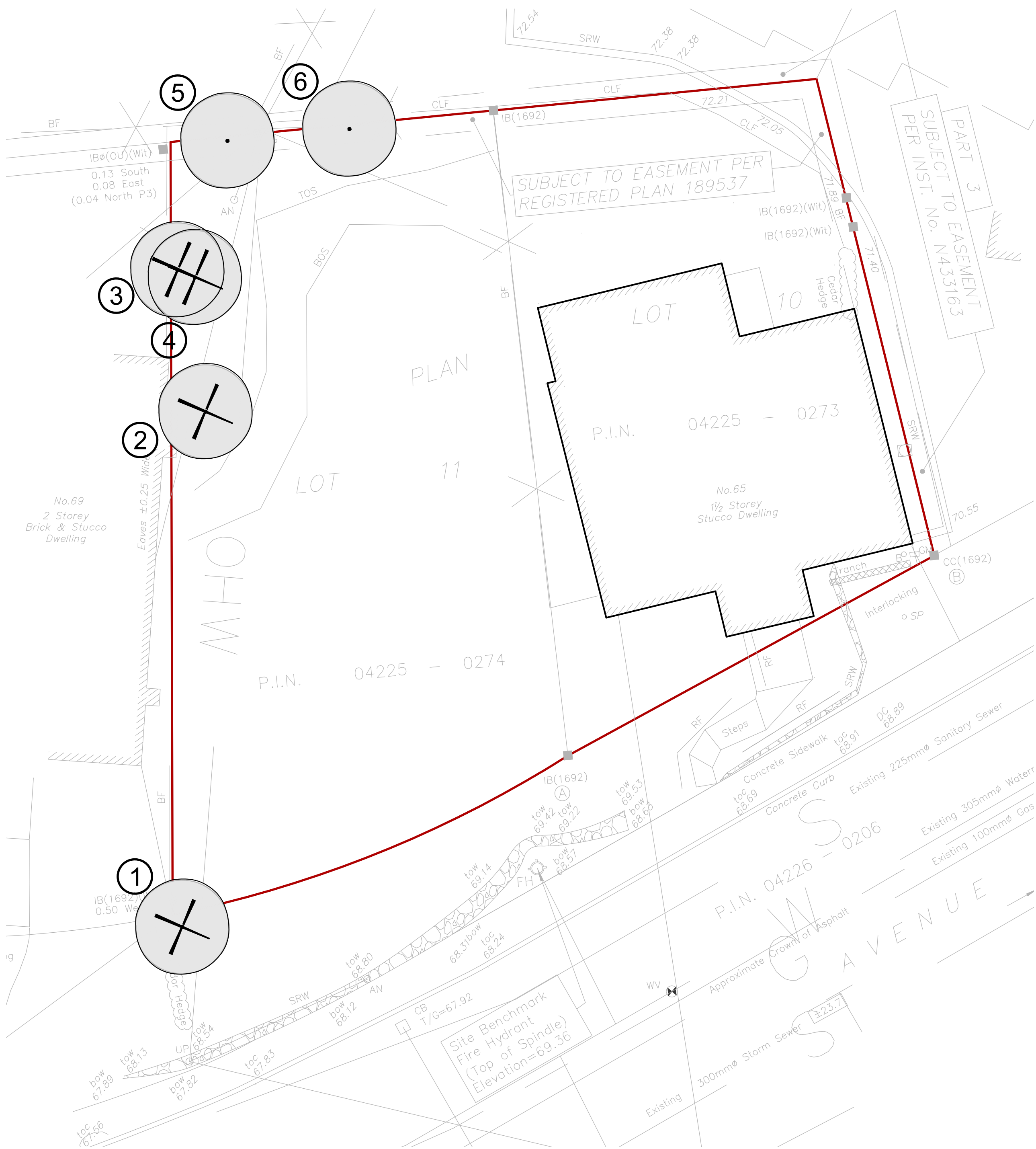
