

PLANNING RATIONALE



324-326 DONALD ST

“THE IMPERIAL”

PRESENTED TO THE CITY OF OTTAWA FOR SITE PLAN CONTROL

ON DEC 8th, 2017

By THERIAULT HOME DESIGN AND BUILD INC

ON BEHALF OF ALFRED ABBOD, OWNER OF UPSCALE HOMES



TABLE OF CONTENTS

1.0	PROJECT SUMMARY	3
2.0	SUBJECT PROPERTY	3
2.1	NEIGHBOURHOOD PROPERTIES AND ANALYSIS	5
3.0	PROJECT PROPOSAL	10
3.1	DESIGN OBJECTIVE	10
3.2	RESIDENTIAL DESIGN CONSIDERATIONS	11
3.3	UNIT SUMMARY	16
3.4	ACCESSIBILITY	16
3.5	PROPERTY MANAGEMENT	16
3.6	WASTE MANAGEMENT	16
4.0	ZONING REQUIREMENTS	17
4.1	PROPOSED SITE PLAN	18
4.2	REGULAR PARKING AND VISITOR PARKING	21
4.3	LANDSCAPING FOR PARKING LOTS	22
4.4	BICYCLE PARKING	23
4.5	AMENITY SPACE	24
4.6	LANDSCAPING PROVISIONS	28

1.0 PROPOSAL SUMMARY

Combining 324 and 326 Donald Street to create a 25-unit apartment building that supports a growing and developing community while promoting a a diverse and well rounded community. The property is designated as General Urban Area within the Official Plan.



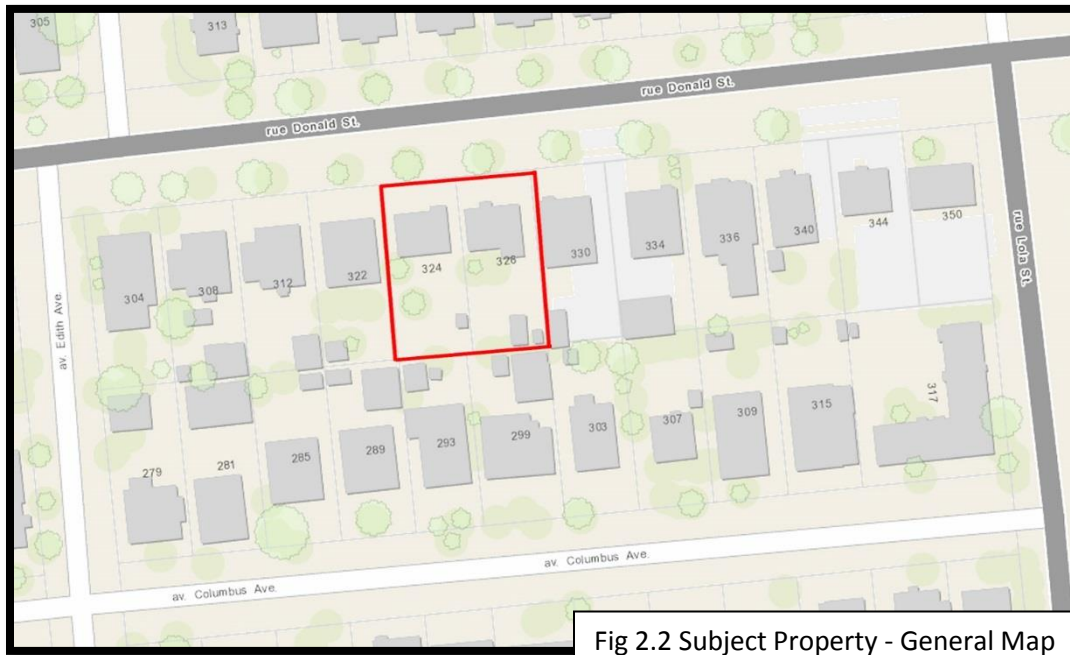
Fig 1.1 Proposed Concept

2.0 SUBJECT PROPERTY

The current use is two detached single-family dwellings.



