

**Design Brief and Planning Rationale
for Site Plan Control Application**

**Harmony Subdivision, Stage 1, Block 104
4025 Strandherd Drive, Minto Communities Inc.**

Prepared By:
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March 22, 2018

Novatech File: 118030
Ref: R-2018-042

March 22, 2018

City of Ottawa
Planning, Infrastructure and Economic Development Department
110 Laurier Ave. West, 4th Floor
Ottawa, Ontario K1P 1J1

Attention: Tracey Scaramozzino

Dear Ms. Scaramozzino:

Reference: Harmony Subdivision, Stage 1, Block 104
Site Plan Application, Planning Rationale and Design Brief
Our File No.: 118030

Novatech has been retained by Minto Communities Inc. to prepare a to prepare a Planning Rationale & Design Brief for the above-noted application. The site is the Stage 1, Block 104 at 4025 Strandherd Drive, known herein as the "Subject Site".

The Subject Site is currently vacant and has no municipal address. It known as Block 104 on the Draft 4M- plan for Harmony Subdivision. The Subject Site is a part of Part 6 on Plan 4R-29231 and it contains an area of 3,075m². The Harmony Subdivision has approval and has not yet been registered.

The Subject Site is a through lot that will gain access from the proposed Chakra Street. The owner intends to construct a planned unit development including 24 units in two stacked townhouse (condo) buildings, amenity space, outdoor garbage receptacle and surface parking.

Should you have any questions, comments or concerns please do not hesitate to contact Gregory Winters, Senior Project Manager, or me.

Sincerely,

NOVATECH



Teresa Thomas, MCIP, RPP
Project Planner

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1.0 INTRODUCTION

Novatech has been retained by the owner of Harmony Subdivision, Stage 1, Block 104 to prepare a Site Plan Control application for their property. This property is herein called the “Subject Site”.

The Subject Site is currently vacant and has no municipal address. It known as Block 104 on the Draft 4M- plan Harmony Subdivision. The Subject Site is a part of Part 6 on Plan 4R-29231 and it contains an area of 3,075m². The Harmony Subdivision has approval and has not yet been registered.

The Subject Site is a through lot that will gain access from the proposed Chakra Street. The owner intends to construct a planned unit development including 24 units in two stacked townhouse (condo) buildings, amenity space, outdoor garbage storage building and surface parking.

This Planning Rationale will demonstrate that the proposed development is consistent with the Provincial Policy Statement (2014), conforms to the City of Ottawa’s Official Plan, complies with relevant Zoning By-law provisions and respects relevant Urban Design Guidelines.

The submitted Site Servicing Brief dated March 1, 2018 and prepared by J L Richards addresses questions about servicing the proposed development and the site. The proposed designs meet the design requirements for a site in the R4Z zone and ensures the stormwater quality criteria are met. The following design plans were included in that report:

- Site Servicing Plan (Drawing S1);
- Grading Plan (Drawing G1);
- Storm Drainage and Ponding Plan (SWM); and
- Erosion & Sediment Control Plan (ESC).

1.1 Site Location and Context

The subject properties are located south of Strandherd Drive, west of the Kennedy-Burnett Stormwater Management Pond, and north of the Fraser-Clarke Drain, in the new community south of Barrhaven. The Subject Site is east of Chapman Mills Drive and south of Chakra Street, both of which are not yet constructed. The Subject Site was formerly used for agriculture however it is now vacant unused land. The Subject Site has an area of 3,075m² and will gain access from Chakra Street (see Figure 1).

The Subject Site will be surrounded by the following land uses, as shown in Figure 1 once final build-out of Harmony Subdivision is achieved:

North: Chakra Street and a neighbourhood park;

East: Future development (Mion Lands);

South: Chapman Mills Drive; and,

West: Chapman Mills Drive and school lands for le Conseil des Ecoles Publiques de l'Est de l'Ontario.

