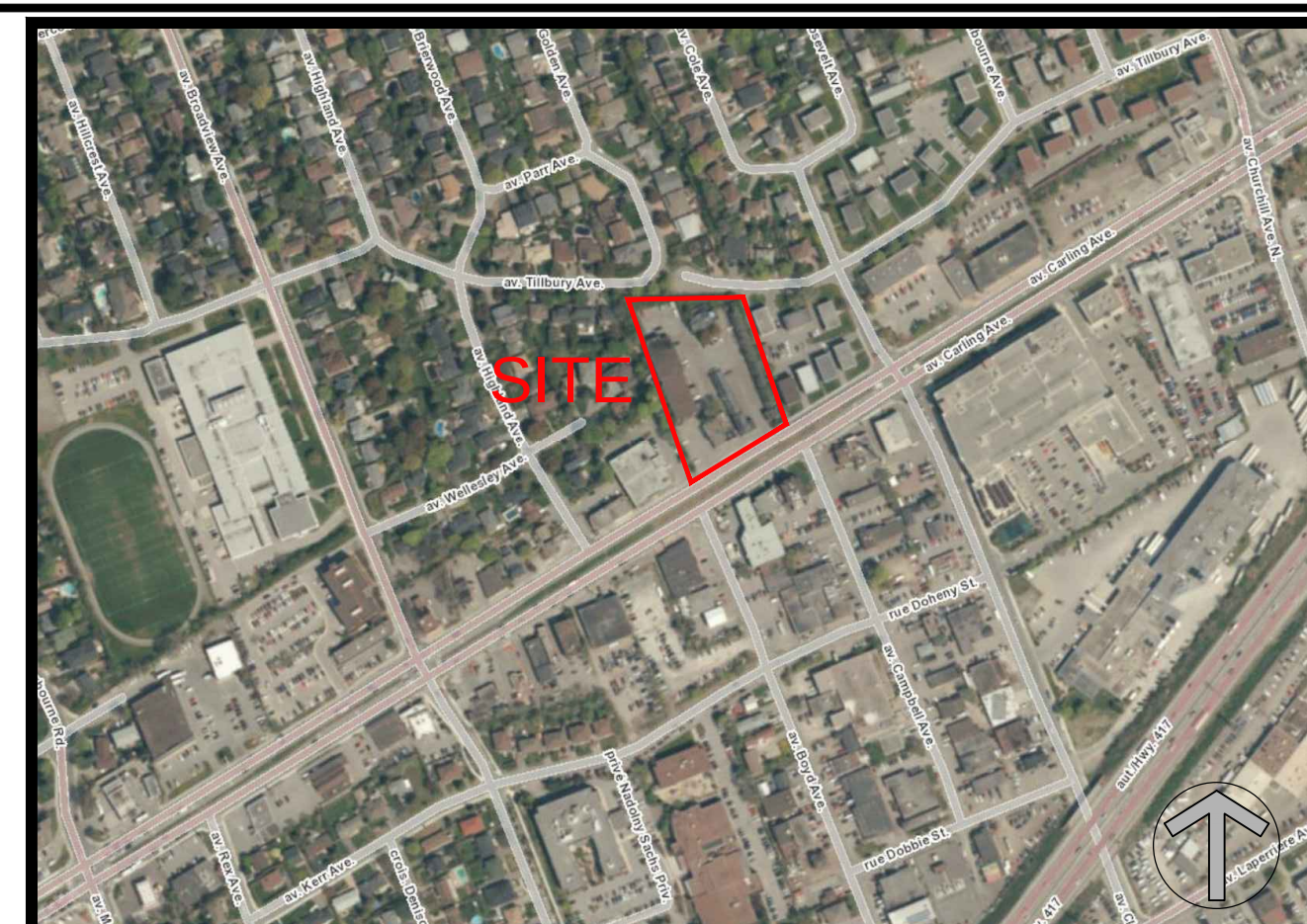