Fig 2.1 Existing Subject Property



2.1 NEIGHBOURHOOD PROPERTIES AND ANALYSIS

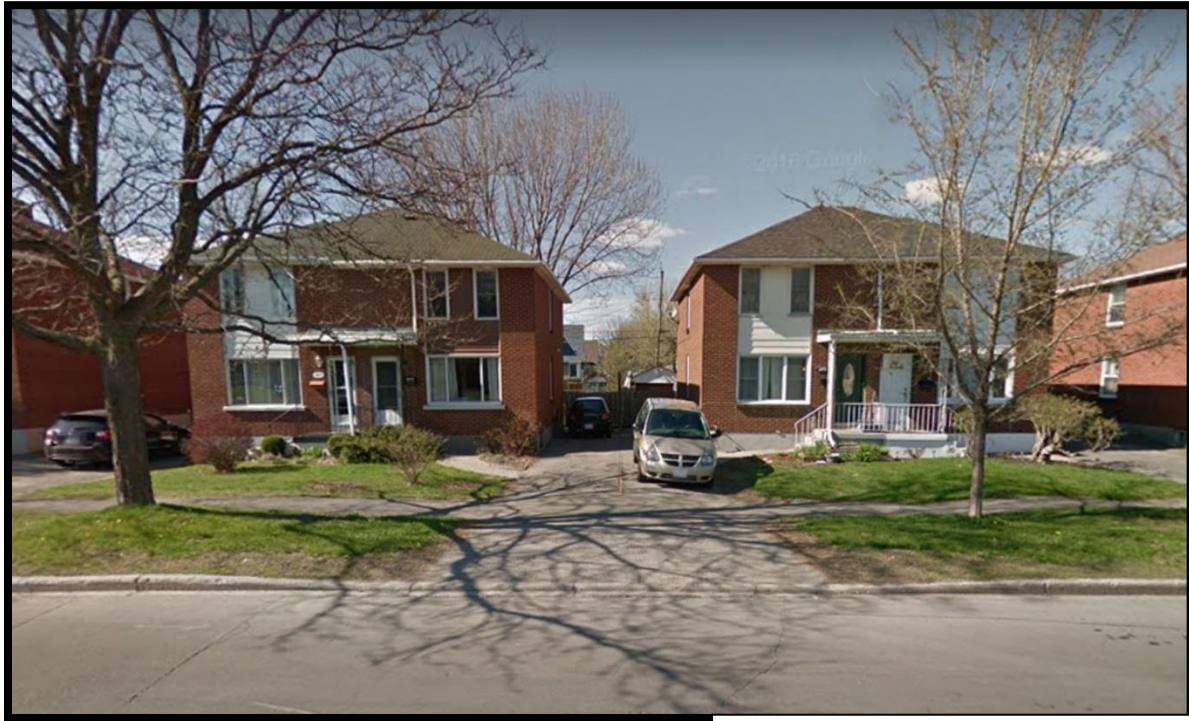


Fig 2.4 Abutting Northern Properties

Properties located directly to the North of the subject property are characterized as 2-storey Semi-Detached Dwellings. On this section of Donald St, the residential use is primarily the same, except for the commercial properties located to the East of the Subject Property. Many of these properties contain rental units or rooms.



Fig 2.5 Expanded Northern Street View



Fig 2.6 Abutting Western Properties

Abutting the property directly to the West is a three-storey tri-plex characterized as an Infil development, further supporting a high density rental proposition. On this section of Donald street, the Western properties consist of single family dwellings.

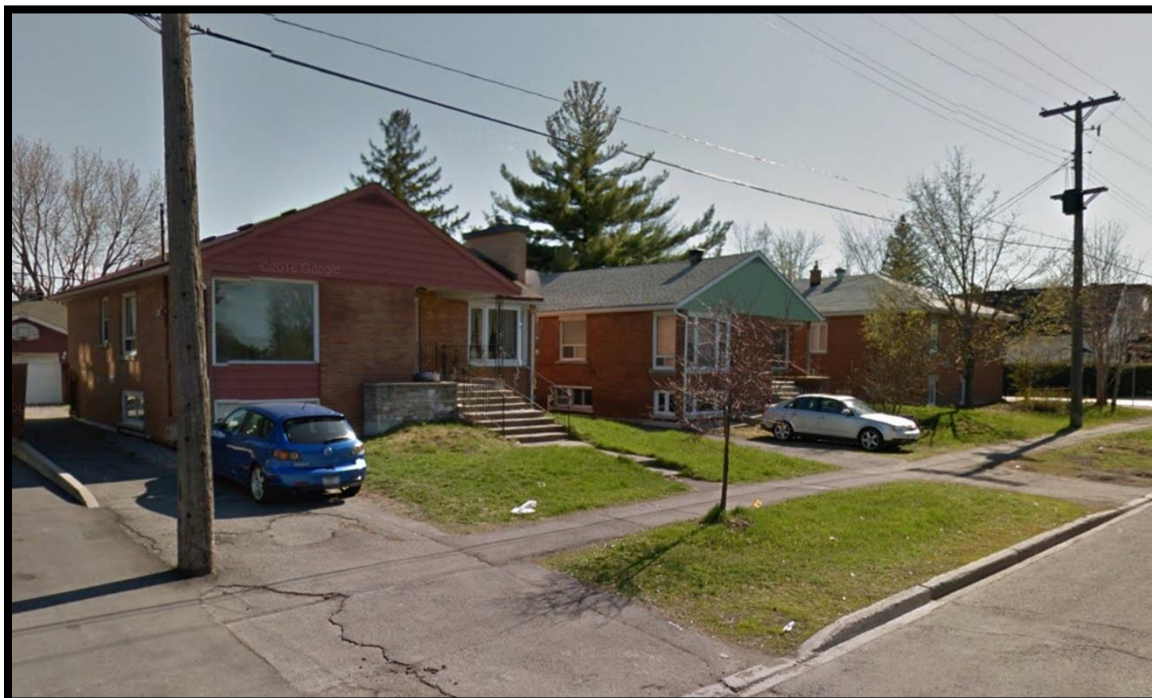


Fig 2.7 Expanded Western Street View



Fig 2.8 Abutting Eastern Property

Abutting the property directly to the East is a 2 ½ storey tri-plex characterized as an established dwelling, further supporting a high density rental proposition. On this section of Donald street, the Eastern properties consist of multi-unit dwellings, blending into the Mixed Used/Commercial designation at the Eastern most intersection at Donald and Lola.