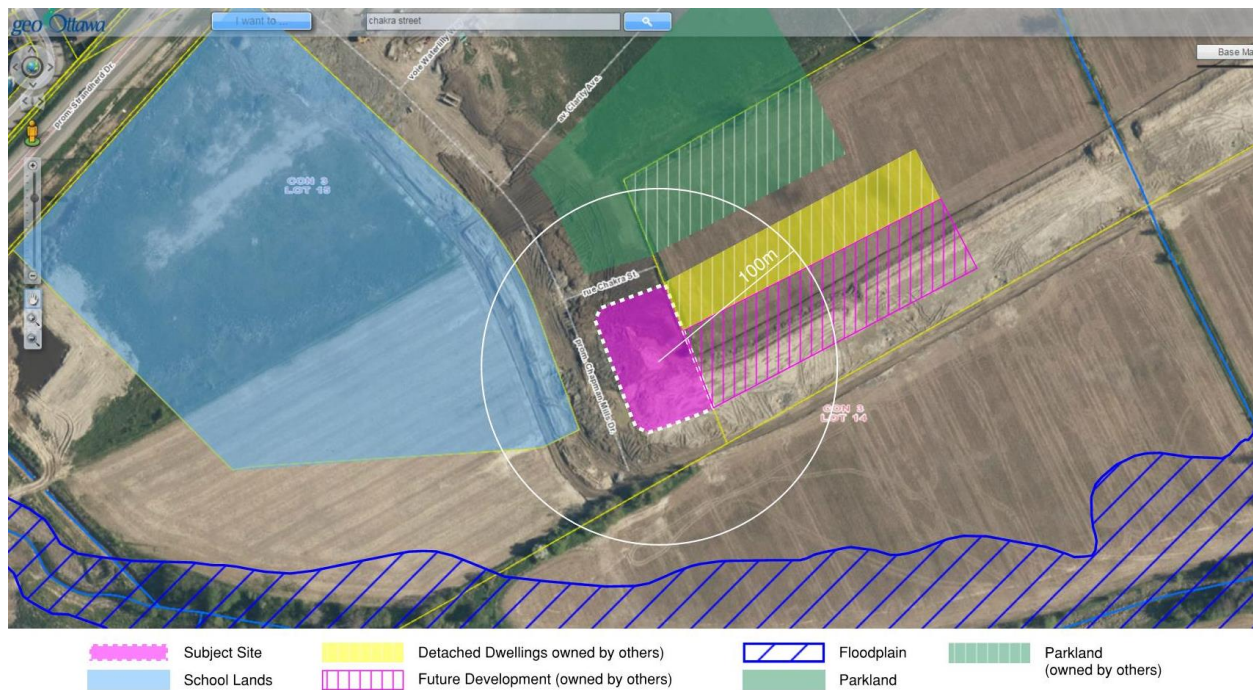