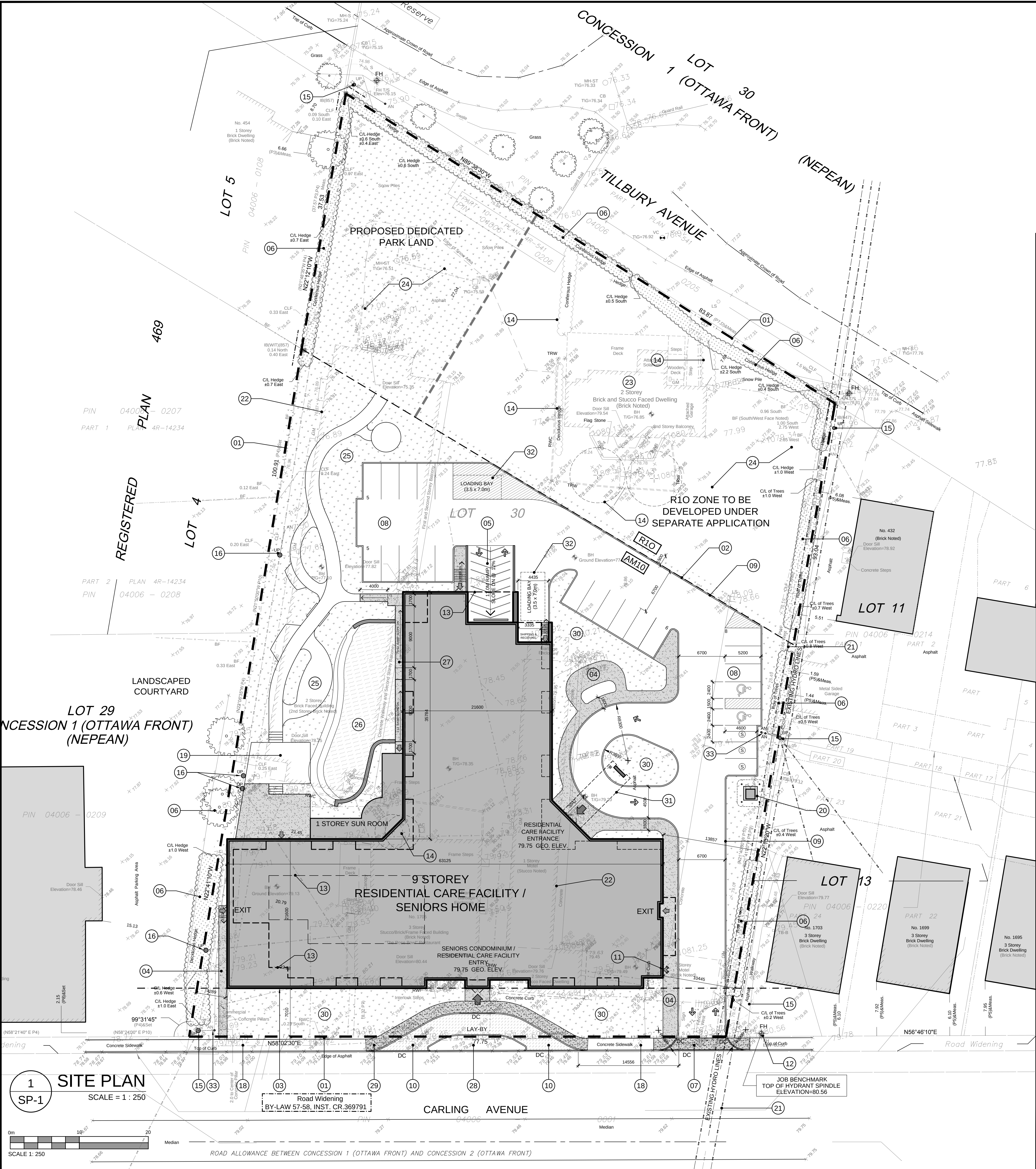




