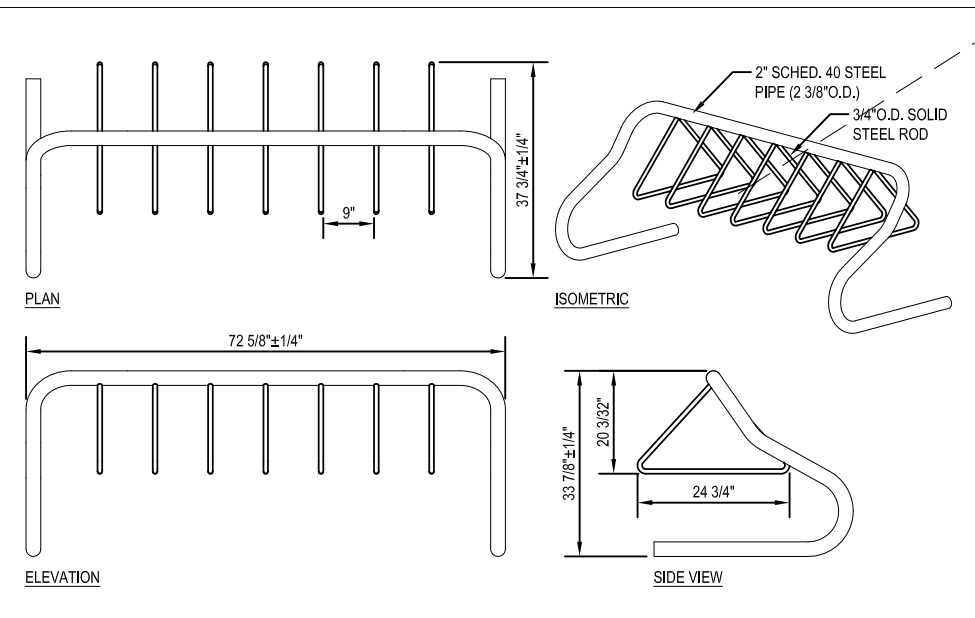


- GENERAL NOTES:
1. PROPERTY BOUNDARY INFORMATION DERIVED FROM TOPOGRAPHICAL PLAN OF SURVEY FOR PART LOT 28 CONCESSION 8 AS PREPARED BY G.A. SMITH SURVEYING LTD. (REF. NO. 16-4090 TOPO).
 2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL SERVICES AND LANDSCAPE RELATED ITEMS.
 3. ALL WALKWAYS TO BE ASPHALT UNLESS NOTED OTHERWISE.
 4. ALL PARKING AREAS TO BE PAVED UNLESS NOTED OTHERWISE.
 5. REFER TO LEGAL SURVEY FOR SITE SPECIFIC LEGAL INFORMATION. REFER TO CIVIL FOR COMPLETE GRADE INFORMATION.
 6. ALL ITEMS REFERENCE "FUTURE PHASE" ARE NOT SUBJECT TO THIS APPROVAL AND ARE FOR CONTEXT ONLY.
 7. GARBAGE AND RECYCLING WILL BE HANDLED AND STORED IN THE BUILDING.

SITE STATISTICS:		
AREAS (m ²):		
SITE (TOTAL):	17,502	(100%)
BUILDING:	1,367	(8%)
LANDSCAPE:	12,308	(70%)
ASPHALT:	3,849	(22%)