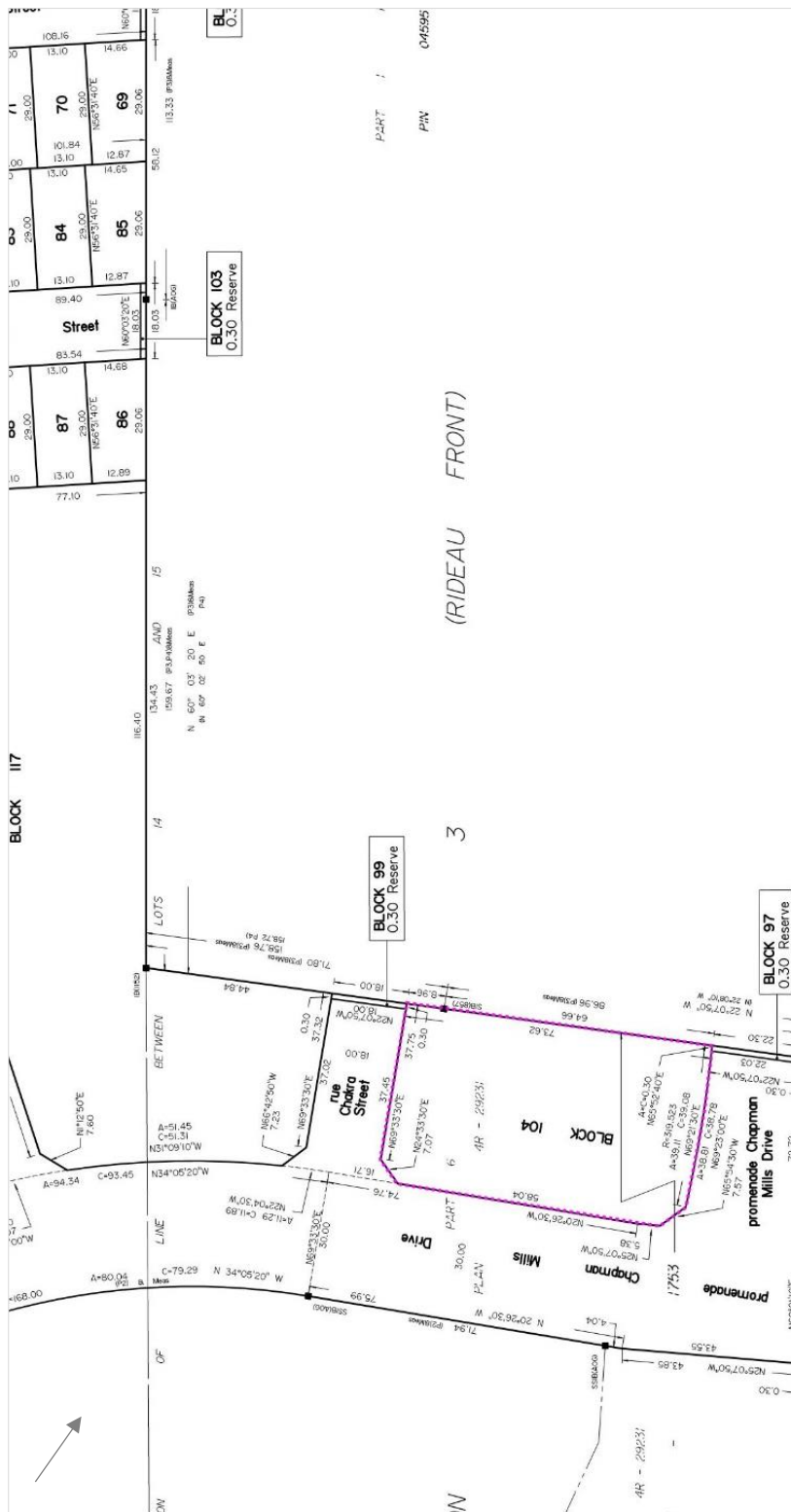


