, successors and assigns acknowledges being advised that the City of Ottawa does not guarantee the quality or the quantity of the groundwater. The Purchaser/Lessee further acknowledges being advised that if, at some future date, the quality or the quantity of the groundwater becomes deficient, the City of Ottawa shall bear no responsibility, financial or otherwise, to provide solutions to the deficiency. All efforts and costs to remedy such deficiencies in the groundwater shall be the sole responsibility of the owner.

"The Purchaser/Lessee covenants with the Vendor/Lessor that the above clauses, verbatim, shall be included in all subsequent agreements of purchase and sale, and lease agreements for the lands described herein, which covenant shall run with the said lands."

8. Any portion of the lands which is intended to be used for snow storage shall be shown on the approved Site Plan or as otherwise approved by the General Manager, Planning, Infrastructure and Economic Development Department. The grading and drainage patterns and/or servicing of the site shall not be compromised by the storage of snow. Snow storage areas shall be setback from property lines, foundations, fencing or landscaping a minimum of 1.5 metres. Snow storage areas shall not occupy driveways, aisles, required parking spaces or any portion of a road allowance.
9. All exterior lighting proposed for the subject lands shall be installed only in the locations and in accordance with specifications shown on the approved plans referenced herein unless otherwise approved in writing by the General Manager, Planning, Infrastructure and Economic Development Department. Sharp cut-off

fixtures or in exceptional circumstances only, an alternative fixture design approved by the General Manager, Planning, Infrastructure and Economic Development Department, shall be used to minimize possible lighting glare onto adjacent properties. It is noted that exterior lighting includes exterior building lighting.

10. The Owner shall submit a certificate of insurance in a form satisfactory to the City. The certificate of insurance must be issued in favor of the City of Ottawa in an amount not less than five million dollars per occurrence, must contain an endorsement naming the City as an additional insured and an unconditional thirty days notice of any material change or cancellation policy.

### **Special Conditions**

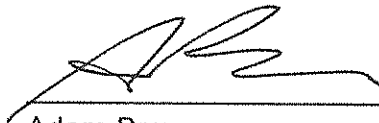
11. The Owner acknowledges and agrees that no permanent features shall be permitted above and below grade within the City's widened right-of-way, including commercial signage.
12. The Owner is responsible for all costs associated with the public roadway modifications required to accommodate this development.
13. The Owner acknowledges and agrees that all private accesses to Roads shall comply with the City's Private Approach By-Law being By-Law No. 2003-447 as amended, or as approved through the Site Plan control process.
14. The Owner acknowledges and agrees that snow will be removed from the site, as per note on approved Site Plan.
15. The Owner acknowledges and agrees that it shall retain the services of a geotechnical engineer, licensed in the Province of Ontario, to ensure that the recommendations of the Geotechnical Investigation Report (the "Report"), referenced in Schedule "E" herein, are fully implemented. The Owner further acknowledges and agrees that it shall provide the General Manager, Planning, Infrastructure and Economic Development Department with confirmation issued by the geotechnical engineer that the Owner has complied with all recommendations and provisions of the Report, prior to construction of the foundation and at the completion of the Works, which confirmation shall be to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department.
16. The Owner acknowledges and agrees to construct the proposed building in accordance with the approved Elevations Plans, referenced in Schedule "E" herein. The Owner further acknowledges and agrees that any subsequent proposed changes to the approved Elevations Plans shall be filed with the General Manager, Planning, Infrastructure and Economic Development Department and

agreed to by both the Owner and the City prior to the implementation of such changes. No amendment to this Agreement shall be required.

17. The Owner acknowledges and agrees that, prior to installation of any signage on the lands, it shall obtain approval from the Chief Building Official, Building Code Services, and the General Manager, Planning, Infrastructure and Economic Development Department, which signage shall be in accordance with the City's Permanent Signs on Private Property By-law No. 2005-439, as amended.
18. The Owner shall have competent Professional Engineering inspection personnel on-site during the period of construction, to supervise the Works, and the General Manager, Planning, Infrastructure and Economic Development Department, shall have the right at all times to inspect the installation of the Works. The Owner acknowledges and agrees that should it be found in the sole opinion of the General Manager, Planning, Infrastructure and Economic Development Department, that such personnel are not on-site or are incompetent in the performance of their duties, or that the said Works are not being carried out in accordance with the approved plans or specifications and in accordance with good engineering practice, then the General Manager, Planning, Infrastructure and Economic Development Department, may order all Work in the project to be stopped, altered, retested or changed to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department.
19. The Owner acknowledges and agrees to contact Enbridge Gas Distribution's Customers Connections department by emailing [SalesArea60@enbridge.com](mailto:SalesArea60@enbridge.com) prior to any site construction activities to determine if existing piping facilities need to be relocated or abandoned.