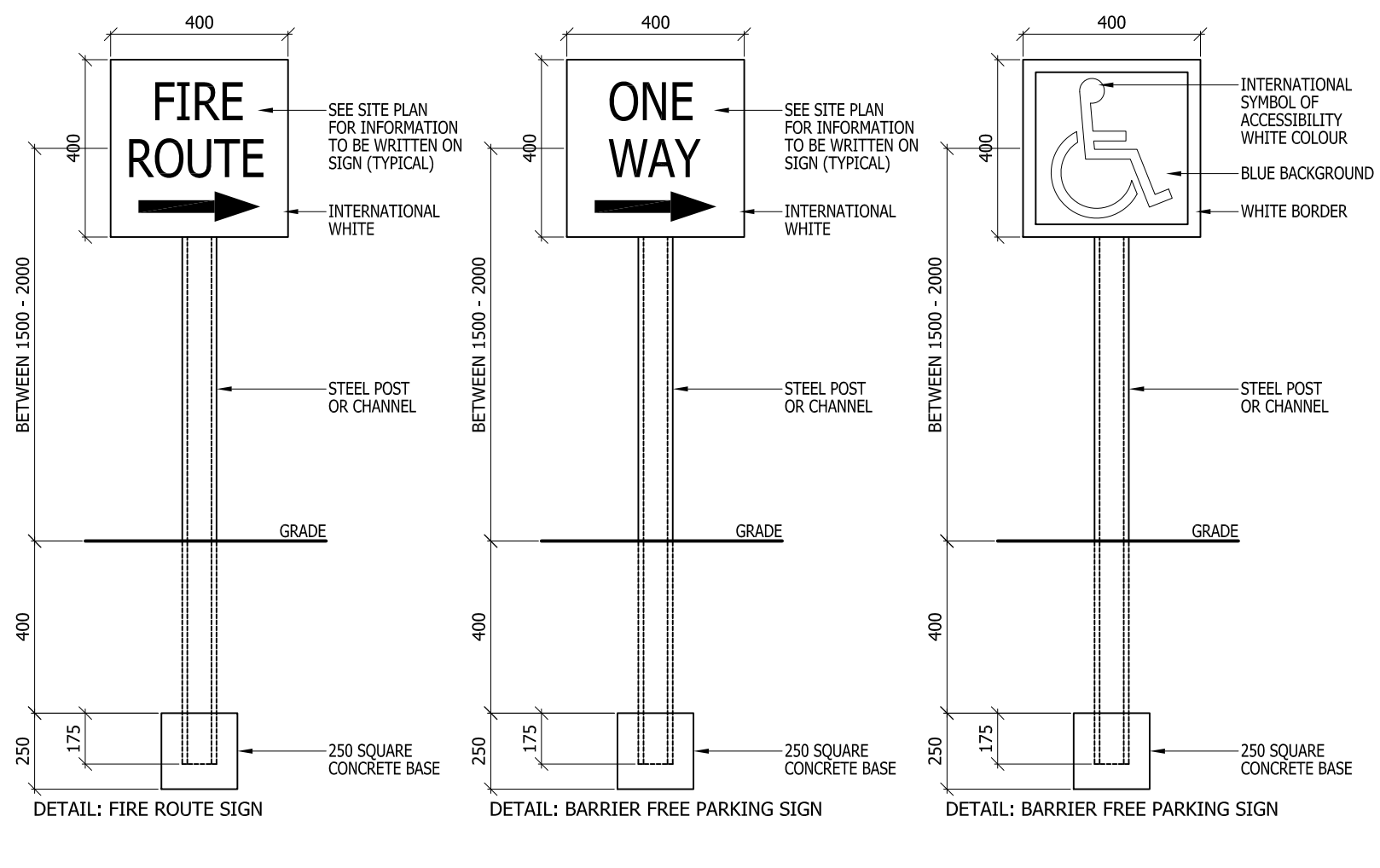
ZONING REGULATIONS:		
SITE ZONING:	I1B(420)H(13) MINOR INSTITUTIONAL	

MECHANISM	REQUIRED	PROVIDED
MINIMUM LOT AREA	1000 m ²	17502 m ²
MINIMUM LOT WIDTH	30 m	± 150 m
MINIMUM FRONT YARD SETBACK	6 m	22.7 m
MINIMUM CORNER SIDE YARD SETBACK	6 m	22.4 m
MINIMUM REAR YARD SETBACK	7.5 m	VARIES
MAXIMUM LOT COVERAGE	40 %	8.0 %
MAXIMUM BUILDING HEIGHT	13 m AS PER DESCRIPTION H(13)	10.2 m
LANDSCAPE BUFFER: ADJ. TO SOUTHSIDE RESIDENTIAL	7.6 m PER EXCEPTION [420]	7.6 m
MIN. # PARKING SPACES	10/100m ² GFA OF ASSEMBLY AREA:	92 PARKING SPACES
PLACE OF ASSEMBLY, WORSHIP	ROOM NAME FELLOWSHIP HALL: 249.9 ACTIVITY ROOMS: 151.7 COMMON ROOMS: 64.9 FOYER/GATHERING: 176.0 LOUNGE/SPRINK: 43.9 NURSERY: 79.6 SUN: 766	
VEHICLE PARKING SPACE SIZE PROVISIONS	2.6m x 5.2m	2.6 m x 5.2 m
MIN. AISLE WIDTH	6.7 m	6.7 m
MIN. # BICYCLE PARKING SPACES	1 PER 1500 m ² GFA	6
BICYCLE PARKING SPACE SIZE PROVISIONS	0.6m x 1.8m	0.6 m x 1.8 m
LOADING SPACE	1: 2.5m x 9m	1

