

MICROTEL HOTEL KANATA
340 HUNTMAR DRIVE
OTTAWA, ONTARIO

OWNER / APPLICANT: ACTIVAR INC.
2-107 FOURTH AVE.
OTTAWA, ON. K1S 2L1

ARCHITECTURE: DREDGE LEAHY ARCHITECTS INC.
25 HOLLAND AVE. SUITE 100
OTTAWA, ON. K1Y 4R9

CIVIL ENGINEERING: McINTOSH PERRY
115 WALGREEN RD., RR3
CARP, ON. K0A 110

PLANNING: McINTOSH PERRY

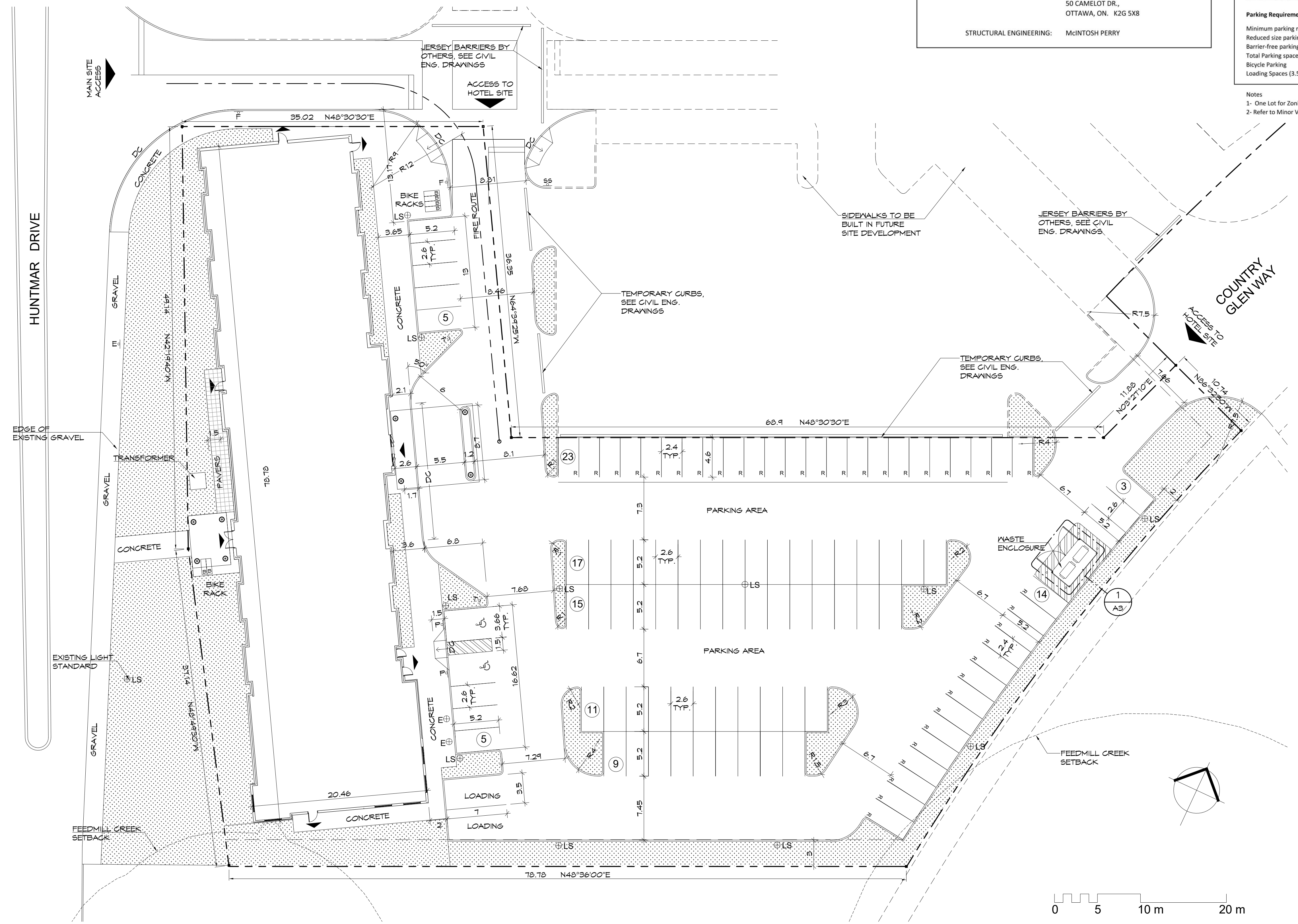
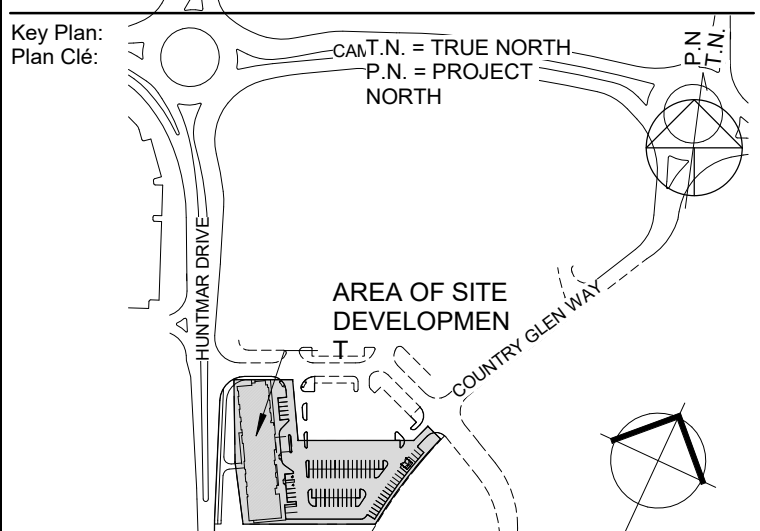
ELECTRICAL / MECH. ENGINEERING: LRL ENGINEERING
5430 CANOTEK RD.
OTTAWA, ON. K1J 9G2