22 MAY 2018

Date



Adam Brown  
Manager, Development Review  
Development Review, Rural  
Planning, Infrastructure and Economic Development  
Department

Enclosure: Site Plan Control Application approval – Supporting Information



## SITE PLAN CONTROL APPROVAL APPLICATION SUPPORTING INFORMATION

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File Number: D07-12-17-0123

### SITE LOCATION

2688 Carp Road, and as shown on Document 1.

### SYNOPSIS OF APPLICATION

The subject property has a lot area of approximately 3.2 hectares (7.9 acres), with approximately 45 metres of frontage on Carp Road. The subject property is the site of an existing trucking and street cleaning business, with an accessory office, maintenance area for the business' trucks, and storage area.

The subject property is located on the east side of Carp Road, and Huntley Creek runs along the south-east property line. The site is predominantly gravel, with some vegetation occurring in proximity to the creek. Adjacent properties are commercial and light industrial in nature and are also predominantly gravel with small landscaped areas.

The proposal submitted is for the expansion of the current operations which proposes the construction of a service repair garage, additional office space, and storage. The existing garage is proposed to be relocated on the site, and a new 600 square metre building proposed at the current garage location. The proposal also includes additional landscaping at the entrance of the subject property and new tree planting adjacent to 2702 and 2676 Carp Road. Riparian buffer planting is also proposed along Huntley Creek, with boulders delineating a 15 metre no-touch area adjacent to the creek. This 15 metre setback is proposed to re-naturalize through native tree and riparian shrub planting. An open storage area is proposed along the rear of the property and will remain outside the 15 metre setback from Huntley Creek.

### DECISION AND RATIONALE

This application is approved for the following reasons:

- The subject property is designated Carp Road Corridor Rural Employment Area on Schedule A of the City of Ottawa's Official Plan. The expansion of the existing use is in keeping with the intent of the designation which *offers a unique and diverse range of employment and industrial opportunities.*



- The subject property is identified as a Light Industrial Area in the Carp Road Community Design Plan which permits the proposed use on the lot.
- The subject property is zoned Rural General Industrial, Subzone 5 (RG5) which permits the proposed use on the lot.
- The proposed development complies with the City's applicable design and compatibility objectives of the City's Official Plan. The site layout and design is an efficient use of the land and will aid in the re-forestation of the Huntley Creek riparian buffer.
- The site layout represents good planning and landscaping meets the requirements of the Carp Road Community Design Plan.

### **CONSULTATION DETAILS**

Councillor Eli El-Chantiry has concurred with the proposed conditions of approval.

#### **Public Comments**

No public comments were received in relation to this site plan application.