Figure 1: Subject Site and Surrounding Land Uses

The proposed lot boundary is shown in the draft 4M- plan for Harmony Subdivision Stage 1 as shown in Figure 2.



2.0 PROPOSED DEVELOPMENT

The owner of the Harmony Subdivision, Stage 1, Block 104 is seeking Site Plan Control approval to develop a planned unit development including 24 units in two stacked townhouse (condo) buildings, amenity space, an outdoor garbage receptacle and surface parking. The proposed development is like that shown in the perspectives in Figure 3 and Figure 4, and is as shown on the Site Plan in Figure 5.



Figure 3: Rendered Perspective of Minto's *Infusion Terrace Homes*

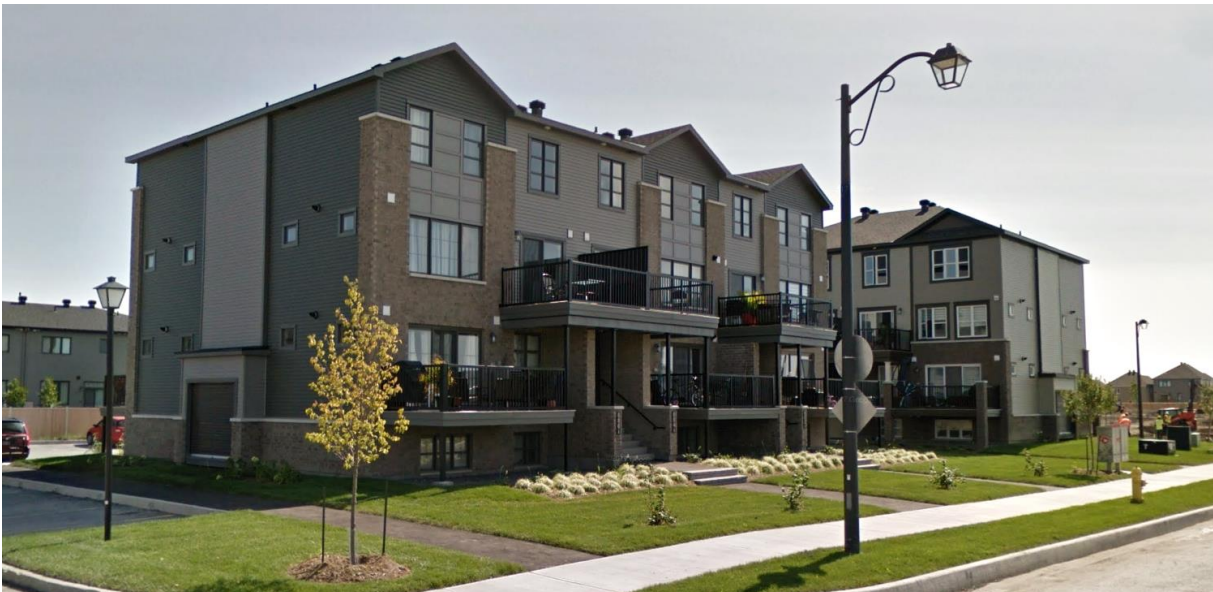


Figure 4: Existing Example of Proposed Buildings



Figure 5: Excerpt from Proposed Site Plan for Block 104

The submitted Site Servicing Brief dated March 1, 2018 and prepared by J L Richards addresses questions about servicing the proposed development and the site. The proposed designs meet the design requirements for a site in the R4Z zone and ensures the water quality criteria for stormwater are met. The following design plans were included in that report:

- Site Servicing Plan (Drawing S1);
- Grading Plan (Drawing G1);

- Storm Drainage and Ponding Plan (SWM); and
- Erosion & Sediment Control Plan (ESC).

3.0 PLANNING POLICY FRAMEWORK

3.1 Provincial Policy Statement

The 2014 Provincial Policy Statement (PPS) provides policy direction on land use planning and development matters of provincial interest, as set out in section 2 of the Planning Act. All decisions affecting planning matters are required to “be consistent with” policies of the PPS.

Section 1.1 of the PPS speaks to managing and directing land use to achieve efficient and resilient development and land use land patterns.

Policy 1.1.3.1 states, “*Settlement areas* shall be the focus of growth and development, and their vitality and regeneration shall be promoted.”

- The proposed development is located on lands designated by the City of Ottawa as settlement area.

Policy 1.1.3.4 states, “Appropriate development standards should be promoted which facilitate *intensification*, *redevelopment* and compact form, while avoiding or mitigating risks to public health and safety.”

- The proposed development consists of denser, stacked townhouse dwellings. These dwellings will be supported by a variety of amenities within a 5-10-minute walk, such as the neighbourhood park, a new school, open spaces and commercial services. A cycle track will be constructed along Chapman Mills Drive, and sidewalks will be constructed throughout the local road network.

Policy 1.1.3.5 states, “Planning authorities shall establish and implement minimum targets for *intensification* and *redevelopment* within built-up areas, based on local conditions...”

- Minimum targets for intensification are based on the Land Use Schedule for Area 8 of the South Nepean Secondary Plan. The Subject Site is within residential area 2 (western residential area) of Schedule A5 as described in this Plan. The proposed development contributes to the 360-unit target (1075 people).

Section 1.1.3.6 states, “New development taking place in *designated growth areas* should occur adjacent to the existing built-up area and shall have a compact form, mix of uses and densities that allow for the efficient use of land, *infrastructure* and *public service facilities*.”

- The proposed development is located within the City of Ottawa’s *General Urban Area* and is occurring adjacent to existing built-up lands.

3.2 City of Ottawa Official Plan (OPA#150) and Design Brief

The Subject Site is designated as *General Urban Area* on Schedule B of the City of Ottawa Official Plan. The Subject Site is bound by Chapman Mills Drive, a Major Collector, to the south and the west. This Major Collector is proposed in Schedule K of the Official Plan, however through the subdivision design and approval process, this Major Collector was realigned to its current position as shown on the draft Plan 4-M for the Harmony Subdivision. Official Plan Designations are shown on Figure 6.



