

December 15, 2017

City of Ottawa
Planning and Growth Management Branch
110 Laurier Ave. W., 4th Floor
Ottawa, ON K1P 1J1

Attention: Mr. Wally Dubyk, C.E.T.
Project Manager, Infrastructure Approvals

Dear Sir:

Reference: Wateridge Village Phase 1B – Blocks 15, 22, and 24
Transportation Overview – Addendum No. 1
City File No.: D07-12-17-0111
Our File No.: 117121 (R-2017-205)

1.0 INTRODUCTION

A Transportation Overview (R-2017-119) dated August 2017 was prepared in support of a Site Plan Control (SPC) application for Blocks 15, 22, and 24 in Phase 1B of Wateridge Village at the Rockcliffe Subdivision. Following the submission of the report, comments were received from the City of Ottawa dated October 13, 2017.

This addendum addresses the transportation comments received from City staff, and provides a review of minor changes to the proposed number of units and vehicle/bike parking provisions.

2.0 REVISED DEVELOPMENT

The revised Site Plans for Blocks 15, 22, and 24 are included in **Appendix A**.

Block 15 is proposed to accommodate 125 rear lane townhouse units, which is an increase of one unit compared to the original submission. Block 22 is proposed to accommodate 11 rear lane townhouse units and 40 stacked townhouse units, which is a decrease of 8 stacked townhouse units compared to the original submission. Block 24 is proposed to accommodate 81 rear lane townhouse units and 44 stacked townhouse units, which is a decrease of 4 stacked townhouse units compared to the original submission.

The revised Site Plan results in a net decrease of 11 units for the three blocks of development.

3.0 TRIP GENERATION AND DISTRIBUTION

Trips generated by the revised development have been estimated using the residential condominium/townhouse land use code (LU 230) identified in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 9th Edition.

The revised estimate of peak hour vehicle trips generated by the development is outlined in **Table 1** below.

Table 1: Trip Generation

Land Use	ITE Code	Units	AM Peak			PM Peak		
			IN	OUT	TOTAL	IN	OUT	TOTAL
Residential Condominium / Townhouse	230	301	21	104	125	99	49	148

Consistent with the original Overview, the projected number of vehicle trips based on the ITE rates has been converted to person trips by applying an adjustment factor of 1.3. The projected number of person trips is outlined in the following table.

Table 2: Person Trips

Land Use	Peak Hour	IN (vph ¹)	OUT (vph)	TOTAL (vph)	Person Trip Factor	IN (pph ²)	OUT (pph)	TOTAL (pph)
Residential Condominium / Townhouse	AM Peak	21	104	125	x 1.3	27	135	162
	PM Peak	99	49	148	→	129	63	192

1. vph = vehicles per hour
2. pph = persons per hour

The updated breakdown of projected person trips by modal share and arrival/departure is shown in **Table 3** below.

Table 3: Site-Generated Person Trips by Modal Share

Travel Mode	Modal Share	AM Peak			PM Peak		
		IN	OUT	TOTAL	IN	OUT	TOTAL
TOTAL PERSON TRIPS		27	135	162	129	63	192
Auto Driver	50%	13	68	81	64	31	95
Auto Passenger	10%	3	13	16	13	7	20
Transit	30%	8	40	48	39	18	57
Non-Motorized	10%	3	14	17	13	7	20

Based on the foregoing, the revised development is anticipated to generate 81 vehicle trips during the AM peak hour and 95 vehicle trips during the PM peak hour. The revised development is expected to generate approximately 5 vehicle trips less than the original submission.

No mitigation measures are recommended to accommodate the proposed development as none are required.

4.0 PROVISIONS FOR NON-AUTO MODES

In their comments on the original submission, City staff asked for a description of how cycling and pedestrian movement is anticipated within each block.

All private lanes are expected to operate under low-volume low-speed conditions. The private lanes will function as shared roadways where cyclists and vehicles share travel lanes. Connections to the cycling facilities along the adjacent collector roads (raised cycle tracks along Hemlock and a multi-use pathway along the south side of Mikinak) will be provided at the local road intersections, including Michael Stouqua/Hemlock, Moses Tennisco/Hemlock, and Mikinak/Squadron. On-site bike rack locations continue to be refined as the detail design advances, however the intent is to disperse the racks throughout the blocks for maximum usage and convenience. Updated bike parking requirements are outlined in **Section 5.0** below.

Block 22 includes a concrete walkway along the south side of Private Lane A, as well as concrete walkways along either side of the surface parking for the stacked townhouses. Block 24 includes a concrete walkway along one side of Private Lanes A and B, and along the east side of the surface parking for the stacked townhouses. A north-south pedestrian connection is provided from Hemlock Road to Mikinak Road through the center of the block via the pedestrian mews area. A north-south pedestrian connection is also provided between Private Lanes A and B along the easterly property limit. Block 15 includes a concrete walkway along one side of Private Lanes A and C, with connections to Squadron Crescent along all frontages of the development, and the future community park to the west. Two north-south pedestrian connections to Mikinak Road are provided through the center of the development via the pedestrian mews areas.

Sidewalks at all private lane connections to the adjacent local roads will be depressed and continuous across the accesses.

5.0 ON-SITE DESIGN

5.1 On-Site Traffic Control

As requested by the City, the proposed on-site pavement marking and signage design is now reflected on the revised Site Plans.