KEY MAP

- DRAWING NOTES**
- 1 PROPERTY LINE
 - 2 ZONING LIMIT
 - 3 ROAD WIDENING
 - 4 HARD SURFACE SIDEWALK / PATH, SEE LANDSCAPE
 - 5 PARKING GARAGE ENTRY DRIVEWAY / RAMP WITH TRENCH DRAIN
 - 6 EXISTING TREE / PLANT MATERIAL TO REMAIN
 - 7 DEPRESSED CURB / SIDEWALK TO CITY STANDARDS
 - 8 STAFF / VISITOR ASPHALT PARKING LOT
 - 9 150mm BARRIER CURB
 - 10 EXISTING CURB AND SIDEWALK TO BE REMOVED AND REPLACED WITH DEPRESSED CURB AND LAY-BY TO CITY STANDARD
 - 11 SIAMENSE CONNECTION
 - 12 EXISTING FIRE HYDRANT
 - 13 OUTLINE OF BUILDING ABOVE
 - 14 EXISTING TREE / PLANT MATERIAL TO BE REMOVED
 - 15 EXISTING UTILITY POLE
 - 16 EXISTING UTILITY POLE TO BE REMOVED
 - 17 EXISTING HYDRO / UTILITY LINES TO BE REMOVED
 - 18 EXISTING CONCRETE SIDEWALK WITH STREET CURB
 - 19 PRIVATE PATIOS AT GRADE
 - 20 PROPOSED LOCATION OF HYDRO EQUIPMENT
 - 21 APPROXIMATE LOCATION OF OVERHEAD UTILITY LINES
 - 22 REMOVE EXISTING COMMERCIAL BUILDING
 - 23 REMOVE EXISTING RESIDENTIAL DWELLING
 - 24 REMOVE EXISTING ASPHALT PARKING LOT
 - 25 LANDSCAPED COURTYARD, SEE LANDSCAPE PLAN
 - 26 POND, SEE LANDSCAPE PLAN
 - 27 BARRIER FREE CONCRETE RAMP AS PER O.B.C. 3.8.3.4
 - 28 REPLACE SIDEWALK WITH SOFT LANDSCAPING
 - 29 1.8m WIDE CONCRETE SIDEWALK TO CITY STANDARDS
 - 30 SOFT LANDSCAPING, SEE LANDSCAPE PLAN
 - 31 ENTRY CANOPY
 - 32 3.5 x 7.0m LOADING BAY
 - 33 EXISTING UTILITY POLE GUIDE WIRE

- SITE PLAN SYMBOLS**
- HARD SURFACE WALK / PATH
 - WATER FEATURE
 - ASPHALT LAY-BY
 - NEW CITY SIDEWALK
 - SOFT LANDSCAPING
 - TWO WAY VEHICLE CIRCULATION
 - MAIN ENTRANCE
 - SERVICE / EXIT DOOR
 - PROPERTY LINE

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LEGAL DESCRIPTION
SKETCH ILLUSTRATING CONCRETE CURBS AND CENTRELINE OF CARLING AVENUE IN FRONT OF 1705-1715 CARLING AVENUE BEING

PART OF LOT 30
CONCESSION 1 (OTTAWA FRONT)
Geographic Township of Nepean CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

PROJECT DEVELOPER
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Email: m.Chown@novatech-eng.com

PROJECT INFORMATION

ZONING Zoning By-Law 2008-250 AM10 / R10

SITE AREA 8,928.75 sq. m. (96,108) sq. ft.

BUILDING HEIGHT AM10 - 30.0 M / R10 - 8.0M

PROJECT STATISTICS

BUILDING HEIGHT 29.9 M

AVERAGE MEAN GRADE (GEO. ELEV.) 68.00

GROSS BUILDING - AREAS
(CITY OF OTTAWA'S DEFINITION)

P1 PARKING LEVEL	N/A
GROUND FLOOR	N/A
2nd to 6th FLOOR	5 x 1,459.0 sq. m. (79,060) sq. ft.
7th FLOOR	1,416.4 sq. m. (15,240) sq. ft.
8th & 9th FLOOR	2 x 1,246.8 sq. m. (26,840) sq. ft.