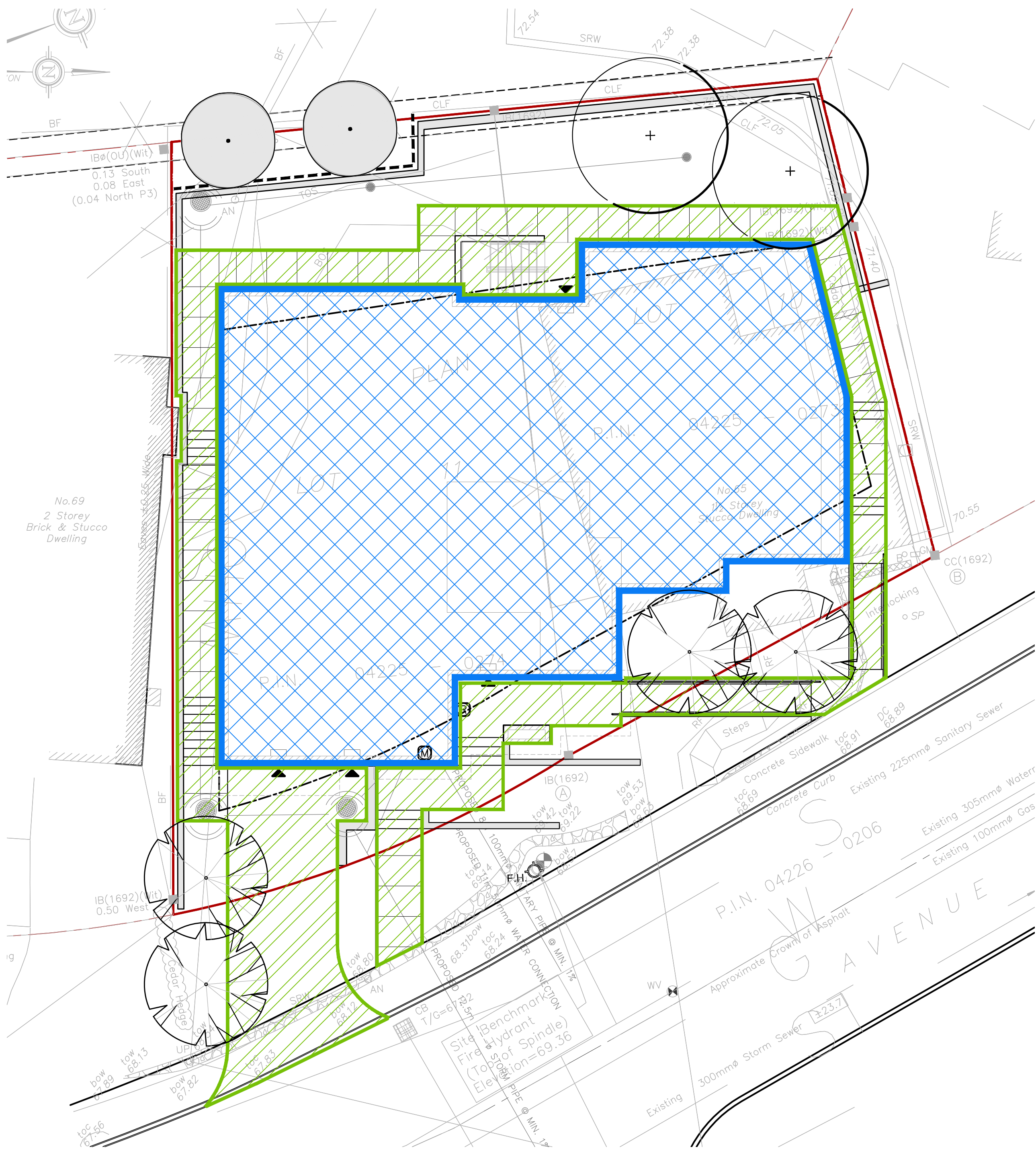