5.2 On-Site Parking

A review of the minimum parking rates was provided in the original Transportation Overview. Based on the revised Site Plans, the City of Ottawa's Zoning By-Law (ZBL) identifies a requirement to provide 20 resident parking spaces, 4 visitor parking spaces and 20 bike parking spaces for the 40 stacked townhouses in Block 22. The ZBL identifies a requirement for 22 resident parking spaces, 5 visitor parking spaces and 22 bike parking spaces for the 44 stacked townhouses in Block 24.

A total of 20 vehicle parking spaces will be provided for the stacked townhouse units in Block 22 and 47 vehicle parking spaces will be provided for the stacked townhouse units in Block 24. The proposed reduction in parking for Block 22 will be addressed through a Minor Zoning By-Law Amendment application.

The City has confirmed that a warning clause should be included on title as part of the Site Plan agreement indicating that no more than one parking space will be provided per unit and that for the townhomes, the parking space is within the garage and no separate driveway will be provided. The warning clause will refer to on-street parking, but caution that time restrictions may be in place.

Currently, a total of 20 bike parking spaces is shown for the stacked townhouse units in Block 22 and 18 bike parking spaces are shown for the stacked townhouse units in Block 24. The bike parking design will continue to be refined as the detail design advances. The intent is to provide bike parking for the stacked townhouses at a rate of 1 space per unit, however space is limited.

6.0 CONCLUSIONS AND RECOMMENDATIONS

The conclusions and recommendations of this Addendum are summarized as follows:

- The revised Site Plan results in a net decrease of 11 units for the three blocks of development.
- The revised development is expected to generate approximately 5 vehicle trips less than the original submission.
- No mitigation measures are recommended to accommodate the proposed development as none are required.
- A detailed description of the cycling and pedestrian movements within each block of development is provided as part of this addendum.
- Sidewalks at all private lane connections to the adjacent local roads will be depressed and continuous across the accesses.
- As requested by the City, the proposed on-site pavement marking and signage design is provided as part of this addendum.
- The proposed reduction in parking for Block 22 will be addressed through a Minor Zoning By-Law Amendment application.
- The City has confirmed that a warning clause should be included on title as part of the Site Plan agreement indicating that no more than one parking space will be provided per unit and that for the townhomes, the parking space is within the garage and no separate driveway will be provided. The warning clause will refer to on-street parking, but caution that time restrictions may be in place.
- The bike parking design will continue to be refined as the detail design advances. The intent is to provide bike parking for the stacked townhouses at a rate of 1 space per unit, however space is limited.

