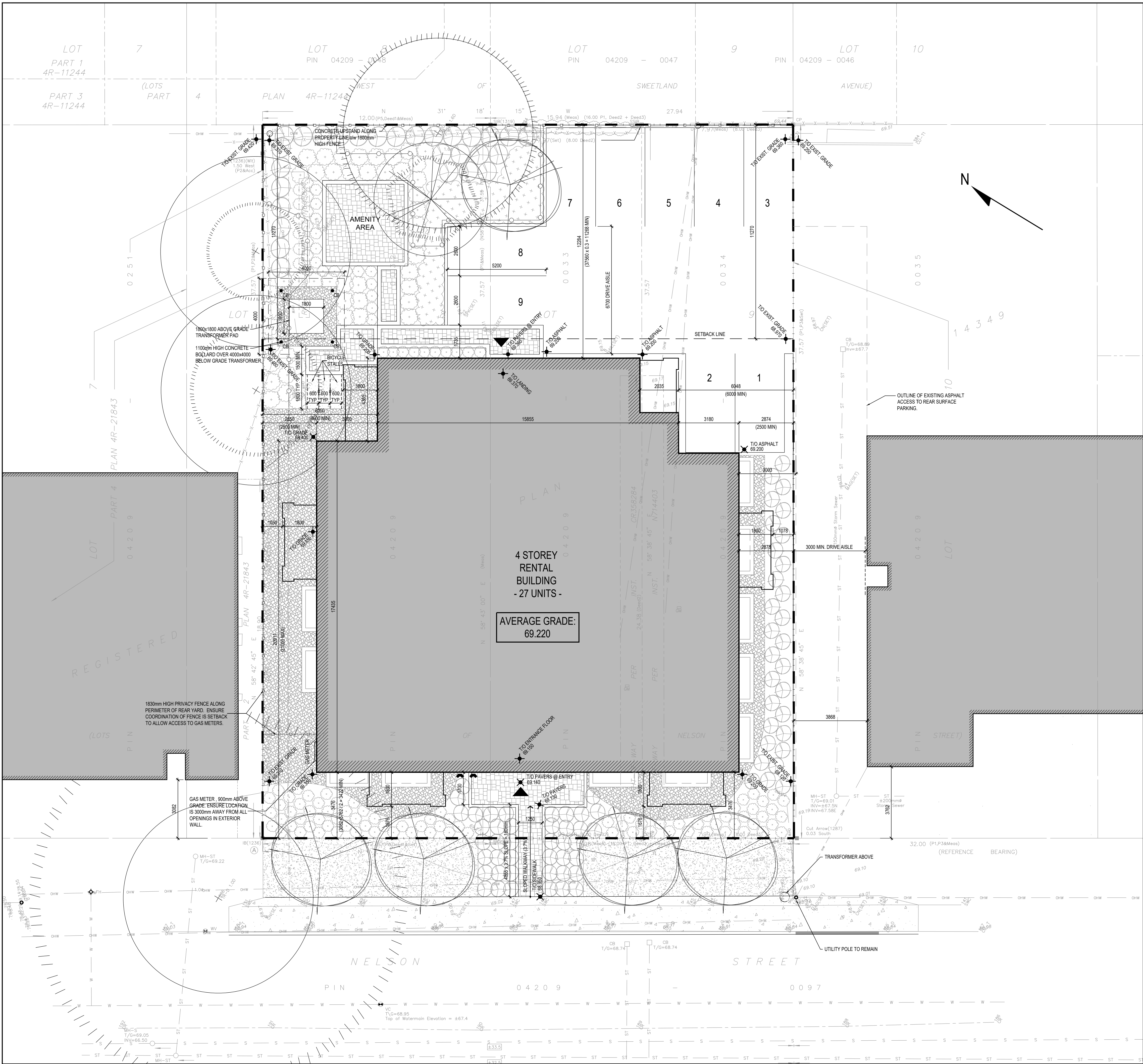




1 SITE PLAN
SCALE 1:100

NOTES:

AREA BREAKDOWN:

BELOW GRADE AREA	448 SQ M
ABOVE GRADE BUILDING AREA	
- GROUND FLOOR	449 SQ M
- SECOND FLOOR	449 SQ M
- THIRD FLOOR	449 SQ M
- FOURTH FLOOR	449 SQ M
TOTAL ABOVE GRADE BUILDING AREA	1796 SQ M
TOTAL BUILDING AREA (ABOVE+BELOW)	2244 SQ M

AVG. GRADE = 69.22
MAX. HEIGHT OF ROOF FROM AVG. GRADE: 14.5M (83.72)