Figure 6: Official Plan Designations and Schedules

Section 3.6.1 of the Official Plan states that the *General Urban Area* “permits the development of a full range and choice of housing types to meet the needs of all ages, incomes and life circumstances, in combination with conveniently located employment, retail, service, cultural, leisure, entertainment and institutional uses.” Applicable policies under Section 3.6.1 are listed below:

Policy 1 states, “General Urban Area areas are designated on Schedule B. The General Urban Area designation permits all many types and densities of housing, as well as employment, retail uses, service, industrial, cultural, leisure, greenspace, entertainment and institutional uses.”

- The proposed low-density stacked townhouse dwellings are permitted.

Policy 2 states, “The evaluation of development applications, studies, other plans and public works undertaken by the City in the General Urban Area will be in accordance with Section 2.5.1 and Section 4.11.”

- These sections are addressed further in this report.

Policy 3 states,

Except as provided by policy 4 below, or by policy 12 in Section 2.2.2, the maximum building height in the General Urban Area will continue to be low-rise, being four storeys or less, and within this range changes in height will be evaluated based on compatibility with the existing context and the planned function of the area. The design and compatibility policies in this Plan also apply. ... Existing zoning that permits building heights greater than those in this section will remain in effect.

- The proposed buildings are designed to be three storeys (with an elevated basement level), measuring 12m in height. The maximum height determined by the Zoning By-law is 14m, whereas the maximum height determined by the South Nepean Secondary Plan Area 8 is 12m.

3.2.1 Design Brief

The following section provides a response to the requirements of a design brief as determined by the *Design Brief Terms of Reference*. The Official Plan Section 2.5.1, *Designing Ottawa*, outlines the City’s design objectives and speaks to achieving development that is ‘compatible with the existing context and the planned function of the area’. This section provides the The seven stated design objectives and summary of how the proposal is consistent with these objectives are:

1. *To enhance the sense of community by creating and maintaining places with their own distinct identity.*
 - The form of the proposed development, being three-storey, imitation-traditional stacked townhouses, draws the identity found immediately north on Strandherd Drive south through the neighbourhood. The orientation of the units within the buildings ensures human views in all directions on and around the Subject Site, including onto all three abutting roads, all building entrances and inward to the amenity area and parking lot.
2. *To define quality public and private spaces through development.*

- A quality private space is designed between the two condominium buildings as shown on Figure 7, which will enable residents of the Subject Site to engage in one shared space. The shared private realm on site is heavily landscaped with new shade trees and decorative plantings around the buildings. The share amenity area will be an inviting space due to the shade trees and grasses proposed to surround the space. The Subject Site is also immediately south of a neighbourhood park, immediately east of a school park, and east of a cycle track and pedestrian walkways on Chapman Mills and through the Subject Site. These features offer a quality public realm for future residents.