Yours truly,

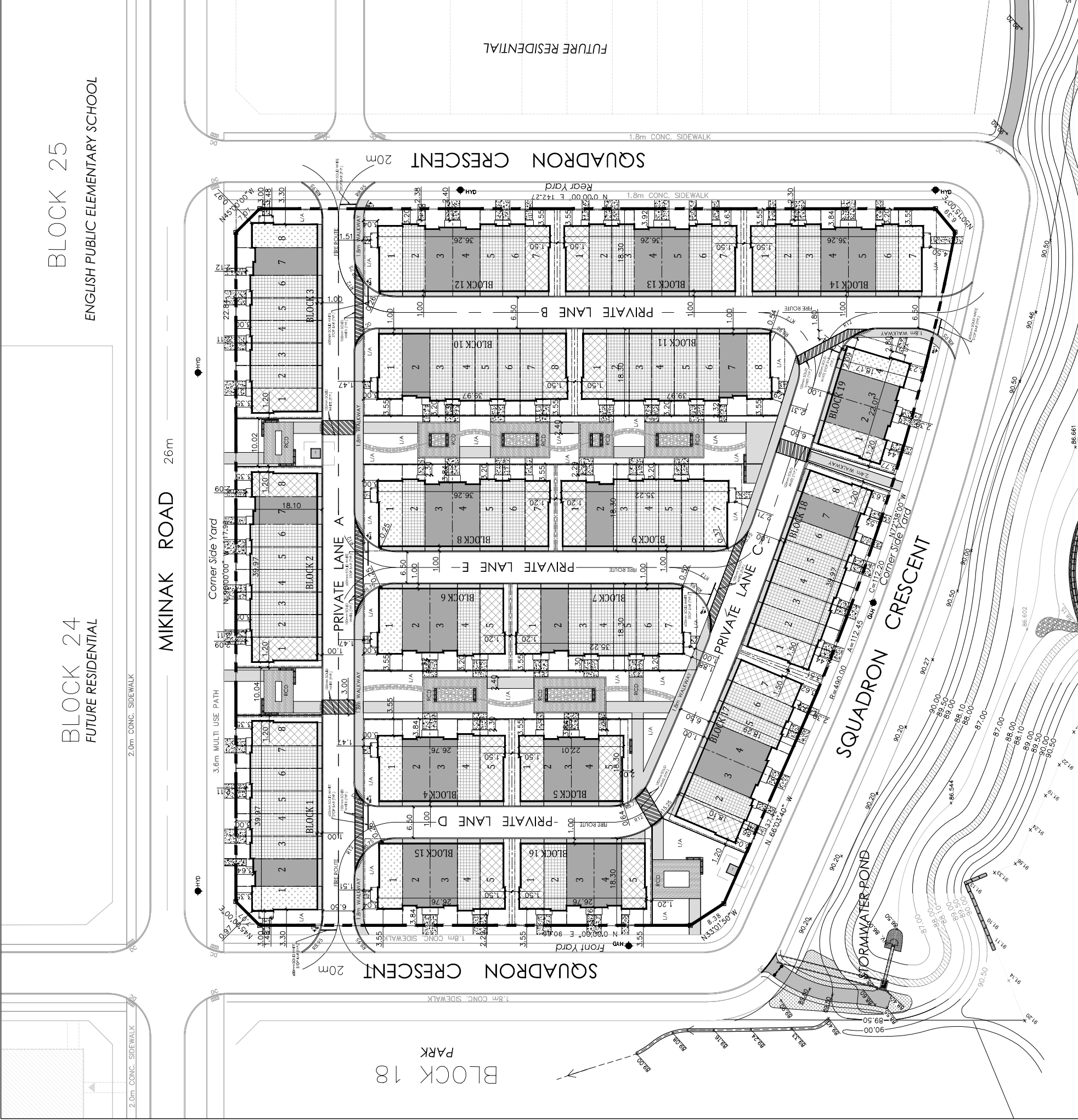
NOVATECH



Jennifer Luong, P. Eng.
Senior Project Manager | Transportation/Traffic

APPENDIX A

Revised Site Plans



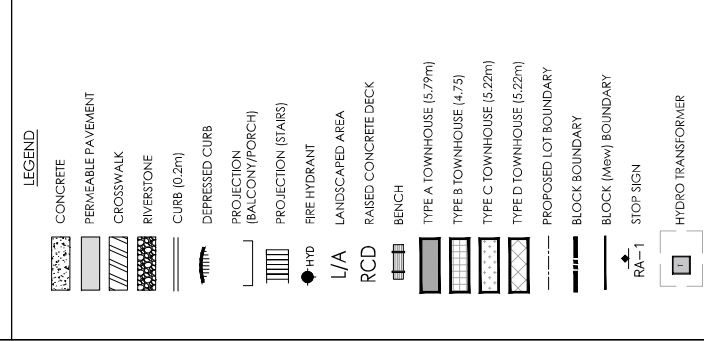
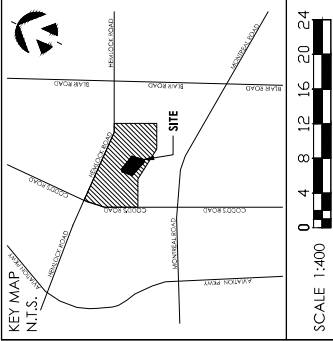
SITE STATISTICS AND DEVELOPMENT DATA	
SITE AREA	19,988.25 m ²
PAVED AREA	4,511.18 m ² (23%)
LANDSCAPED AREA	6,388.47 m ² (32%)
TOTAL BUILDING COVERAGE	8,718.60 m ² (43%)
TOTAL GROSS FLOOR AREA	19,966 m ²
TYPE A TOWNHOUSE (30 @ 170 m ²)	5,100 m ²
TYPE B TOWNHOUSE (12 @ 140 m ²)	8,493 m ²
TYPE C TOWNHOUSE (10 @ 171 m ²)	2,220 m ²
TYPE D TOWNHOUSE (25 @ 146 m ²)	4,150 m ²
DENSITY (UPH)	63.5
ZONE CATEGORY	447(2311)

DWELLING BLOCK	DWELLING TYPE	UNITS
BLOCK 1	REAR LANE TOWNS	8
BLOCK 2	REAR LANE TOWNS	8
BLOCK 3	REAR LANE TOWNS	8
BLOCK 4	REAR LANE TOWNS	5
BLOCK 5	REAR LANE TOWNS	4
BLOCK 6	REAR LANE TOWNS	5
BLOCK 7	REAR LANE TOWNS	7
BLOCK 8	REAR LANE TOWNS	7
BLOCK 9	REAR LANE TOWNS	7
BLOCK 10	REAR LANE TOWNS	8
BLOCK 11	REAR LANE TOWNS	8
BLOCK 12	REAR LANE TOWNS	7
BLOCK 13	REAR LANE TOWNS	7
BLOCK 14	REAR LANE TOWNS	7
BLOCK 15	REAR LANE TOWNS	5
BLOCK 16	REAR LANE TOWNS	5
BLOCK 17	REAR LANE TOWNS	7
BLOCK 18	REAR LANE TOWNS	8
BLOCK 19	REAR LANE TOWNS	4
TOTAL		125

SECTION	ZONE PROVISION - PLANNED UNIT DEVELOPMENT	REQUIRED	PROPOSED
162A (Table) (iv)	MIN. LOT WIDTH (m)	N/A	N/A
162A (Table) (vi)	MIN. LOT AREA (m ²)	1,400 m ²	19,988.25 m ²
162A (Table) (vi)	MAX. BUILDING HEIGHT (m)	11 m	11.5 m
162A (Table) (vii)	MIN. FRONT YARD SETBACK (m)	3 m	3 m
162A (Table) (viii)	MIN. CORNER SIDE YARD SETBACK (m)	3 m	3 m
162A (Table) (ix)	MIN. REAR YARD SETBACK (m)	6 m	3 m
162A (Table) (x)	MIN. INTERIOR YARD SETBACK (m)	1.2 m	N/A
101 (Table)	RESIDENT PARKING - TYPE A [30 @ 0.75/unit]	22.5	45
	TYPE B/C/D [95 @ 0.75/unit]	71.25	95
102 (Table)	VISITOR PARKING (1.25 @ 0.1/unit)	12.5	0
131 (Table) (1)	MIN. WIDTH OF PRIVATE WAY	6 m	6.5 m
131 (Table) (2)	SETBACK OF ANY WALL OF A MIN. RES. BUILDING TO PRIVATE WAY	1.8 m	0.25 m
131 (Table) (3)	MIN. SETBACK OF GARAGE DOOR TO PRIVATE WAY	5.2 m	0.25 m