#### **Technical Agency/Public Body Comments**

##### Summary of Comments –Technical

##### Mississippi Valley Conservation Authority

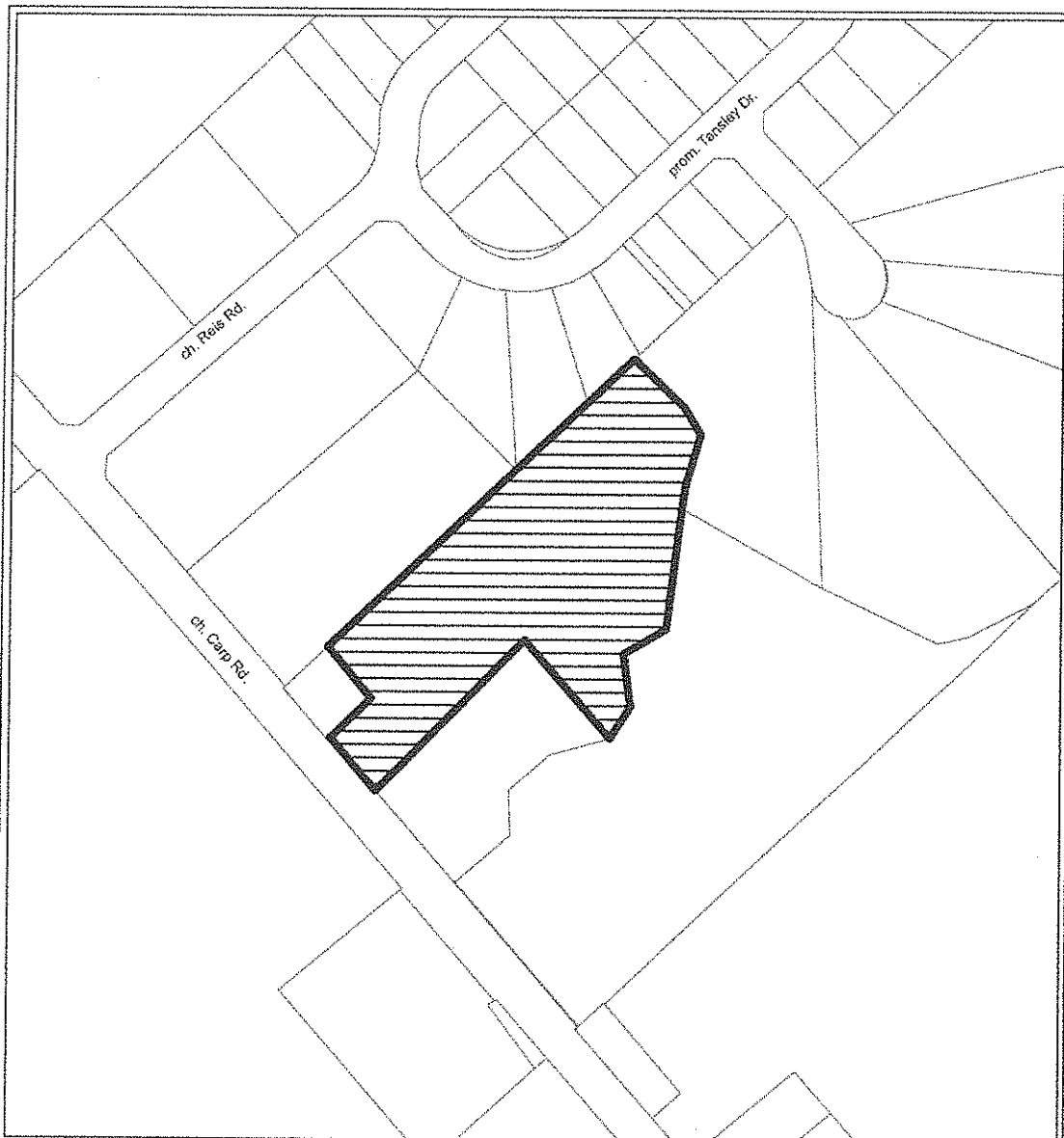
The Conservation Authority requested a 15 metre 'no-touch' setback from the top of bank of the watercourse, which should be supplemented with plantings and allowed to re-naturalize. The setback was requested to be delineated with boulders to discourage encroachment within the no-touch area. These recommendations would be implemented through the Landscape Plan.



### **APPLICATION PROCESS TIMELINE STATUS**

This Site Plan application was not processed by the On Time Decision Date established for the processing of an application that has Manager Delegated Authority due to multiple submissions required to address all comments.

**Contact:** Sarah McCormick - Tel: 613-580-2424, ext. 24487; Fax: 613-580-2576; or e-mail: Sarah.McCormick@ottawa.ca

# Document 1 – Location Map



		LOCATION MAP / PLAN DE LOCALISATION SITE PLAN / PLAN D'EMPLACEMENT	
D07-12-17-0123	17-1387-B		
I:\CO\2017\Site\Carp_2688			
<small>                     Parcel data is owned by Teramet Enterprise Inc. and its suppliers.                      All rights reserved. May not be produced without permission.                      THIS IS NOT A PLAN OF SURVEY                 </small>			
<small>                     Ces données de parcelles appartiennent à Teramet Enterprise Inc.                      et à ses fournisseurs. Tous droits réservés. Ne peut être reproduit                      sans autorisation. CECI N'EST PAS UN PLAN D'APPONTAGE                 </small>			
REVISION / RÉVISION - 2017 / 9 / 04			
		 2688, chemin Carp Road	