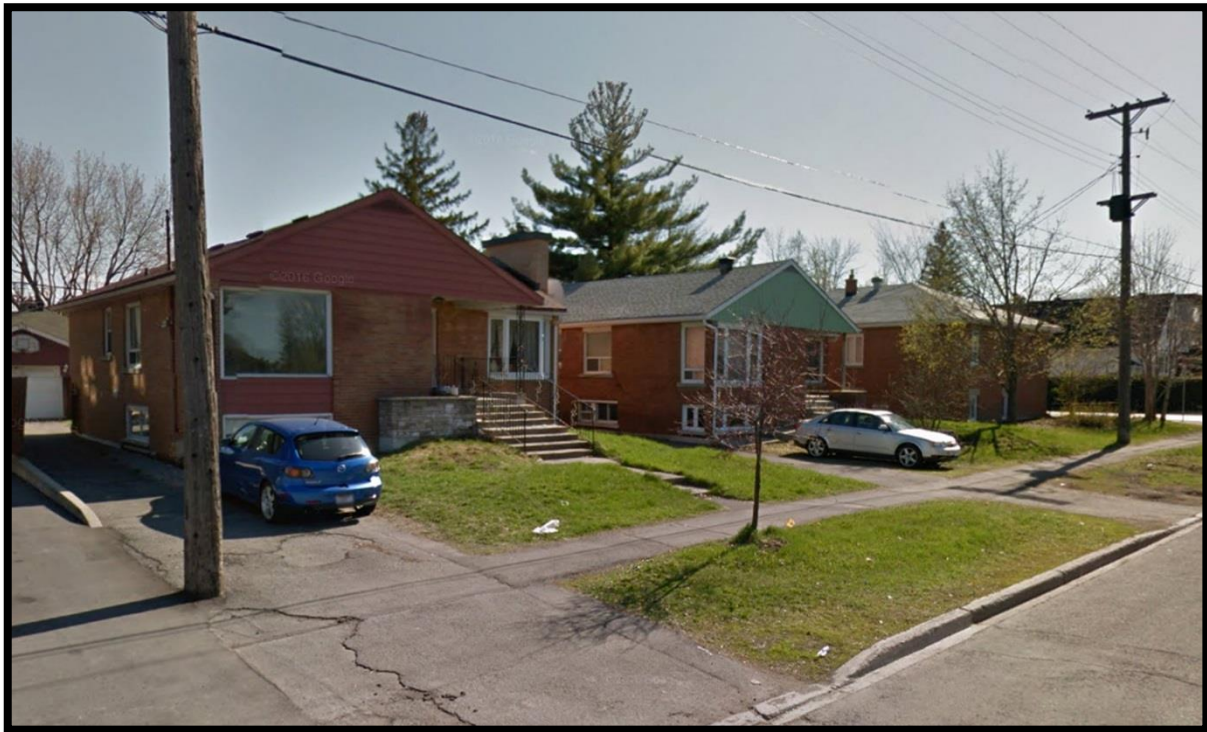


Fig 2.9 Expanded Eastern Street View

The Mixed Use/Commercial zoning at the intersection of Donald and Lola Street helps to further support densification within the neighbourhood while supporting local businesses and creating jobs.



2.10 Commercial Development on Donald Street



2.11 Commercial Development on Donald Street



2.12 3D Perspective Map with Proposal in Place



2.13 Street view with Proposed Building in Place

3.0 PROJECT PROPOSAL



Fig 3.1 Perspective drawing of Project

3.1 DESIGN OBJECTIVE

The primary design objectives of the project is:

- a) To create the apartment building in a style typical of Residential Construction that maintains residential integrity and support gentrification.
- b) To utilize the allowable floor space to create a balanced mix of bachelor units, 1-bedroom and 2-bedroom units to ensure that the building appeals to families, single individuals, students and the aging population, creating diversity within the neighbourhood.
- c) To utilize mixed materials to create a building that is visually appealing, and creates interest within the streetscape.

3.2 RESIDENTIAL DESIGN CONSIDERATIONS



Fig 3.2 Proposal Drawing showing setback third floor

As per the remarks generated from the Official Pre-Consultation held on October 5th, 2017, we have set back the third story of the building to help soften the massing, utilizing the space to create balconies and provide additional amenity space to the third-floor units.

By adding a pergola to cover the balcony, we add a further residential element. Furthermore, we provide a shaded buffer against the direct sunlight, helping to alleviate the summer heat on the uppermost floor.



Fig 3.3 Proposal Drawing showing the pergola



Fig 3.4 Proposal Drawing showing the Gable at the front of the building

Utilizing a gabled roof at the front of the building brings an extra residential element while creating a focal point of the building and emphasizing the main entrance.