SECTION	ZONE PROVISION - TOWNHOUSE	REQUIRED	PROPOSED
164(1)	MIN. LOT WIDTH (m) - TYPE A TOWNHOUSE	6 m	5.79 m
	TYPE B TOWNHOUSE	6 m	4.75 m
	TYPE C TOWNHOUSE	6 m	7.02 m
164(1)	MIN. LOT AREA (m ²) - TYPE A	150 m ²	6.41 m
	TYPE B	150 m ²	104.80 m ²
	TYPE C	150 m ²	85.97 m ²
	TYPE D	150 m ²	136.22 m ²
164(1)	MAX. BUILDING HEIGHT (m)	11 m	11.62 m
164(1)	MIN. FRONT YARD SETBACK (m)	3 m	11 m
164(1)	MIN. CORNER SIDE YARD SETBACK (m)	3 m	3 m
164(1)	MIN. REAR YARD SETBACK (m)	6 m	3 m
164(1)	MIN. INTERIOR YARD SETBACK (m)	1.2 m	0.25 m
101 (Table)	RESIDENT PARKING - TYPE A	0.75/unit	1.5/unit
	TYPE B, C, D	0.75/unit	1.0/unit
102 (Table)	VISITOR PARKING	0.1/unit	0

SECTION	ADDITIONAL PROVISIONS	REQUIRED	PROPOSED
57(2)	Corner sight triangle	TBD	N/A
65(2)	Permitted projections into rear yards	1 m	TBD
65(3)	Eaves, eave-frights, gutters	0.6 m	TBD
65(4)	Slit, bell courses, cornices, parapets, pilasters	1.8 m	TBD
65(4)	Canopies, awnings	>0.6m to lot line	N/A
65(5)	Fire escapes, open stairways, stoop	2 m	0.89 m
65(6)	Covered or uncovered balcony, porch, deck	1 m	TBD
65(7)	Bay window	1 m	TBD
65(8)	Air conditioner condenser, heat pump	3 m	N/A
103(3)(b)	Min. shared driveway width	2.6 x 5.2 m	N/A
106(1)(a)	Min. perpendicular parking space size	2.6 x 6.7 m	N/A
106(1)(b)	Min. parallel parking space size	6.7 m	N/A
107(1)(a)(i)	Min. driveway width to parking lot	6.7 m	N/A
107 (Table)	Min. aisle width to spaces	2.6 m	N/A
107(2)	Min. driveway width to garage	1.8 m	1.8 m
109(3)(b)	Max. walkway width permitted in yard	15%	N/A
110(1)	Min. % of parking lot area landscaped	1.5 m	N/A
110 (Table)	Min. landscape buffer width parking lot to lot line	3 m	N/A
110(3)(b)	Min. waste collection setback to lot line		



DATE	DESCRIPTION	BY
Dec 14, 2017	Issue for Second Submission to City	SP
Nov 30, 2017	Revision to site plan tables	SP
Oct 20, 2017	General Revision	SP
Aug 10, 2017	Issue for Site Plan Control Submission	SP
Aug 3, 2017	Issue for Canada Lands Company review	SP
Jul 28, 2017	Draft for review	SP
Jul 28, 2017	REVISION	BY

GENERAL NOTES

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- SITE PLAN PREPARED IN ACCORDANCE WITH PLAN 441-181 AND PLAN 48-30116. PREPARED BY ANNIS OULIVIAN, VOLLEBEK LTD.
- CURBSIDE GARAGE PICK-UP ARE DESIGNED TO ACCOMMODATE CURBSIDE GARAGE PICK-UP.
- NEW AREAS ARE INTENDED FOR PUBLIC ACCESS.
- ALL MATERIALS AND CURBS TO BE TIED INTO PUBLIC ROW WHERE APPLICABLE.

