

GENERAL NOTES:

- 1. All work on the road allowance is to be to current City of Ottawa Specifications and is subject to City approval. No concrete shall be poured or asphalt laid until formwork and subgrade have been inspected and approved by City officials. If property is covered by a subdivision agreement, all terms of said agreement shall be complied with.
- Forty—eight hours to commencing work within the public road allowance the contractor must contact the following:

 Works & Emergency Services Department
- Works & Emergency Services Department for a Road Occupancy Permit.
 Enbridge (formerly Consumers Gas): Director, Distribution Planning
 Ottawa Hydro Electric Commission:
- Flood-Investment Planning
- Bell Canada, Sector Manager,
 Rogers Communications,
- All entrances and exits through boulevards are to be constructed to City specifications. Depressed curbs are to be constructed and extended across the entrance of the driveways and integrated with the proposed curb
- Curb cuts and/or fills are to be done by the City on municipal roads at the Owner's (Subdivider's if applicable) expense.
- Culverts are to be installed by the Owner with the completed installation inspected and approved by City staff.
- All utilities and trees which obstruct driveway and sidewalk construction are to be removed and relocated at the Owner's (at the Subdivider's if applicable) expense upon approval by the City. Only trees deemed significant by City staff shall be protected from all construction activity as directed by City staff.
- 7. Existing sidewalk is to be broken out and re—constructed, or new sidewalk constructed, 180mm (7") thick through driveways by the Owner (by the Subdivider if applicable) to City specifications.
- 8. All boulevards are to be sodded by the Owner (by Subdivider if applicable) except where the width between the sidewalk and curb is 1.20m (4.0 feet) or less. In such cases, the boulevard should be surfaced with concrete or asphalt by the Owner to City specifications or alternative approved by the
- 9. All storm drainage is to be self—contained on the Owner's land.
- 10. All differences in grade between this site and adjoining lands are to be taken up on Owner's land with a maximum slope of one (1) vertical and three (3) horizontal, sodded and paved, and/or retaining walls. All retaining walls are to be constructed of precast or cast in place of concrete or approved alternate other than wood.
- 11. All site plan drawings shall be related to the Ontario Co—ordinate System and prepared in a digitized format to the satisfaction of the Commissioner of Works & Emergency services.
- 12. Ground level ventilation grates have a porosity of less than 2cm x 2cm.
- 13. All light fixtures to be shielded and oriented to the property away from the neighbouring properties.
- 14. No up-lighting from exterior light fixtures is permitted.
- 15. Bulk lifted solid waste, recycling and organic will be collected in accordance with the "City of Ottawa requirements for Garbage collection and Recycling collection from new developments and re-developments".

SURVEY INFORMATION	Notes	Notes & Legend		
	• SP	Denotes	Water Stand Post	
PART OF LOT 17 CONCESSION 5		"	Overhead Wires	
(RIDEAU FRONT)	CSP	"	Corrugated Steel Pipe	
GEOGRAPHIC TOWNSHIP OF GLOUCESTER	□ GM		Gas Meter	
	CLF	"	Chain Link Fence	
CITY OF OTTAWA	BF		Board Fence	
	P&W	"	Post and Wire	
SURVEY:	WRW	"	Wooden Retaining Wall	
SURVET.	O M-W	"	Monitoring Well	
	O UP	"	Utility Pole	
ANNIS, O'SULLIVAN VOLLEBEKK LTD	O AN		Anchor	
14 CONCOURSE GATE, SUITE 500,	Ø	"	Diameter	
NEPEAN, ONTARIO K2E 7S6	H55.00		Location of Elevations	
TEL: 613-727-0850	+65.00° +65.00		Location of Elevations (Top of Retaining Wa	
EMAIL: nepean@aovltd.com	+65.00		Location of Elevations (Top of Curb)	
EIVI/ (IE. Nopean & advita.com	C/L		Centreline	
CONTACT:	Inv.	"	Invert	
V. ANDREW SHELP	\odot		Deciduous Tree	