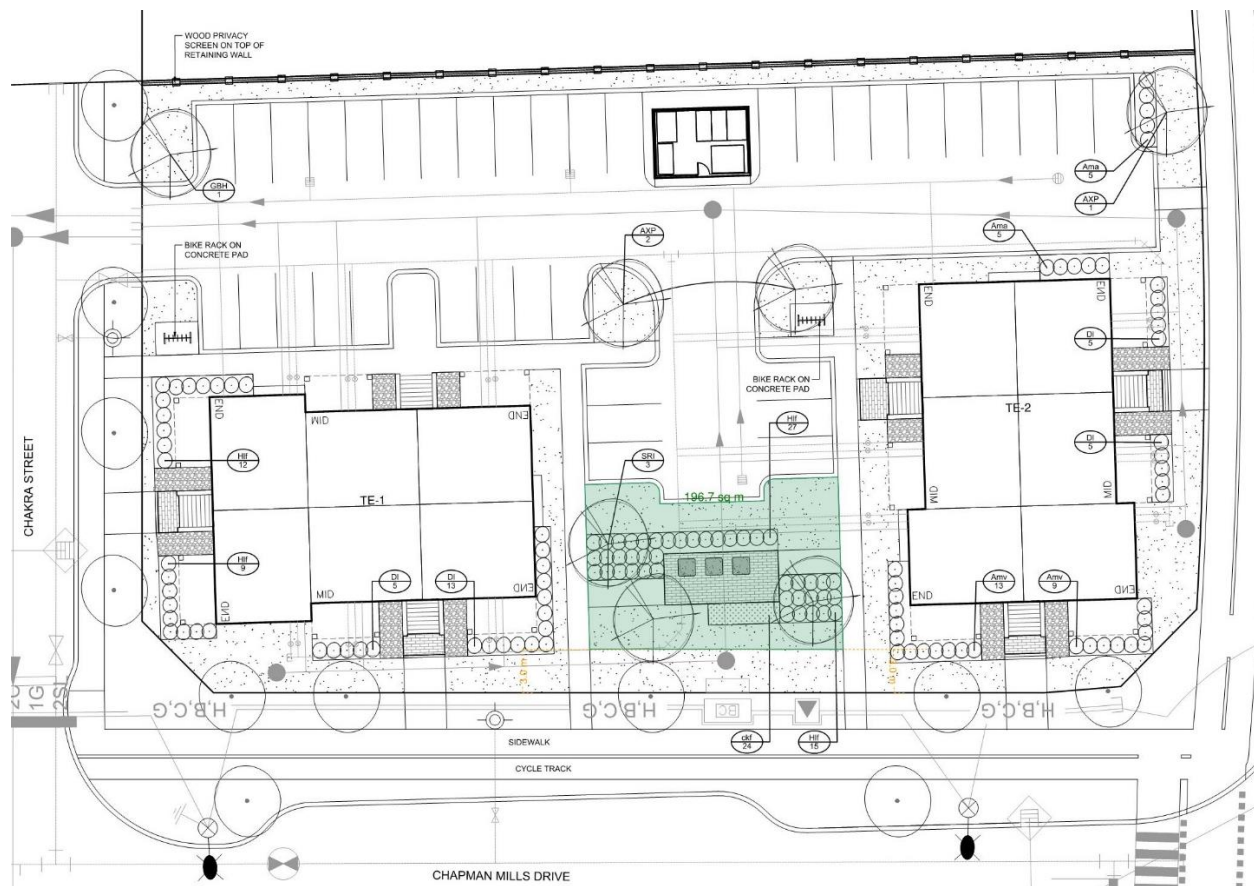


Figure 7: Shared Outdoor Amenity Area as Shown on the Landscape Plan

3. To create places that are safe, accessible and are easy to get to, and move through.

- Pedestrian walkways connect all building entrances through the Subject Site to the sidewalks on Chapman Mills Drive and Chakra Street, the interior surface parking lot and the shared amenity space. Vehicular traffic will have access off Chakra Street instead of Chapman Mills Drive, and a cycle track enables safety for cyclists with a physical barrier between the cycle track and the road.

4. *To ensure that new development respects the character of existing areas.*

- The proposed developments are similar in scale, massing and architectural features to the surrounding area which is composed of three-storey buildings townhouses with appropriate front yard setbacks and surface parking.

5. *To consider adaptability and diversity by creating places that can adapt and evolve easily over time and that are characterized by variety and choice.*

- The proposed development for the Subject Site is not intended to evolve in the near or longer-range future. It is consistent with the Plans for the area.

6. *To understand and respect natural processes and features in development design.*

- The Subject Site is currently occupied by graded lands that were former fields. It has never contained, nor abutted, any sensitive natural feature(s). The proposed development is not anticipated to negatively impact any natural or man-made environmental features within the Harmony Subdivision or nearby, such as the Jock River. The Subject Site is bound on three sides by roadway and the proposed development will be on full municipal services.

7. *To maximize energy-efficiency and promote sustainable design to reduce the resource consumption, energy use, and carbon footprint of the built environment.*

- Multiple-family dwellings enable some heating and servicing efficiencies due to the compact nature of the units as compared to lower-density forms of development. Larger windows enable greater control over heat gain and natural ventilation.

Section 4.11, *Urban Design and Compatible Development*, speaks to neighbourhood or site-scale issues such as noise, light spillover, parking and access, shadowing, and microclimate on proposed and existing development. The design and compatibility of a development is to be evaluated in the context of Sections 4.11 and 2.5.1, as noted in Policy 3.6.1(2) of the Official Plan and listed above.