LANDSCAPE DESIGN: GINO J. AIELLO LANDSCAPE ARCHITECT
50 CAMELOT DR.,
OTTAWA, ON. K2G 5X8

STRUCTURAL ENGINEERING: McINTOSH PERRY

| ZONING COMPLIANCE TABLE | | |
|--|------------|----------------------|
| Project: Microtel Kanata | | |
| Address: 340 Huntmar Drive, Ottawa, ON | | |
| PARTS 1, 2, & 3 OF BLOCK 1 REGISTERED PLAN 4M-1563 CITY OF OTTAWA SURVEYED BY STANTEC GEOMATICS LTD. | | |
| Zoning: MC H(4S) Property Identification Number: 045100966 Existing Lot Area: 6,350 m ² Site Development Area Frontage: 10.74 m Country Glen Way / 86.3 m Huntmar Dr. Building Gross Floor Area: 4,035 m ² | | |
| | REQUIRED | PROVIDED |
| Minimum Lot Area | no minimum | 6,350 m ² |
| Minimum Lot Width | no minimum | 86 m |
| Minimum Front Yard | no minimum | 2 m |
| Minimum Interior Side Yard | no minimum | 0.5 m |
| Minimum Rear Yard | no minimum | 58 m |
| Maximum Building Height | 45 m | 17 m |
| Minimum width of landscaping abutting a street | no minimum | >3 m |
| Minimum width of landscaping: parking to lot line not abutting a street (100 or more spaces) | 3 m | 3 m |
| Minimum % of landscape area | 15 % | 15 % |
| Parking Requirements | | |
| Minimum parking rates for Hotel (Area C): 1 per guest unit | 108 | 102 |
| Reduced size parking spaces (maximum 40% of total) | | 37 |
| Barrier-free parking spaces | 2 | 2 |
| Total Parking spaces (including barrier free parking spaces) | 108 | 102 |
| Bicycle Parking | 5 | 6 |
| Loading Spaces (3.5 x 7 m.) | 2 | 2 |

Notes
1- One Lot for Zoning Provisions (Section 93) shall apply to this site and the adjacent Arcadia Retail Complex
2- Refer to Minor Variance Application D08-02-17/A-00352 for reduced parking.



| SITE PLAN LEGEND | |
|------------------|--|
| SYMBOL | DESCRIPTION |
| --- | PROPERTY LINE |
| --- | SETBACK LINE |
| --- | FUTURE DEVELOPMENT |
| --- | NEW CURB |
| DC | NEW DEPRESSED CURB |
| ▲ | ENTRANCE / EXIT |
| ⊕ LS | LIGHT STANDARD (REFER TO LIGHTING PLAN) |
| ⊕ E | ELECTRIC CAR CHARGING STATION |
| E | EXISTING SIGN |
| P | ACCESSIBLE PARKING SIGN |
| F | FIRE ROUTE SIGN |
| T | TRAFFIC SIGN (ONE-WAY ONLY) |
| SS | STOP SIGN |
| ♿ | ACCESSIBLE PARKING SPACE |
| □ | STANDARD PARKING SPACE (2.6 x 5.2 M.) |
| □ | REDUCED SIZE PARKING SPACE C/M SIGNAGE (2.4 x 5.2 M. OR 2.4 x 4.6M.) |
| □ | BICYCLE PARKING SPACE (0.6 x 1.8M) |
| ▨ | LANDSCAPED AREA |
| ▨ | PAINTED LINES |

1 SITE PLAN
A1 SCALE: 1:250

| | | |
|---|--|------------|
| 3 | RE-ISSUED FOR SITE PLAN APPLICATION COMMENTS | 05/09/2018 |
| 2 | ISSUED FOR COORDINATION | 04/12/2018 |
| 1 | ISSUED FOR SITE PLAN APPLICATION | 10/27/2017 |

Prime Consultant:
Expert-Consult:

DREDGE LEAHY ARCHITECTS INC.
100-25 Holland Ave.
Ottawa, ON K1Y 4R9
613.724.9865
dl-arch.ca

APPROVED REFUSED

THIS _____ DAY OF _____, 20____

DERRICK MOODIE, MANAGER
DEVELOPMENT REVIEW WEST
PLANNING, INFRASTRUCTURE AND ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

Project:
Project: **MICROTEL KANATA - 340 HUNTMAR DRIVE, KANATA, ON**

340 HUNTMAR DRIVE, KANATA, ON

Drawing:
Dessin: **SITE PLAN**

| | |
|--|--|
| Drawn by: Dessiné par: S.G. | Scale: Echelle: As indicated |
| Designed by: Conçu par: S.G. / M.D. | Date: 10/25/17 |
| Approved by: Approuvé par: M.D. | Client Project No. No. du Projet du Client: |

| | |
|----------------------|---|
| Seal: Scellu: | Project No.: No. du Projet: 1394 |
| | Sheet No.: No. de la feuille: A1 |

D07-12-17-0158