PROJECT TEAM

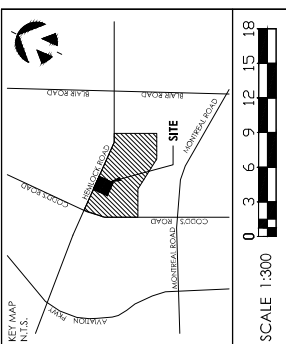
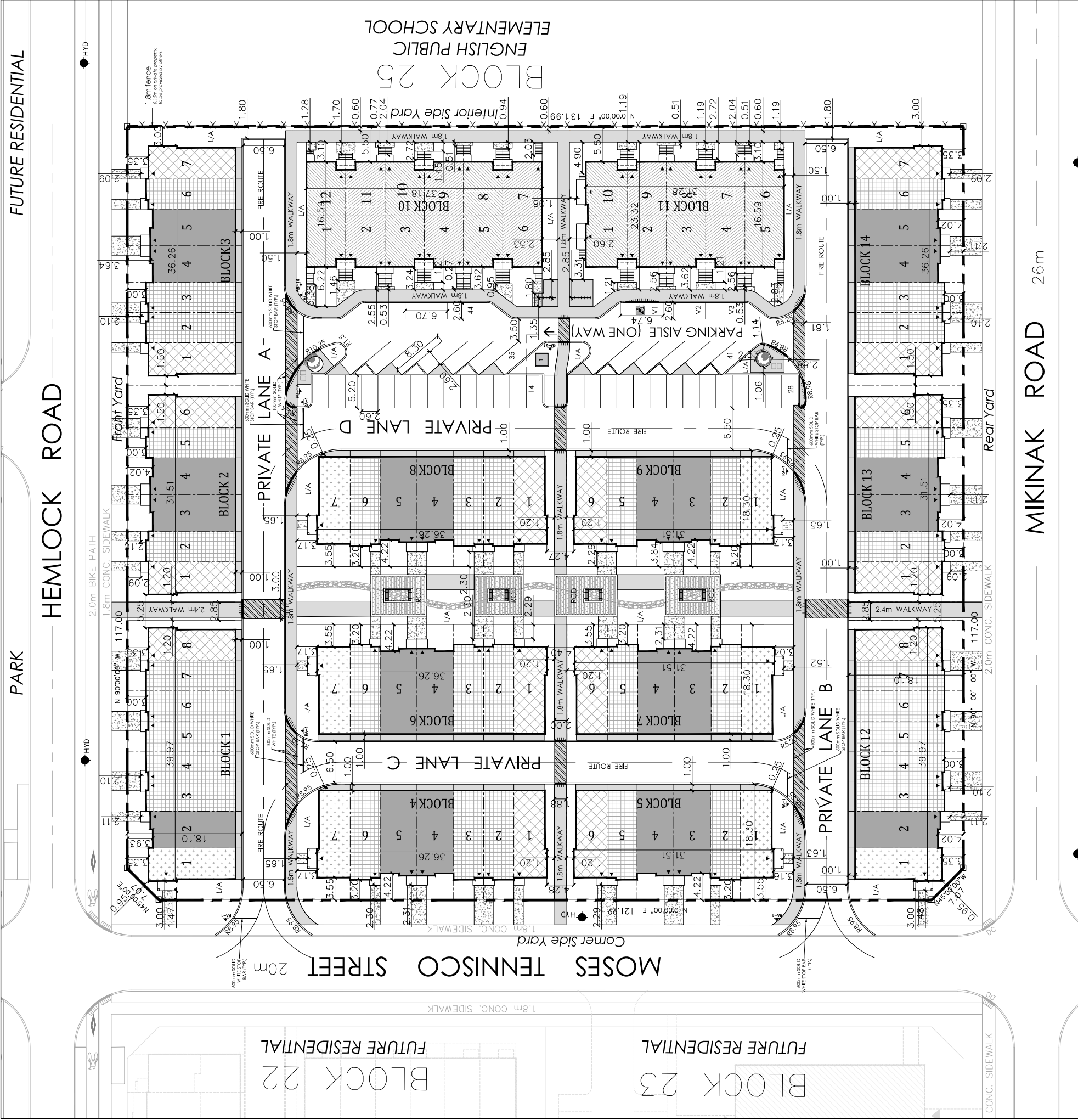
MECHANICAL: **NAK** (NAK & COMPANY INC.)
ELECTRICAL: **NAK** (NAK & COMPANY INC.)
PLUMBING: **NAK** (NAK & COMPANY INC.)
ARCHITECT: **NOVATECH** (NOVATECH ARCHITECTURE)
CIVIL ENGINEER: **Q4A** (Q4A ENGINEERING)
GEOTECHNICAL & STRUCTURAL: **DEEL** (DEEL ENGINEERING)
LANDSCAPE ARCHITECT: **paterson group** (PATERSON GROUP)

WATERIDGE VILLAGE: PHASE 1B
BLOCK 15
335 ST. LAURENT BLVD.
PART OF LOT 22
CONCESSION 1 (OTTAWA FRONT)
GEOGRAPHIC TOWNSHIP OF GLOUCESTER
REGISTERED PLAN 1557
CITY OF OTTAWA

FILE: **BLOCK 15 SITE PLAN**

DATE: December 14, 2017
DRAWN BY: SP
CHECKED BY: CR
JOB NO.: Mattamy - Wateridge

A1



SITE STATISTICS AND DEVELOPMENT DATA

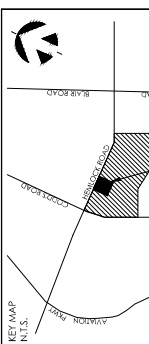
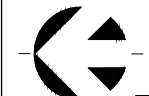
SITE AREA	16,075.91 m ²
PAVED AREA	4,634.74 m ² (29%)
LANDSCAPED AREA	4,874.19 m ² (30%)
TOTAL BUILDING COVERAGE	6,766.98 m ² (42%)
TOTAL GROSS FLOOR AREA	17,377 m ²
TOWNHOUSE TYPE A (22 @ 170 m ²)	3,740 m ²
TOWNHOUSE TYPE B (33 @ 149 m ²)	5,215 m ²
TOWNHOUSE TYPE C (8 @ 171 m ²)	1,368 m ²
TOWNHOUSE TYPE D (14 @ 166m ²)	2,466 m ²
STACKED (22 @ 92 m ²)	2,024 m ²
STACKED (22 @ 117 m ²)	2,574 m ²
DENSITY (UPH)	77.8
ZONE CATEGORY	RS1(23/12)