Fig 3.5 Proposal Drawing showing the garden within the accessible ramp

Creating a garden space within the Accessibility ramp to alleviate the institutional feel that the ramp creates.



Fig 3.6 Proposal Drawing showing the combined roof style

While a hip roof was proposed and supported at the Official Pre-Consultation; which would have required a minor variance for height, the challenge then became properly addressing storm water management. Many options were considered, and while a completely flat roof would have been most beneficial in addressing storm water management, it was unanimous that a completely flat roof would deflect from the residential nature of the building. By creating a sloped and flat roof profile, we were able to remain within the height requirements of the zone.



Fig 3.7 Proposal Drawing of the Front Elevation showing the proposed roof profile

By utilizing mixed materials, the façade of the building will maintain Residential integrity while creating a visual focal point along this dense traffic corridor, but also help provide some visual interest on the rear of the property.



Fig 3.8 - Proposal Drawings showing mixed materials at the front, lower portion of the building



Fig 3.9 - Proposal Drawings showing mixed materials at the front, upper portion of the building.

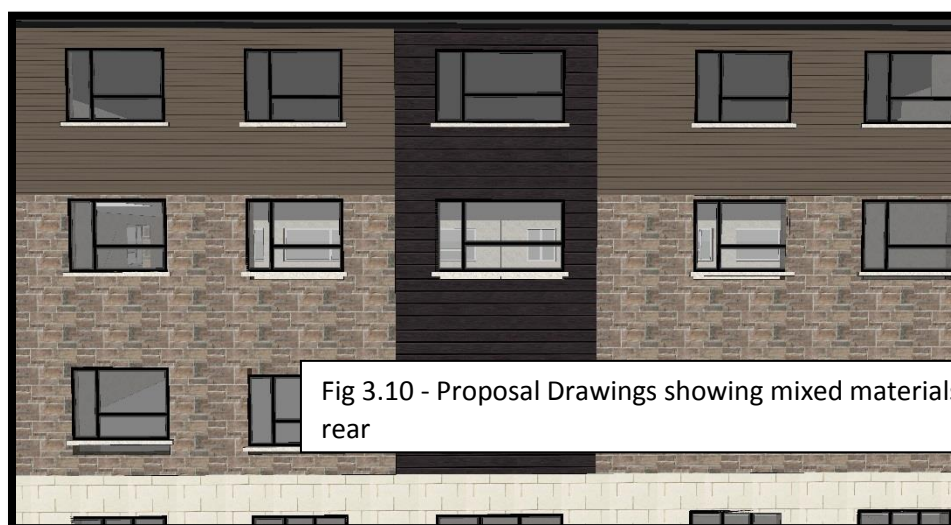
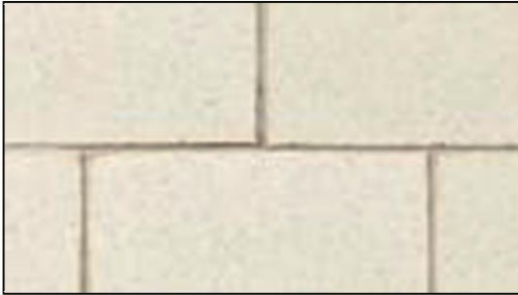


Fig 3.10 - Proposal Drawings showing mixed materials at the rear

MATERIAL SPECIFICATION



Brampton Brick: Profile Series Block

Specification:
Iceland White in Quartz or Suave



Brampton Brick: Vivace Canada Series

Specification: Bergamo



Brampton Brick: Designer Series Clay Brick

Specification: Raven, with
black mortar



Wide Band Vinyl, Aluminum or Fibre Cement siding in Black or Charcoal



Thin Band Vinyl, Aluminum or Fibre Cement siding in a complimentary hue

Fig 3.11 Material Specifications

3.3 UNIT SUMMARY

There will be 25 units in total, with 5 units in the lower level, 6 units in the ground level, 7 units in the second floor and 7 units in the third level. There will be a total of 4 bachelor units, 14 1-bedroom units and 7 2-bedroom units.