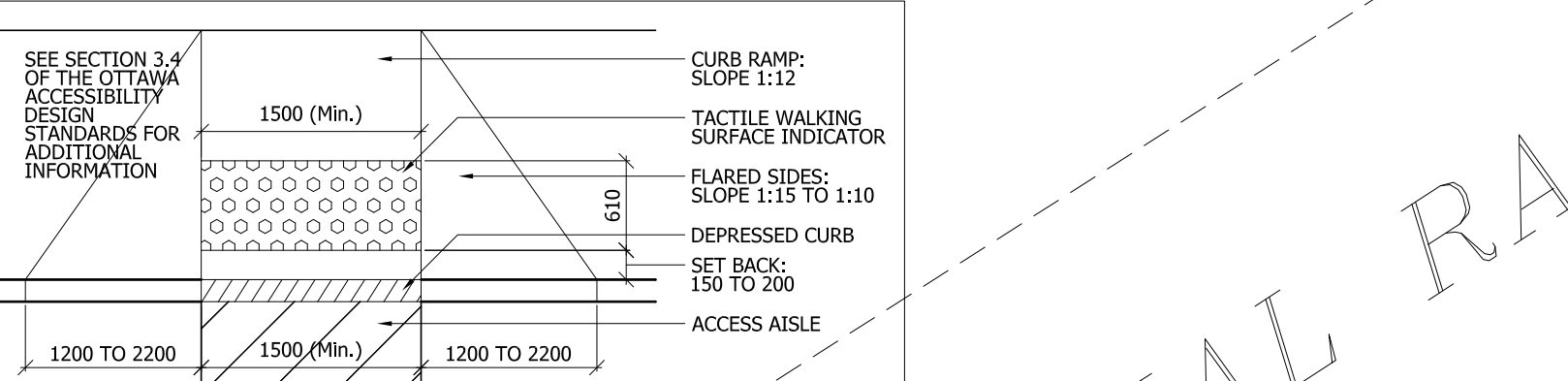


6 TYPICAL BICYCLE RACK
A001 N.T.S.

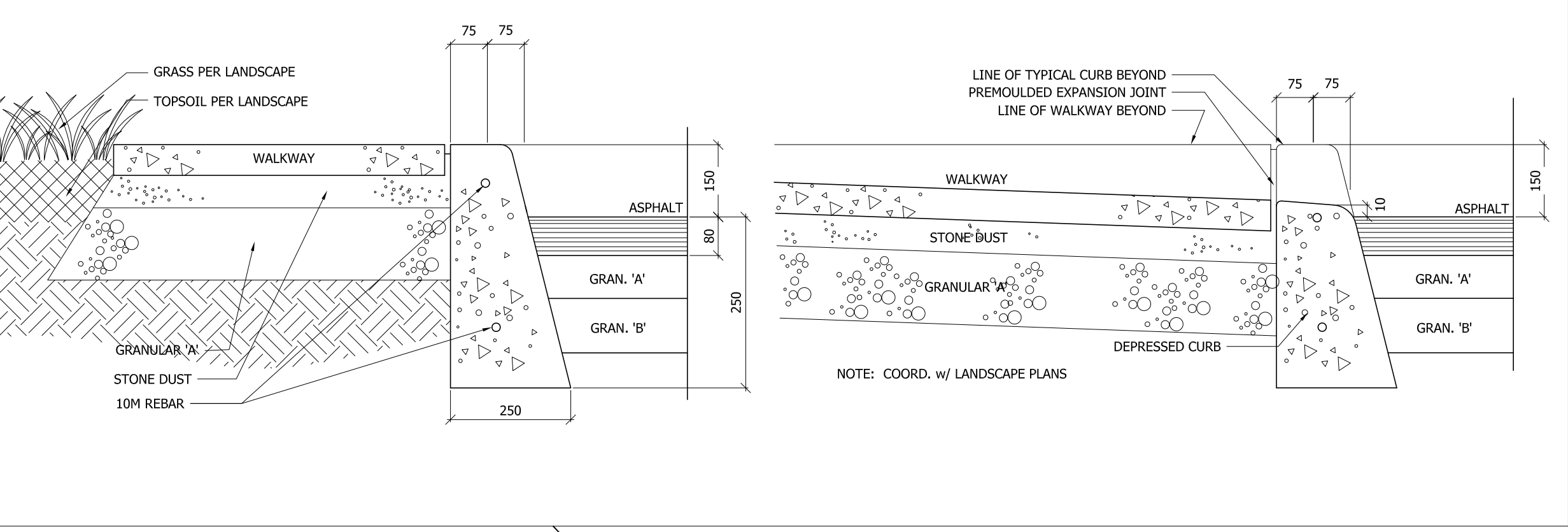
1 SITE PLAN
A001 SCALE: 1:400



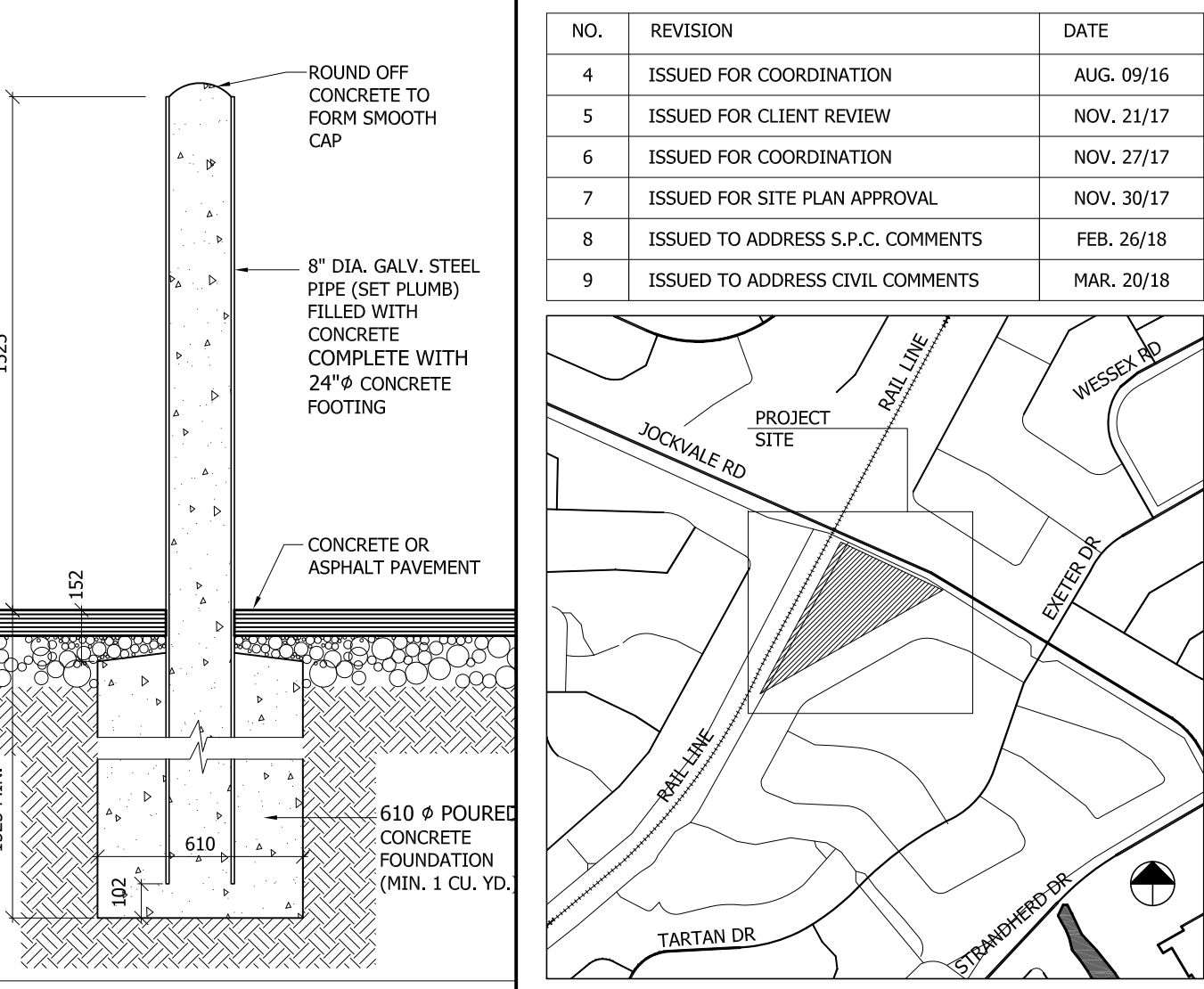
2 TYPICAL SIGNS
A001 SCALE: 1:250



5 TYPICAL CURB RAMP
A001 SCALE: 1:50



3 TYPICAL CURB DETAILS
A001 SCALE: 1:10

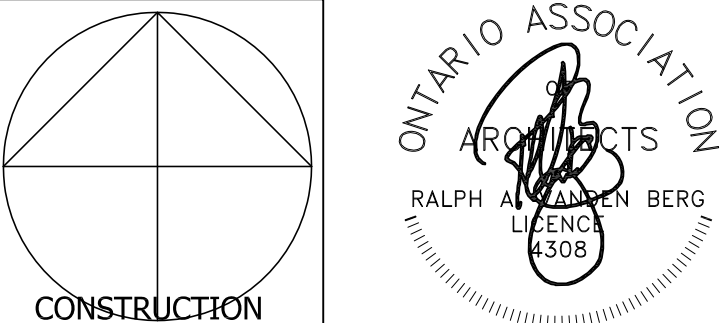


4 TYPICAL BOLLARD
A001 SCALE: 1:20

LOCATION PLAN
PROPERTY INFORMATION
(CITY OF OTTAWA)

3058 JOCKVALE RD.
PART OF LOT 17, CONCESSION 3 (RIDEAU FRONT)
PART 2, 4R-8117