DWELLING BLOCK	DWELLING TYPE	AREA (m ²)	UNITS
BLOCK 1	REAR LANE TOWNS	547.56	8
BLOCK 2	REAR LANE TOWNS	424.68	6
BLOCK 3	REAR LANE TOWNS	491.14	7
BLOCK 4	REAR LANE TOWNS	491.24	7
BLOCK 5	REAR LANE TOWNS	424.68	6
BLOCK 6	REAR LANE TOWNS	491.24	7
BLOCK 7	REAR LANE TOWNS	424.68	6
BLOCK 8	REAR LANE TOWNS	491.24	7
BLOCK 9	REAR LANE TOWNS	424.68	6
BLOCK 10	STACKED TOWNS	593.69	24
BLOCK 11	STACKED TOWNS	498.80	20
BLOCK 12	REAR LANE TOWNS	547.56	8
BLOCK 13	REAR LANE TOWNS	424.68	6
BLOCK 14	REAR LANE TOWNS	491.14	7
TOTAL			125

SECTION	ZONE PROVISION - PLANNED UNIT DEVELOPMENT	REQUIRED	PROPOSED
162A (Table) (iv)	MIN. LOT WIDTH (m)	N/A	N/A
162A (Table) (vi)	MIN. LOT AREA (m ²)	1,400 m ²	16,075.91 m ²
162A (Table) (vii)	MAX. BUILDING HEIGHT (m)	11 m	13.8 m
162A (Table) (viii)	MIN. FRONT YARD SETBACK (m)	3 m	3 m
162A (Table) (ix)	MIN. CORNER SIDE YARD SETBACK (m)	3 m	3 m
162A (Table) (x)	MIN. REAR YARD SETBACK (m)	1.20 m	5.5 m
101 (Table)	MIN. INTERIOR YARD SETBACK (m)	16.5	33
	RESIDENT PARKING - TYPE A (22 @ 0.75/unit)	12.5	59
	TYPE B/C/D (89 @ 0.75/unit)	22	44
	STACKED (44 @ 0.5/unit)	4.4	3
102 (Table)	VISITOR PARKING (125 @ 0.1/unit)	6 m	6.5 m
131 (Table) (1)	MIN. WIDTH OF PRIVATE WAY	1.8 m	0.25 m
131 (Table) (2)	SETBACK OF ANY WALL OF A MIN. RES. BUILDING TO PRIVATE WAY		
131 (Table) (3)	MIN. SETBACK OF GARAGE DOOR TO PRIVATE WAY	5.2	0.25 m
111A (Table)	BICYCLE PARKING (STACKED)	22 (0.5/unit)	28

SECTION	ZONE PROVISION - TOWNHOUSE	REQUIRED	PROPOSED
164(1)	MIN. LOT WIDTH (m) - TYPE A TOWNHOUSE	6 m	5.79 m
164(1)	MIN. LOT AREA (m ²) - TYPE A TOWNHOUSE	6 m	4.75 m
164(1)	MIN. LOT AREA (m ²) - TYPE B TOWNHOUSE	6 m	4.75 m
164(1)	MIN. LOT AREA (m ²) - TYPE C TOWNHOUSE	150 m ²	104.8 m ²
164(1)	MIN. LOT AREA (m ²) - TYPE D TOWNHOUSE	150 m ²	83.97 m ²
164(1)	MAX. BUILDING HEIGHT (m)	150 m ²	134.04 m ²
164(1)	MIN. FRONT YARD SETBACK (m)	11 m	11.5 m
164(1)	MIN. CORNER SIDE YARD SETBACK (m)	3 m	3 m
164(1)	MIN. REAR YARD SETBACK (m)	3 m	3 m
164(1)	MIN. INTERIOR YARD SETBACK (m)	6 m	0.25 m
101 (Table)	RESIDENT PARKING - TYPE A	1.2 m	1.2 m
102 (Table)	VISITOR PARKING	0.75/unit	1.5/unit

SECTION	ADDITIONAL PROVISIONS	REQUIRED	PROPOSED
57(2)	Corner sight triangle	TBD	N/A
65(2)	Permitted projections into rear yards	1 m	TBD
65(3)	Eaves, eave-frights, gutters	0.6 m	TBD
65(4)	Sills, belt courses, cornices, parapets, pilasters	1.8 m	TBD
65(5)	Canopies, awnings	>0.6m to lot line	0.27 m
65(6)	Fire escapes, open stairways, stoop	2 m	1.52 m
65(7)	Covered or uncovered balcony, porch, deck	1 m	N/A
65(8)	Bay window	1 m	N/A
100(3)(b)	Air conditioner condenser, heat pump	3 m	N/A
104(1)(c)	Min. perpendicular parking space size	2.6 x 5.2 m	2.6 x 5.2 m
104(1)(b)	Min. parallel parking space size	2.6 x 6.7 m	2.6 x 6.8 m
107(1)(a)(i)	Min. driveway width to parking lot	6.7 m	N/A
107 (Table)	Min. aisle width to spaces - 90 degrees	4.5 m	4.5 m
	40 degrees	3.5 m	3.5 m
107(2)	Min. driveway width to garage	2.6 m	2.6 m
109(3)(b)	Max. walkway width permitted in yard	1.8 m	1.8 m
110(1)	Min. % of parking lot area landscaped	15%	TBD
110 (Table)	Min. landscape buffer width parking lot to lot line	1.5 m	0 m
110(3)(b)	Min. waste collection setback to lot line	3 m	3 m