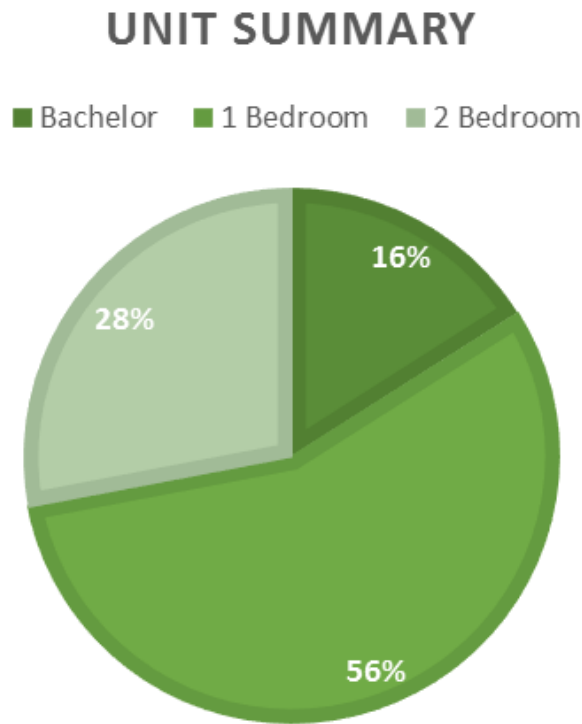


Fig 3.12 Chart for Unit Summary

SUITE	TYPE	ACCESSIBLE
002	1 BEDROOM	
004	BACHELOR	
006	1 BEDROOM	
009	1 BEDROOM	
011	2 BEDROOM	
101	1 BEDROOM	
102	1 BEDROOM	✓
103	1 BEDROOM	
104	1 BEDROOM	
105	2 BEDROOM	
106	1 BEDROOM	
201	2 BEDROOM	
202	2 BEDROOM	
203	BACHELOR	
204	BACHELOR	
205	1 BEDROOM	
206	1 BEDROOM	✓
207	2 BEDROOM	
301	1 BEDROOM	
302	2 BEDROOM	
303	1 BEDROOM	
304	BACHELOR	
305	1 BEDROOM	
306	1 BEDROOM	✓

Fig 3.13 Chart for Unit Summary

3.4 ACCESSIBILITY

3 Accessible units will be provided on each floor above grade, totally 12% of all units. 1 Accessible parking spot will be provided, and a ramp will be provided at the front of the building; in addition to the building being designed with Barrier-Free Requirements.

3.5 PROPERTY MANAGEMENT

A property manager's office will be provided on the lower level of the apartment.

3.6 WASTE MANAGEMENT

A Garbage Room will be provided at grade for garbage disposal. Each level will be provided with a chute, and the room will only be accessible by the property manager. A station for recycling and green waste will be provided on the exterior of the building. Garbage collection will be provided by a private collection service.

4.0 ZONING REQUIREMENTS

The subject properties are located at 324 and 326 Donald St, which are currently being used as single family dwellings. The proposed use of Low Rise Apartment Building is an approved use within the zoning by-law for the R4N zone in which it resides.

TABLE 162A – R4 SUBZONE PROVISIONS (OMB Order File N°: PL150797, issued July 25, 2016 - By-law 2015-228)

I Sub-Zone	II Prohibited Uses	III Principal Dwelling Types	IV Minimum Lot Width (m)	V Minimum Lot Area (m ²)	VI Maximum Building Height (m)	VII Minimum Front Yard Setback (m)	VIII Minimum Corner Side Yard Setback (m)	IX Minimum Rear Yard Setback (m)	X Minimum Interior Side Yard Setback (m)	XI End-notes (see Table 162B)
		Planned unit development	na	1,400	as per dwelling type	6	4.5	varies ¹	varies ¹	1
		Apartment dwelling, low rise, Stacked	18	540	11 ^{18,20}	6	4.5	varies ³	varies ³	3,18
N	None	Three Unit	15	450	11 ^{18,20}	6	4.5	varies ⁴	varies ⁶	4,6,18
		Detached, Duplex, Linked- detached	15	450	8 ²⁰	6	4.5	varies ⁴	varies ⁶	4,6
		Semi- Detached	7.5	225	8 ²⁰	6	4.5	varies ⁴	1.2	4
		Townhouse	6	180	11 ^{18,20}	6	4.5	varies ⁴	1.2	4,19

Fig 4.1 Chart for Unit Summary

The proposed building complies with the zoning requirements in the following ways:

- The proposed lot width is 30.5M, exceeding the minimum requirement by 12.5M
- The proposed lot area is 1085.8M², exceeding the minimum requirement by 545.8M²
- The proposed building height is 10.96M, just under the required 11M. While other uses within the zone are restricted to a maximum building height of 10M, a Low-Rise Apartment building is as per the column listed above.
- The proposed front yard setback is 6M, as permitted. The proposal includes a projection into the front yard to allow for the accessibility ramp.
- A corner yard setback does not apply in this case.
- The proposed rear yard set back is 11.474M, exceeding 25% of the lot depth to allow for a parking lot at the rear.
- The proposed interior side yard set back is 6m.