Policies of Section 4.11 are divided into several broad categories. Discussion of how the proposed development satisfies these policies follows.

Building Design:

Policy 5: The design of the proposed development fits with the existing desirable character and planned function of the surrounding area in the context of the following:

- a. Setbacks, heights and transition;
 - Setbacks, heights and transition meet those determined to be appropriate in the Secondary Plan and Zoning By-law.

- b. Façade and roofline articulation;
 - The façade and roofline are articulated similarly to that found in the neighbourhood, such as those dwellings abutting Strandherd Drive.
- c. Colours and materials;
 - The colours and materials shown in the rendered perspective in Figure 3 include some higher quality materials including brick, concrete steps and larger windows. The materials are in deep natural tones, which can offer a contemporary sense of luxury. The materials are consistent with those on existing dwellings in the area such as on dwellings found on Waterlily Way and nearby streets. The materials are also consistent with what is being built throughout the Harmony Subdivision Stage 1.
- d. Architectural elements, including windows, doors and projections;
 - Projections include balconies very similar to those found on townhouse dwellings in the neighbourhood. Larger windows featuring dark-coloured frames, mullions and spandrel panels offer a slightly more 'industrial' feel to façade, which deviates marginally from buildings in the neighbourhood. This introduces a slightly more modern product to the neighbourhood yet most of the architectural features of the building are consistent with existing buildings nearby.
- e. Pre- and post-construction grades on site; and
 - The site was flat farmland prior to grading. The Grading and Drainage Plan (G1 by J L Richards) shows the proposed variations in the grading.
 - The south side slopes gently toward the sidewalk for site engineering purposes.
 - The site slopes inward toward the parking lot for stormwater purposes. Stormwater will exit into the site services, which will control the rate of release for stormwater.
 - A retaining wall abutting Mion Lands will enable the raising of the site. When the Mion lands develop, grading will approximate that of the Subject Site.
- f. Incorporating elements and details of common characteristics of the area.
 - Elements and details of common characteristics in the area include: townhouse-style building form, hip and gable rooflines, a combination of sash and larger windows, brick and clapboard/vinyl cladding materials, and natural colours.

Policy 6: The proposed development provides the following to meet the following requirements of this policy.

- a. The principal façades and entrances of buildings TE-1 and TE-2 are toward Chapman Mills Drive (south and east portions). The façade of TE-2 prioritises facing the collector road to the south over the collector road to the west given that building TE-1 on the Subject Site faces the collector road to the west;
- b. Windows are included on the building elevations that are visible from public spaces; and,
- c. Main building entrances are accentuated by framing them with the first and second-level balconies and by extending walkways straight from the doors toward the streets and internal parking lot.

Massing and Scale:

Policy 9:

- a. The South Nepean Secondary Plan Area 8 provides criteria for scale, including the height limit of 12m. The proposed development has a height of 12m. The building's massing and scale are similar to other surrounding buildings permitted under the provisions of the R4Z zone and are similar to those found in the neighbourhood.
- b. Yard setbacks, building separation and landscaped open spaces meet the requirements of the Zoning By-law.
- c. The proposed development is on a corner lot, having streets on three sides. The abutting streets to the north is a local street whereas the other two streets (Chapman Mills Drive) are collector(s). The massing and scale meet the requirements of the Secondary Plan and Zoning By-law. Development to the east of the Subject Site is expected to be of similar scale along the collector road, and lower scale on the local road to the north, enabling the appropriate transition from the collector road and corner lot into the interior of the subdivision.

Outdoor Amenity Areas:**Policy 16:**

- City staff asked Minto, as part of the pre-consultation, to move the amenity area out of the interior side yard and instead toward the corner side yard facing Chapman Mills Drive.
- Balconies for each of the 24 units are expected to be the most well-used amenity area on site. Balconies contribute to the amenity space requirements in the form of private amenity space. The proposed at-grade communal amenity area exceeds the area requirements of the Zoning By-law and is located between the buildings.
- It should be noted that no acoustic barrier is proposed to separate the communal amenity space and Chapman Mills Drive. A blank wall here would span at least 20m (40.5ft) and would contribute negatively to the urban design of the site and streetscape. An opaque wall would reduce the safe access to and from the walkways on site.
- The shared amenity area on site is proposed to be an inviting, human-scaled space, surrounded by trees and tall grasses, which will provide comfort to users.