PIN 04598-0754
CITY OF OTTAWA (FORMERLY CITY OF NEPEAN)
REGIONAL MUNICIPALITY OF OTTAWA-CARLETON

- LEGEND
- PROPERTY LINE
 - 15m WIDE x 170m LONG TRIANGULAR RAIL COGNISMENT RIGHT OF WAY
 - CURB (REFER: CITY OF OTTAWA STANDARDS)
 - DEPRESSED CURB (REFER: CITY OF OTTAWA STANDARDS)
 - DESIGNATED BARRIER FREE PARKING SPACE
 - BARRIER FREE PARKING SIGN
 - FIRE ROUTE SIGN
 - ONE WAY DIRECTIONAL SIGN
 - ACCESSIBLE LOADING ZONE SIGN
 - BOLLARD
 - DENOTES BUILDING EXIT
 - DENOTES BUILDING ENTRY (NON DESIGNATED EXIT)
 - FIRE HYDRANT
 - UTILITY POLE
 - EXISTING TREE TO REMAIN (REFER TO LANDSCAPE)
 - EXISTING TREE TO BE REMOVED (REFER TO LANDSCAPE)
 - NEW TREE PROPOSED (REFER TO LANDSCAPE)
 - LIGHT STANDARD W/POLE BASE ('E' DENOTES EXISTING)
 - FLOOD LIGHT TO ILLUMINATE STONE WALL



Vandenberg & Wildeboer
ARCHITECTS

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*1818 OLD STONE LANE *10 RABBITCROFT WAY *1770B, 60400Y *C050250 *102-509

PROJECT TITLE
BARRHAVEN FELLOWSHIP CRC
3058 JOCKVALE ROAD, NEPEAN, ONTARIO K2J 4J6
GORDON WEIHA (613-850-1559)