4.1 PROPOSED SITE PLAN

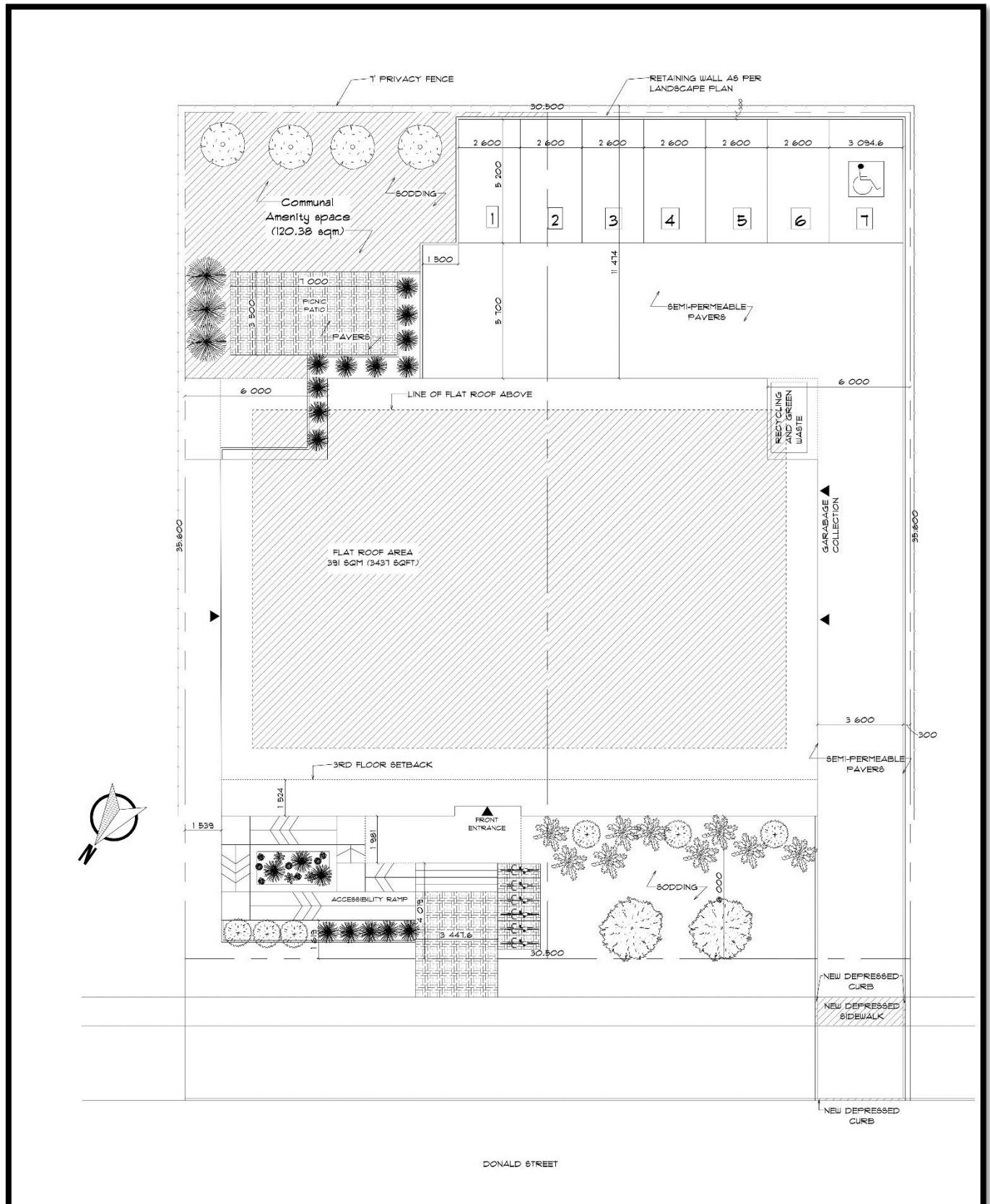


Fig 4.2 Proposed Site Plan



Fig 4.3 Perspective Drawings of Proposed Site



Fig 4.4 Perspective Drawings of Proposed Site

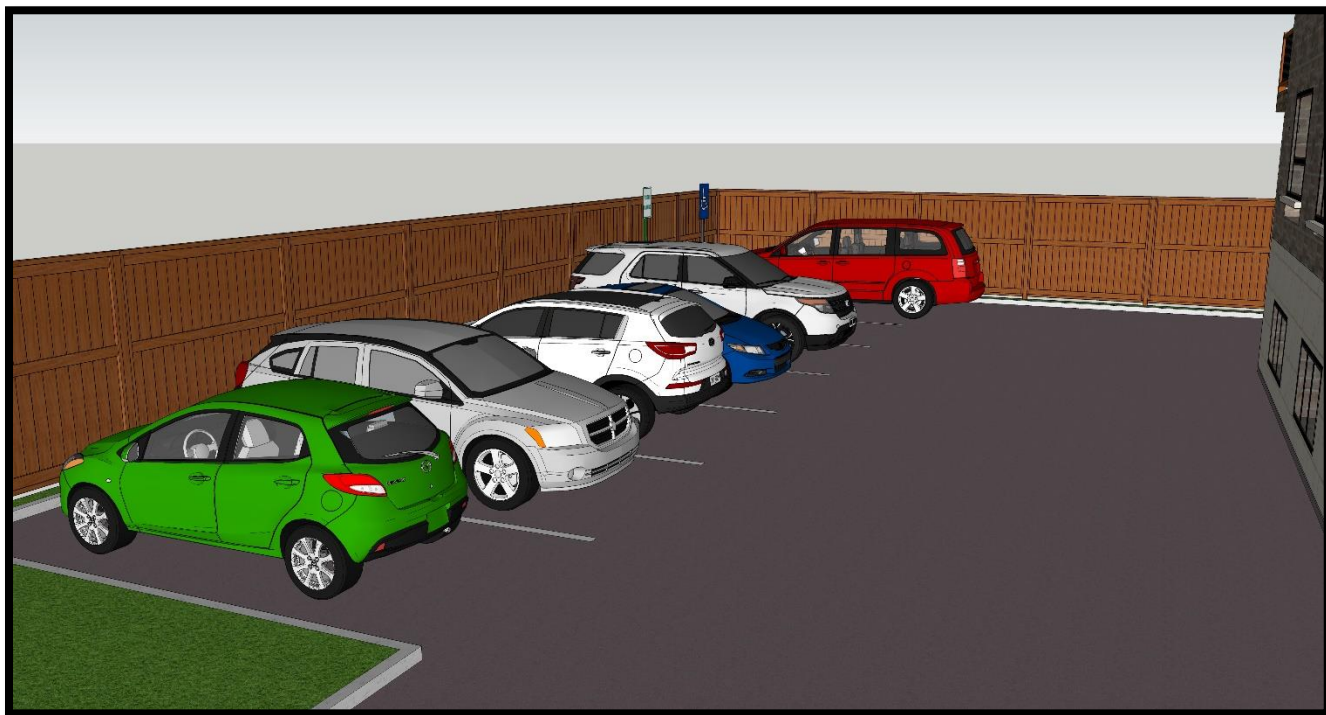


Fig 4.5 Perspective Drawings of Proposed Site showing Parking



Fig 4.6 Perspective Drawings of Proposed Site showing Waste Management

4.2 REGULAR PARKING AND VISITOR`S PARKING REQUIREMENTS

Parking space rates are as per the requirements outlined in Section 101 of by-law 2008-250.

The subject property is identified as Area ``X`` on schedule 1A, therefore off-street motor vehicle parking must be provided as per 101 (1).

As per 101 (3)(a) no off-street motor vehicle parking is required for the first 12 dwelling units.

As per Table 101, parking space rates for Low-Rise Apartment Dwellings are .5 per dwelling unit.

Parking Space Calculation:

Spaces for units 0-12 = 0

Spaces for units 13-25 = .5 x 13 = 6.5

7 PARKING SPACES REQUIRED.

Visitor parking space rates are as per the requirements outlined in Section 101 of by-law 2008-250.

The subject property is identified as Area ``X`` on schedule 1A, therefore off-street visitor motor vehicle parking must be provided as per 101 (1).

As per 102 (2) No visitors parking spaces are required for the first 12 dwellings units.

Visitor`s Parking Space Calculation:

Spaces for units 0-12 = 0

Spaces for units 13-25 = .1 x 13 = 1.3

2 VISITOR`S PARKING SPACES REQUIRED.

As per sections 101 and 102 of By-Law 2008-250, a total of 9 parking spots are required. Given the size of the site, and the challenges of storm water management, the proposal includes parking spaces for 7 spots, inclusive of visitor`s parking.

A minor variance will be required to reduce the requirement for either regular parking or visitor`s parking from a total of 9 to a total of 7.

4.3 LANDSCAPING PROVISIONS FOR PARKING LOTS

As per section 110 (1) 15% of the area of any parking lot must be provided as a perimeter or interior landscaped area.