3.3 South Nepean Secondary Plan, Area 8

NOTE: Due to the realignment of the Major Collector (also known as *Main Street Arterial* in the Secondary Plan), Chapman Mills Drive, the Subject Site now fits within residential area 1 of the Secondary Plan. The target units are tracked by the City of Ottawa and have been determined through the subdivision process.

Policy 4.3.1.1: Location

- The proposed development is within the designated area for residential development.

Policy 4.3.1.3: Uses and Densities

- The proposed development proposes a medium-density development that will contribute to the targeted number of units for the area closer to the 'Activity Centre' described in the Plan.

Policy 4.3.1.4: (Residential) Development Requirements

4. *"Set backs next to Main Street shall be minimized."*
 - The proposed yards abutting Chapman Mills Drive comply with the requirements of the Zoning By-law. The building is not set back any less than 4.2m from the lot lines abutting this street.
5. *"No rear lotting of development shall be permitted along the Main Street Arterial identified on Schedule A5."*
 - The proposed development fronts onto the 'Main Street Arterial' (Chapman Mill Drive south portion, a Major Collector as defined in the Official Plan Schedule E).
8. *"Notwithstanding Policy 1 of this subsection, for lands addressed 4005 and 4025 Strandherd Drive and designated Residential under Schedule A5 of the Secondary Plan, the maximum building height for ground oriented residential development shall not exceed 12 metres."*
 - The proposed development meets the maximum height limit of 12m.

Policy 5.3: Pedestrians and Bicycles

1. *"The road network shall be designed to encourage alternate modes of transportation including cycling and walking."*
 - A cycle track and sidewalk are proposed to abut the Subject Site to the west and south.
2. *"Pedestrian sidewalks shall be provided on at least one side of all Local Roads and both sides of the Main Street Arterial."*
 - Pedestrian Sidewalks are proposed on all three sides of the Subject Site that abut streets.
4. *"Notwithstanding Policy 2 of this subsection, for lands addressed 4005 and 4025 Strandherd Drive and designated Residential under Schedule A5 of the Secondary Plan, sidewalks are not required along local roads."*
 - Despite this, sidewalks are proposed along Chakra Street.

3.4 Zoning By-law 2008-250

The Subject Site is zoned *Residential Fourth Density, Subzone Z (R4Z)* by the City of Ottawa Zoning By-law 2008-250 as amended. The purpose of this zone for the Subject Site is to:

allow a wide mix of residential building forms ranging from detached to low rise apartment dwellings, in some cases limited to four units, and in no case more than four storeys, in areas designated as General Urban Area in the Official Plan; and to regulate development in a manner that is compatible with existing land use patterns so that the mixed building form, residential character of a neighbourhood is maintained or enhanced.

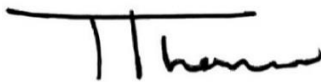
The proposed development meets all the requirements of the Zoning By-law. This includes the front yard given Table 162A, Subzone Z, and Section 135(1); the corner side yard given Table 162A, Subzone Z; and the interior side yard given Table 162B(1)(c). The required outdoor communal amenity area is 72m² and the required total amenity area is 144m². Approximately 200m² of outdoor communal amenity area and balconies for every unit is provided. The driveway and aisle provisions are met given Table 131(1) of the By-law.

4.0 CONCLUSION

The proposed Site Plan design is consistent with applicable policies of the Provincial Planning Policy Statement, conforms to the policies of the Official Plan and complies with all the applicable Zoning By-law provisions. This results in a human-scaled development as envisioned by the Secondary Plan and Official Plan. It is Novatech's professional opinion that the proposed development offers good design in terms of the placement of the buildings, amenity area and on-site parking and is an appropriate addition to the existing community.

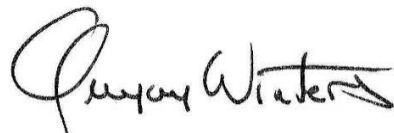
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