SITE STATISTICS AND DEVELOPMENT DATA

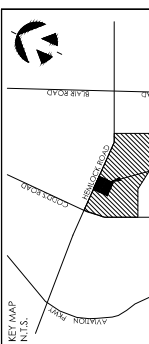
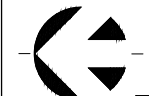
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STACKED (22 @ 92 m ²)	2,024 m ²
STACKED (22 @ 117 m ²)	2,574 m ²
DENSITY (UPH)	77.8
ZONE CATEGORY	RS1(23/12)

DWELLING BLOCK	DWELLING TYPE	AREA (m ²)	UNITS
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BLOCK 10	STACKED TOWNS	593.69	24
BLOCK 11	STACKED TOWNS	498.80	20
BLOCK 12	REAR LANE TOWNS	547.56	8
BLOCK 13	REAR LANE TOWNS	424.68	6
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TOTAL			125

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162A (Table) (viii)	MIN. FRONT YARD SETBACK (m)	3 m	3 m
162A (Table) (ix)	MIN. CORNER SIDE YARD SETBACK (m)	3 m	3 m
162A (Table) (x)	MIN. REAR YARD SETBACK (m)	1.20 m	5.5 m
101 (Table)	MIN. INTERIOR YARD SETBACK (m)	16.5	33
	RESIDENT PARKING - TYPE A (22 @ 0.75/unit)	12.5	59
	TYPE B/C/D (89 @ 0.75/unit)	22	44
	STACKED (44 @ 0.5/unit)	4.4	3
102 (Table)	VISITOR PARKING (125 @ 0.1/unit)	6 m	6.5 m
131 (Table) (1)	MIN. WIDTH OF PRIVATE WAY	1.8 m	0.25 m
131 (Table) (2)	SETBACK OF ANY WALL OF A MIN. RES. BUILDING TO PRIVATE WAY		
131 (Table) (3)	MIN. SETBACK OF GARAGE DOOR TO PRIVATE WAY	5.2	0.25 m
111A (Table)	BICYCLE PARKING (STACKED)	22 (0.5/unit)	28

SECTION	ZONE PROVISION - TOWNHOUSE	REQUIRED	PROPOSED
164(1)	MIN. LOT WIDTH (m) - TYPE A TOWNHOUSE	6 m	5.79 m
164(1)	MIN. LOT AREA (m ²) - TYPE A TOWNHOUSE	6 m	4.75 m
164(1)	MIN. LOT AREA (m ²) - TYPE B TOWNHOUSE	6 m	4.75 m
164(1)	MIN. LOT AREA (m ²) - TYPE C TOWNHOUSE	150 m ²	104.8 m ²
164(1)	MIN. LOT AREA (m ²) - TYPE D TOWNHOUSE	150 m ²	83.97 m ²
164(1)	MAX. BUILDING HEIGHT (m)	150 m ²	134.04 m ²
164(1)	MIN. FRONT YARD SETBACK (m)	11 m	11.5 m
164(1)	MIN. CORNER SIDE YARD SETBACK (m)	3 m	3 m
164(1)	MIN. REAR YARD SETBACK (m)	3 m	3 m
164(1)	MIN. INTERIOR YARD SETBACK (m)	6 m	0.25 m
101 (Table)	RESIDENT PARKING - TYPE A	1.2 m	1.2 m
102 (Table)	VISITOR PARKING	0.75/unit	1.5/unit

SECTION	ADDITIONAL PROVISIONS	REQUIRED	PROPOSED
57(2)	Corner sight triangle	TBD	N/A
65(2)	Permitted projections into rear yards	1 m	TBD
65(3)	Eaves, eave-frights, gutters	0.6 m	TBD
65(4)	Sills, belt courses, cornices, parapets, pilasters	1.8 m	TBD
65(5)	Canopies, awnings	>0.6m to lot line	0.27 m
65(6)	Fire escapes, open stairways, stoop	2 m	1.52 m
65(7)	Covered or uncovered balcony, porch, deck	1 m	N/A
65(8)	Bay window	1 m	N/A
100(3)(b)	Air conditioner condenser, heat pump	3 m	N/A
104(1)(c)	Min. perpendicular parking space size	2.6 x 5.2 m	2.6 x 5.2 m
104(1)(b)	Min. parallel parking space size	2.6 x 6.7 m	2.6 x 6.8 m
107(1)(a)(i)	Min. driveway width to parking lot	6.7 m	N/A
107 (Table)	Min. aisle width to spaces - 90 degrees	4.5 m	4.5 m
	40 degrees	3.5 m	3.5 m
107(2)	Min. driveway width to garage	2.6 m	2.6 m
109(3)(b)	Max. walkway width permitted in yard	1.8 m	1.8 m
110(1)	Min. % of parking lot area landscaped	15%	TBD
110 (Table)	Min. landscape buffer width parking lot to lot line	1.5 m	0 m
110(3)(b)	Min. waste collection setback to lot line	3 m	3 m