Given that the lot interior sides and rear lot lines do not abut a street, there is no minimum required width for the landscaped buffer, therefore a width of .3 M is provided along the Eastern lot line, and the rear lot line. The Western edge of the parking lot abuts the landscaped Communal Amenity Space, therein providing a landscaped buffer.

LANDSCAPING CALCULATION:

Area of parking lot: 316.38 M²

Area of landscaped buffer: 137.61 M²

$155.61/316.68 = 49\%$



Fig 4.7 Site Plan Showing Landscaped buffer

4.4 BICYCLE PARKING

As per Table 111A, bicycle parking is required at a minimum rate of .5 per dwelling unit.

25 units x .5 = 12.5 required bicycle parking.

We have provided 13 parking allocations for bicycle.

We have incorporated a bicycle room into the main floor plan, directly accessible from the vestibule at the main entrance, as per Section 111 (4) and remarks generated from the Pre-Consultation. A total of 7 vertical bicycle parking spaces have been provided within the room. The remaining balance of 6 bicycle parking spaces have been provided in the exterior front yard directly abutting the main entrance to the building.



Fig 4.8 Perspective Drawing showing bicycle parking

4.5 COMMUNAL AMENITY SPACE

As per Table 137, Amenity space is amenity space is required to be provided at a rate of 15m² per dwelling up to 8 units, plus 6m² per unit in excess of 8.

AMENITY SPACE CALCULATION:

$$15\text{m}^2 \times 8 \text{ units} = 120\text{m}^2$$

$$6\text{m}^2 \times 17 \text{ units} = 102\text{m}^2$$

$$\text{Required Amenity Space} = 222\text{m}^2$$

100% of the amenity area for the first 8 units is required to be communal amenity space. A total of 120.38m² has been allocated as Communal Amenity Space. As per column IV in Table 137, the communal amenity space provided is located at grade, is landscaped, consists of 80% soft landscaping and abuts the rear lot line.

The Communal Amenity Space will serve as a common barbecue picnic area for tenants to enjoy.