PARKING:

REQUIRED: # OF DWELLING UNITS MINUS FIRST 12 UNITS, X (0.5+0.1)
REQUIRED: 27 UNITS - 12 = 15 X 0.6 = 9 PARKING SPACES
PROVIDED: 9 PARKING SPACES

AREA OF SITE:

TOTAL LOT AREA 1050 SQ M
BUILDING FOOTPRINT 449 SQ M

UNIT TYPES - APARTMENTS:

27 APARTMENTS TOTAL

LEGAL DESCRIPTION:

PART OF LOT 8 AND ALL OF LOT 9
(EAST SIDE OF NELSON STREET)
REGISTERED PLAN 14349
CITY OF OTTAWA

THE ARCHITECTURAL DRAWINGS ARE BASED ON THE INFORMATION PROVIDED BY:
ORIGINAL SURVEY PREPARED BY FARLEY, SMITH & DENIS SURVEYING LTD.
SURVEY #125-16 "Martino 355NelsonSt PnL114349 T F."

NOTES:

T.B.C - "TO BE CONFIRMED" BY CITY OF OTTAWA.

TOTAL NO. OF BIKE STORAGE SPACES PROVIDED: ...

*** REFER TO GRADING PLAN FOR ALL PROPOSED & EXISTING GRADE ELEVATIONS & SURFACE DRAINAGE PATTERNS ***
*** REFER TO LANDSCAPE PLAN FOR LANDSCAPE ELEMENTS TO BE REMOVED, RELOCATED OR RETAINED ***

CITY OF OTTAWA ZONING BY-LAW 2008-250

RAS [480] (RESIDENTIAL FOURTH DENSITY ZONE, SUBZONE S, EXCEPTION 480)
WITHIN THE MATURE NEIGHBOURHOODS OVERLAY

RESIDENTIAL FOURTH DENSITY ZONE PROVISIONS (SECTIONS 161 & 162) AND LOW-RISE RESIDENTIAL INFILL DEVELOPMENT IN THE MATURE NEIGHBOURHOODS OVERLAY (SECTION 139)

APARTMENT DWELLING, LOW RISE	REQUIRED	PROVIDED
MINIMUM LOT WIDTH	15 m	28 m
MINIMUM LOT AREA	450 m ²	1050 m ²
MAXIMUM BUILDING HEIGHT	14.5 m	14.5 m
MINIMUM FRONT YARD SETBACK	THE AVERAGE OF THE EXISTING SETBACKS OF THE ABUTTING DWELLINGS: 3.08 m + 3.76 m = 6.84 m / 2 = 3.42 m	3.47 m
MINIMUM REAR YARD SETBACK	A DISTANCE EQUAL TO 30% OF THE LOT DEPTH WHICH MUST COMPRISE OF AT LEAST 25% OF THE LOT AREA. 37.56 m x 0.3 = 11.27 m	12.28 m
MINIMUM INTERIOR SIDE YARD SETBACK	2.5 m FOR ANY PART OF THE BUILDING LOCATED WITHIN 21 m OF A FRONT LOT LINE WHERE THE BUILDING WALL IS GREATER THAN 11m IN HEIGHT, AND 6 m FOR ANY PART OF A BUILDING BEYOND 21 m.	2.87 m / 6.05 m (SOUTH) 2.85 m / 6.05 m (NORTH)
MINIMUM PERCENT LANDSCAPED AREA	30% OF LOT AREA (1050 m ² x 0.3 = 315 m ²)	341.97 m ²

PARKING, QUEUING AND LOADING PROVISIONS (SECTIONS 100-114)

MINIMUM PARKING SPACE REQUIREMENTS	0.5 SPACES PER DWELLING UNIT IN ACCESS OF 12 = 7.5 SPACES	9 SPACES
MINIMUM VISITOR PARKING REQUIREMENTS	0.1 SPACES PER DWELLING UNIT IN ACCESS OF 12 = 1.5 SPACES	
MINIMUM BICYCLE PARKING REQUIREMENTS	0.5 SPACES PER DWELLING UNIT = 14 (7 HORIZONTAL SPACES @ 0.6m X 1.8m, 7 VERTICAL SPACES @ 0.5m X 1.5m)	8 HORIZONTAL + 7 VERTICAL + 3 EXTERIOR SPACES = 18 SPACES
MOTOR VEHICLE PARKING SPACE WIDTH	2.6 m (MINIMUM) / 2.75 m (MAXIMUM)	2.6 m
MOTOR VEHICLE PARKING SPACE LENGTH	5.2 m (MINIMUM)	5.2 m
MINIMUM AISLE WIDTH	6.7 m	6.7 m