MECHANICAL FLOOR

N/A

UNIT STATISTICS

RESIDENTIAL CARE FACILITY

JUNIOR 1 BED UNIT	10
1 BED UNIT	85
1 BED UNIT + DEN	15
2 BED UNIT	20
TOTAL	130

SENIOR APARTMENTS

JUNIOR 1 BED UNIT	2
1 BED UNIT	40
1 BED UNIT + DEN	16
2 BED UNIT	10
TOTAL	68

MEDICAL / HEALTH / PERSONAL SERVICE AREA

1,045.5 sq. m. (11,253) sq. ft.

AMENITY AREA

EXTERIOR COMMUNAL AT GRADE	1,022.0 sq. m. (11,000) sq. ft.
1st FLOOR COMMUNAL AMENITY ROOM	518.1 sq. m. (5,555) sq. ft.
19th FLOOR COMMUNAL AMENITY ROOM	296.4 sq. m. (3,190) sq. ft.
7th & 8th FLOOR COMMUNAL ROOF TOP PATIO	171.9 sq. m. (1,850) sq. ft.
PRIVATE BALCONIES	6,620 sq. ft.
TOTAL =	2,621.4 sq. m. (28,217) sq. ft.

REQUIRED (196 UNITS X 6 m²) = 1,176 m² / 12,658 ft²

CAR PARKING

REQUIRED by ZONING BY-LAW

RESIDENCE CARE FACILITY	- 0.25 PER UNIT (130 UNITS)	33
RESIDENTIAL UNITS	- 0.5 PER UNIT (66 UNITS) (AFTER 12 UNITS)	27
VISITOR	- 0.1 PER RESIDENTIAL UNIT (AFTER 12 UNITS)	5
MEDICAL, HEALTH & PERSONAL SERVICES	- 0.5 PER 100m ² OF G.F.A.	5
TOTAL		70

PROVIDED

AT GRADE PARKING	25
UNDERGROUND P1 LEVEL PARKING	45
TOTAL	70

STANDARD PARKING SPACE (2.6 X 5.2) 95.0% 67
SMALL CAR PARKING SPACE (2.4 X 4.6) 5.0% 3

BICYCLE PARKING

REQUIRED

CARE FACILITY UNIT	- NOT REQUIRED	0
RESIDENCE UNIT	- 0.5 PER UNIT (66 UNITS)	33
MEDICAL, HEALTH & PERSONAL SERVICES	- 1.0 PER 250m ² OF G.F.A.	3
TOTAL		36

PROVIDED

UNDERGROUND PARKING LEVEL	51
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LOT COVERAGE

PAVED SURFACE =	1,559.2 sq. m.	17.46%
BUILDING FOOTPRINT =	2,145.7 sq. m.	24.03%
LANDSCAPE OPEN SPACE =	2,297.3 sq. m.	26.85%
PROPOSED PARK =	895.2 sq. m.	10.03%
RIO ZONE =	1,831.4 sq. m.	21.63%
TOTAL =	8,928.75 sq. m.	100.0%

NOTATION SYMBOLS:

- INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
- INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- DETAIL NUMBER
- TITLE
- SCALE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

LRT ALIGNMENT DISCLAIMER

APPROXIMATE LRT TUNNEL AND SHORING ALLOWANCE LOCATION TAKEN FROM CITY OF OTTAWA DRAWINGS: CONFEDERATION LINE WEST LRT EXTENSION - TUNNEY'S PASTURE STATION TO BASELINE STATION; PLAN AND PROFILE - NEW ORCHARD STATION #6+170 - #6+70 SHEET 16, DATED JUNE 2, 2016 & GENERAL ARRANGEMENT - RICHMOND ROAD TUNNEL SHEET 102, DATED FEBRUARY 10, 2016

REVISIONS:

No.	DESCRIPTION	DATE
1	ISSUED FOR SITE PLAN CONTROL	Apr. 20, 18
2	ISSUED FOR DESIGN CONCEPT	Mar. 02, 18

CLIENT:

The Founders Residences Westboro

ARCHITECT:

rla / architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rla@architecture.ca

PROJECT TITLE:

The Founders Residences Westboro

1705 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:

SITE PLAN

DRAWN: RV
CHECKED: J.S.
SCALE: 1:250
SHEET No.
PROJECT No. 1740
SP-1