1 TREE INVENTORY PLAN Scale: 1:100

EXISTING TREES

TREE #	BOTANICAL NAME	COMMON NAME	DBH	CONDITION	COMMENTS	TO BE PRE-SERVED
1	Acer saccharum	Sugar Maple	200, 600	Good	Multi-stem, Co-dominant leaders 1.0m above grade	No
2	Acer saccharum	Sugar Maple	300	Good	Asymmetrical, Single stem	No
3	Acer saccharum	Sugar Maple	150	Good	Asymmetrical, Single stem	No
4	Acer saccharum	Sugar Maple	150	Good	Asymmetrical, Single stem	No
5	Acer saccharum	Sugar Maple	300	Good	Single stem	Yes
6	Acer saccharum	Sugar Maple	300	Good	Multi-stem, Co-dominant leaders 1.0m above grade	Yes



2 PROPOSED DEVELOPMENT Scale: 1:100

GENERAL NOTES

- THE EXISTING PROPERTY IS A DOUBLE LOT, WITH A SINGLE FAMILY HOME ON THE NORTHERN SIDE.
 - APPROXIMATELY 102 m² OF THE SITE IS CURRENTLY OCCUPIED BY THE EXISTING BUILDING FOOTPRINT.
 - APPROXIMATELY 267 m² TO BE COVERED BY THE PROPOSED BUILDING FOOTPRINT.
 - APPROXIMATELY 150 m² TO BE GREENSPACE.
- THE PROPOSED DEVELOPMENT REQUIRES THE REMOVAL OF FOUR (4) TREES.
 - REFER TO LANDSCAPE PLAN FOR PROPOSED NEW PLANTING. WHILE THE NEW PLANTING DOES NOT DIRECTLY REFLECT THE SPECIES DISTRIBUTION OF THE REMOVED VEGETATION, THE SPECIES CHOSEN ARE GENERALLY CONSIDERED TO BE OF HIGHER VALUE.
- THE DEVELOPMENT SITE IS NOT CONSIDERED OF PRIMARY OR SUPPORTING SIGNIFICANCE AS NATURAL LANDS IN THE GREENSPACE MASTER PLAN, NOR IS IT IDENTIFIED NEAR GREENSPACE NETWORK LANDS. DUE TO THE LOW ENVIRONMENTAL VALUE OF THE SITE, IT IS NOT EXPECTED THAT FURTHER DISTURBANCE WILL SIGNIFICANTLY IMPACT THE ECOLOGICAL FUNCTION OF THE SURROUNDING AREA.

LEGEND

- PROPOSED BUILDING
- PROPOSED HARD SURFACES
- EXISTING TREE
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING
- PROPOSED TREE

SOMA PRO DESIGNS - BCIN#: 33578
2277 PROSPECT AVE.
OTTAWA, ON. K1H 7G2

FERNANDO MATOS - BCIN#: 22431
613-884-4425

QUALIFICATION INFO
SMALL BUILDINGS
The undersigned has reviewed and taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DRAWER
COPYRIGHT RESERVED

Landscaping Architecture
Urban Design
Site Planning
Restoration and Park Planning
Project Management
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310 Midway Avenue, Suite 502, Ottawa, Ontario K1Z 6L8
Tel: (613) 729-4306



65 ACACIA AVE.
2 NEW 3 STOREY SEMI-DETACHED DWELLINGS
LOT DIVISION

CLIENT:
SIMON SAAB
1296 KILBORN AVE
OTTAWA, ONTARIO
K1H 6L3

PROJECT:
65 ACACIA
OTTAWA, ONTARIO
K1M 0P5

9		
8		
7		
6		
5		
4		
3		
2	ISSUED FOR REVIEW	08/02/18
1	ISSUED FOR REVIEW	10/10/17
NO.	REVISION/ISSUE	MDY

LANDSCAPE PLAN

DRAWN BY: SHI/NL
DATE: October 2017
SCALE: AS SHOWN
SHEET:
TCR1