AMENITY AREA (SECTION 137)

MINIMUM TOTAL AMENITY AREA	15m ² PER DWELLING UNIT UP TO 8 UNITS, PLUS 6m ² PER ADDITIONAL UNITS = 234m ²	COMMUNAL AREA = 144.07 m ² + BALCONIES (131.47 m ²) = 275.54 m ²
MINIMUM COMMUNAL AMENITY AREA	100% OF THE AMENITY AREA REQUIRED FOR THE FIRST 8 UNITS = 120m ² , CONSISTING OF AT LEAST 80% SOFT LANDSCAPING = 96m ² .	SOFT LANDSCAPE = 103.22 m ² TOTAL COMMUNAL AREA = 144.07 m ²

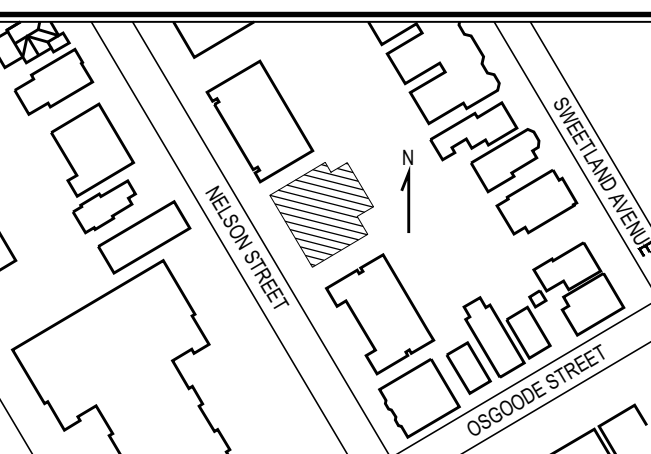
DRIVEWAYS (SECTION 139)

MINIMUM AND MAXIMUM PERMITTED DRIVE AISLE WIDTH	3.0m MIN WIDE 3.6m MAX WIDE	3.27 m
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LEGEND

- ENTRANCE AND/OR EGRESS
- PROPERTY LINES
- SIAMESE CONNECTION
- CONCRETE PAVERS WALKWAY
- 1830mm HIGH FENCE

It is the responsibility of the appropriate Contractor to check and verify all dimensions on site and report all errors and/or omissions to the Architect.
All Contractors must comply with all pertinent codes and by-laws.
All dimensions are measured from face of stud to face of stud unless indicated otherwise.
Do not scale drawings.
This drawing may not be used for construction until signed.



APPROVED ☐ REFUSED ☐

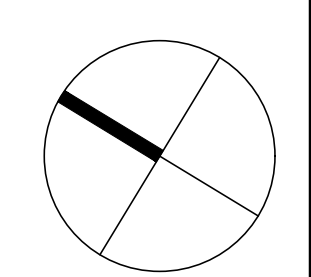
THIS ____ DAY OF _____, 20__

DOUGLAS JAMES, MCIP, RPP, MANAGER
DEVELOPMENT REVIEW CENTRAL,
PLANNING, INFRASTRUCTURE AND ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

07 MAR 16 2018 ISSUED TO NOVATECH
06 FEB 26 2018 ISSUED FOR STRUCTURAL
05 FEB 16 2018 ISSUED FOR NOVATECH
04 OCT 27 2017 ISSUED FOR SITE PLAN APPROVAL
03 AUG 25 2017 ISSUED TO STRUCTURAL
02 JULY 21 2017 ISSUED TO NOVATECH
01 FEB 14 2017 ISSUED FOR REVIEW

no date revision

project north



professional stamp

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202-1320 Carling Avenue
Ottawa, ON K1Z 7K8 www.awa-arch.ca
ARCHITECTURE PLANNING
DESIGN BUILD PROJECT MANAGEMENT

consultant

FARLEY, SMITH & DENIS - SURVEYOR

DAIDO - STRUCTURAL

QUADRANT - MECHANICAL & ELECTRICAL

PATERSON GROUP - GEOTECHNICAL

NOVATECH - CIVIL, LANDSCAPING, & PLANNING

project

355, 357, 359 & 361 NELSON STREET
A.F. MARTINS CONSTRUCTION
NELSON STREET, OTTAWA, ON

drawn MH, AB

checked VA

date MAR 16 2018

project no. 16-18

drawing title

SITE PLAN

revision

drawing no.

A001