SITE STATISTICS AND DEVELOPMENT DATA

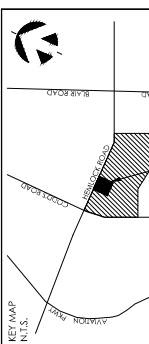
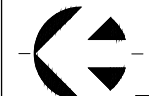
SITE AREA	16,075.91 m ²
PAVED AREA	4,634.74 m ² (29%)
LANDSCAPED AREA	4,874.19 m ² (30%)
TOTAL BUILDING COVERAGE	6,766.98 m ² (42%)
TOTAL GROSS FLOOR AREA	17,377 m ²
TOWNHOUSE TYPE A (22 @ 170 m ²)	3,740 m ²
TOWNHOUSE TYPE B (33 @ 149 m ²)	5,215 m ²
TOWNHOUSE TYPE C (8 @ 171 m ²)	1,368 m ²
TOWNHOUSE TYPE D (14 @ 166m ²)	2,466 m ²
STACKED (22 @ 92 m ²)	2,024 m ²
STACKED (22 @ 117 m ²)	2,574 m ²
DENSITY (UPH)	77.8
ZONE CATEGORY	RS1(23/12)

DWELLING BLOCK	DWELLING TYPE	AREA (m ²)	UNITS
BLOCK 1	REAR LANE TOWNS	547.56	8
BLOCK 2	REAR LANE TOWNS	424.68	6
BLOCK 3	REAR LANE TOWNS	491.14	7
BLOCK 4	REAR LANE TOWNS	491.24	7
BLOCK 5	REAR LANE TOWNS	424.68	6
BLOCK 6	REAR LANE TOWNS	491.24	7
BLOCK 7	REAR LANE TOWNS	424.68	6
BLOCK 8	REAR LANE TOWNS	491.24	7
BLOCK 9	REAR LANE TOWNS	424.68	6
BLOCK 10	STACKED TOWNS	593.69	24
BLOCK 11	STACKED TOWNS	498.80	20
BLOCK 12	REAR LANE TOWNS	547.56	8
BLOCK 13	REAR LANE TOWNS	424.68	6
BLOCK 14	REAR LANE TOWNS	491.14	7
TOTAL			125

SECTION	ZONE PROVISION - PLANNED UNIT DEVELOPMENT	REQUIRED	PROPOSED
162A (Table) (iv)	MIN. LOT WIDTH (m)	N/A	N/A
162A (Table) (vi)	MIN. LOT AREA (m ²)	1,400 m ²	16,075.91 m ²
162A (Table) (vii)	MAX. BUILDING HEIGHT (m)	11 m	13.8 m
162A (Table) (viii)	MIN. FRONT YARD SETBACK (m)	3 m	3 m
162A (Table) (ix)	MIN. CORNER SIDE YARD SETBACK (m)	3 m	3 m
162A (Table) (x)	MIN. REAR YARD SETBACK (m)	1.20 m	5.5 m
101 (Table)	MIN. INTERIOR YARD SETBACK (m)	16.5	33
	RESIDENT PARKING - TYPE A (22 @ 0.75/unit)	12.5	59
	TYPE B/C/D (89 @ 0.75/unit)	22	44
	STACKED (44 @ 0.5/unit)	4.4	3
102 (Table)	VISITOR PARKING (125 @ 0.1/unit)	6 m	6.5 m
131 (Table) (1)	MIN. WIDTH OF PRIVATE WAY	1.8 m	0.25 m
131 (Table) (2)	SETBACK OF ANY WALL OF A MIN. RES. BUILDING TO PRIVATE WAY		
131 (Table) (3)	MIN. SETBACK OF GARAGE DOOR TO PRIVATE WAY	5.2	0.25 m
111A (Table)	BICYCLE PARKING (STACKED)	22 (0.5/unit)	28

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SECTION	ADDITIONAL PROVISIONS	REQUIRED	PROPOSED
57(2)	Corner sight triangle	TBD	N/A
65(2)	Permitted projections into rear yards	1 m	TBD
65(3)	Eaves, eave-frights, gutters	0.6 m	TBD
65(4)	Sills, belt courses, cornices, parapets, pilasters	1.8 m	TBD
65(5)	Canopies, awnings	>0.6m to lot line	0.27 m
65(6)	Fire escapes, open stairways, stoop	2 m	1.52 m
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107 (Table)	Min. aisle width to spaces - 90 degrees	4.5 m	4.5 m
	40 degrees	3.5 m	3.5 m
107(2)	Min. driveway width to garage	2.6 m	2.6 m
109(3)(b)	Max. walkway width permitted in yard	1.8 m	1.8 m
110(1)	Min. % of parking lot area landscaped	15%	TBD
110 (Table)	Min. landscape buffer width parking lot to lot line	1.5 m	0 m
110(3)(b)	Min. waste collection setback to lot line	3 m	3 m



SITE STATISTICS AND DEVELOPMENT DATA

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