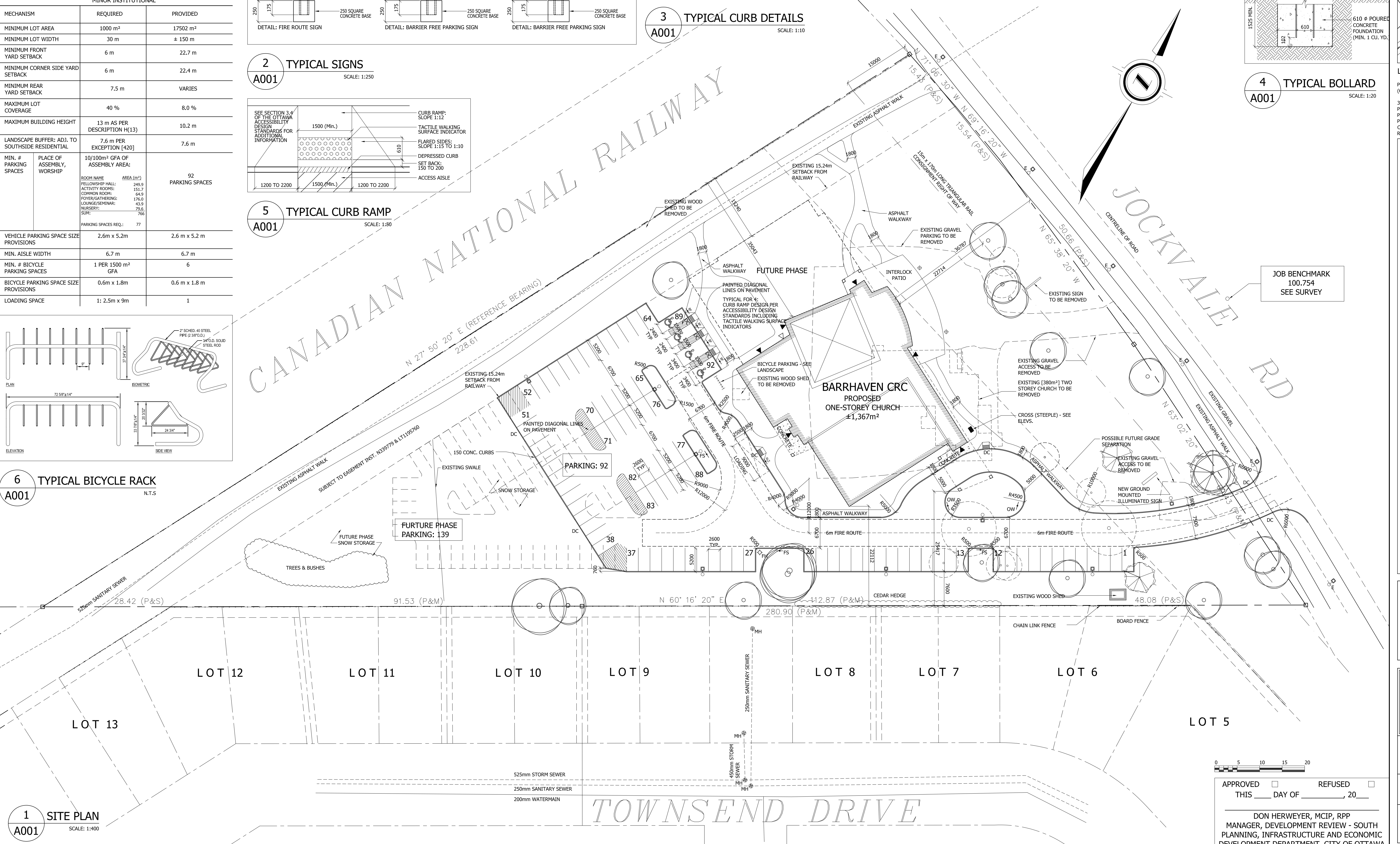
DRAWING TITLE
SITE PLAN

DESIGNED BY: RALPH VANDENBERG
DRAWN BY: JN, PA
START DATE: JUNE 2015
SCALE: AS SHOWN
PROJECT NO: 1346

APPROVED THIS DAY OF 2020
DON HERWEYER, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - SOUTH PLANNING, INFRASTRUCTURE AND ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

CONSTRUCTION

A001



0 5 10 15 20

APPROVED THIS DAY OF 2020
DON HERWEYER, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - SOUTH PLANNING, INFRASTRUCTURE AND ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

REFUSED

D07-12-17-0162 PLAN NUMBER: 17560