4699 BANK STREET, OTTAWA

COMPLETED ON -

FILE: 12026-11

STATISTICS

LOT WDTH 15 m 45.6 LOT AREA 400 m2 5166 LOT COVERAGE 100 % 14 % 3. SETBACKS FOR THE CHURCH MIN. PERMITTED PROVID FRONT 3.0 m 10.8 m	1. SITE AREA	5,166 m2	1.25 ac	res
LOT WDTH 15 m 45.6 LOT AREA 400 m2 5166 LOT COVERAGE 100 % 14 % 3. SETBACKS FOR THE CHURCH MIN. PERMITTED PROVID FRONT 3.0 m 10.8 m	2. ZONING			
MIN. PERMITTED PROVID FRONT 3.0 m 10.8 m		LOT WIDTH LOT AREA	15 m 400 m2	PROVIDE 45.6 m 5166 m2 14 %
SIDE 7.5 m 26.0 m	3. SETBACKS FOR	MIN. FRONT SIDE SIDE	3.0 m 7.5 m 7.5 m	PROVIDED 10.8 m 7.7 m 26.0 m 40.0 m

4. BUILDING HEIGHT (FROM AVERAGE GRADE TO MAIN ROOF

PROPOSED CHURCH 16.00 m

COMMUNITY CENTRE 9.66 m

ORNAMENTALS AND CORNICES ARE EXEMPT

5. TOTAL FLOOR AREA / GROSS FLOOR AREA

	TFA (m2)	GFA (m2)
CHURCH	820	801
COMMUNITY CENTRE	325	325

EXEMPTION

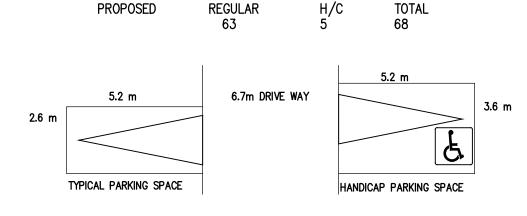
1. BELOW OR ABOVE GRADE UTILITY ROOMS

2. PARKING STRUCTURE INCLUDING RAMP AND DRIVEWAY

3. BELOW GRADE STORAGE ROOMS

* UTILITY ROOMS ARE USED PRIMARILY FOR MECHANICAL, ELECTRICAL, BUILDING MAINTENANCE EQUIPMENT STORAGE OR GARBAGE HANDLING AND STORAGE

6. PARKING



AREA (m2)

325

3015.5

7. LANDSCAPE AREA

SPECIFIC ITEM
PARKING
CHURCH
COMMUNITY CENTER
TOTAL

LANDSCAPE AREA % 3015.5 + 5166 = 858.4



Accessibility,

Architects,

15 Wertheim Court, Ste 511, Richmond Hill, ON, Canada, L4B 3H7 T. 416 623 7046 F. 416 623 7045 email: info@masterbuildinginc.com

This drawing is the property of the Master Building Architect. The Architect is not responsible for the accuracy of the information shown on the other consultants drawings, Refer to the appropriate consultant drawing for their informations prior to proceeding.

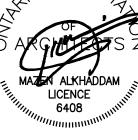
informations prior to proceeding.
This drawing shall not to be scaled.
Contractor to verify and check all dimensions and conditions on site prior to starting any work, and report to the Architect any discrepancy within the construction documents.
Construction must conform to all applicable laws, codes and

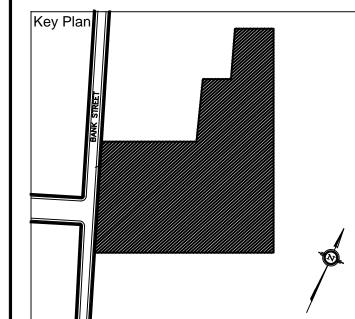
this application.

This drawing shall not to be used for construction unless signed by the Architect.

requirements of authorities having jurisdiction pertaining to

M. Alkhaddam M. Architect. BCQ, LEED OAA, OBOA, RAIC, CSC, CaGBC,





 No
 Date
 Revision

 1
 2014, 10, 23
 Issued for SPA

 2
 2015, 02, 25
 Issued for SPA

 3
 2015, 10, 23
 Issued for SPA

SAINT NI CHOLAS ROMANI AN ORTHODOX CHURCH

Proposed Institutional Development

SPA Application #
Permit Application #

Address 4699 bank street Ottawa, Ontario

Project No.

Scale: 1:250

Drawing Site Plan & Statistics

Sheet Number

A101