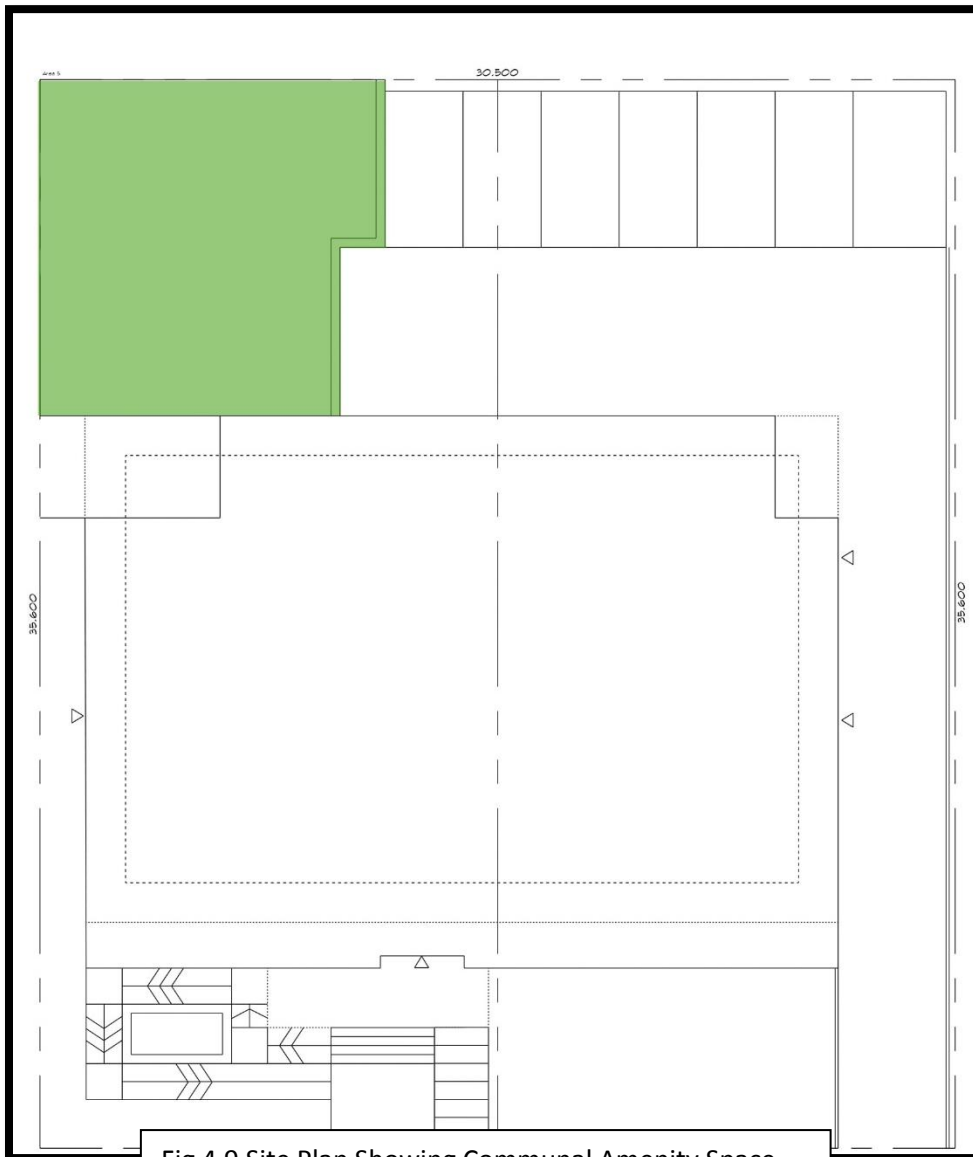


Fig 4.9 Site Plan Showing Communal Amenity Space

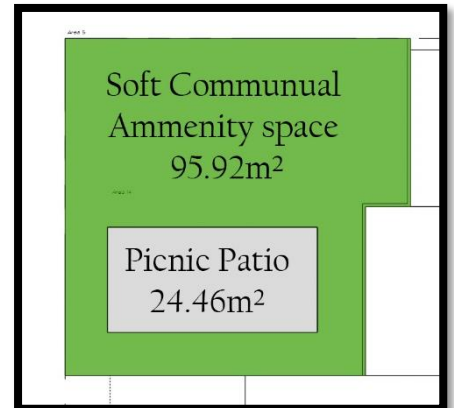


Fig 4.10 Communal amenity space plan showing hard and soft landscaping



Fig 4.11 Perspective drawing showing the Communal Amenity Space



Fig 4.12 Perspective drawing showing the Communal Amenity Space

The following additional amenity space will be provided:

- 1) In the lower level in the basement, an Amenity Room will be provided. Tenants will be allowed to reserve the room for birthday parties, or special gatherings and events and will be available to all tenants when not previously reserved. The square footage of the room is 655.4ft² (**60.8m²**)
- 2) On the second level, two of the units will have large balconies facing the rear of the property. The combined square footage of the second floor balconies is 252ft² (**23.41m²**)
- 3) On the third level, four of the units will balconies facing the front of the property, utilizing the third floor setback. The combined square footage of the third floor balconies is 268.9 ft² (**24.98m²**)

The total amount of additional amenity space provided is 229.57m².



Fig 4.13 Plan drawing showing Amenity Space in the Lower Level

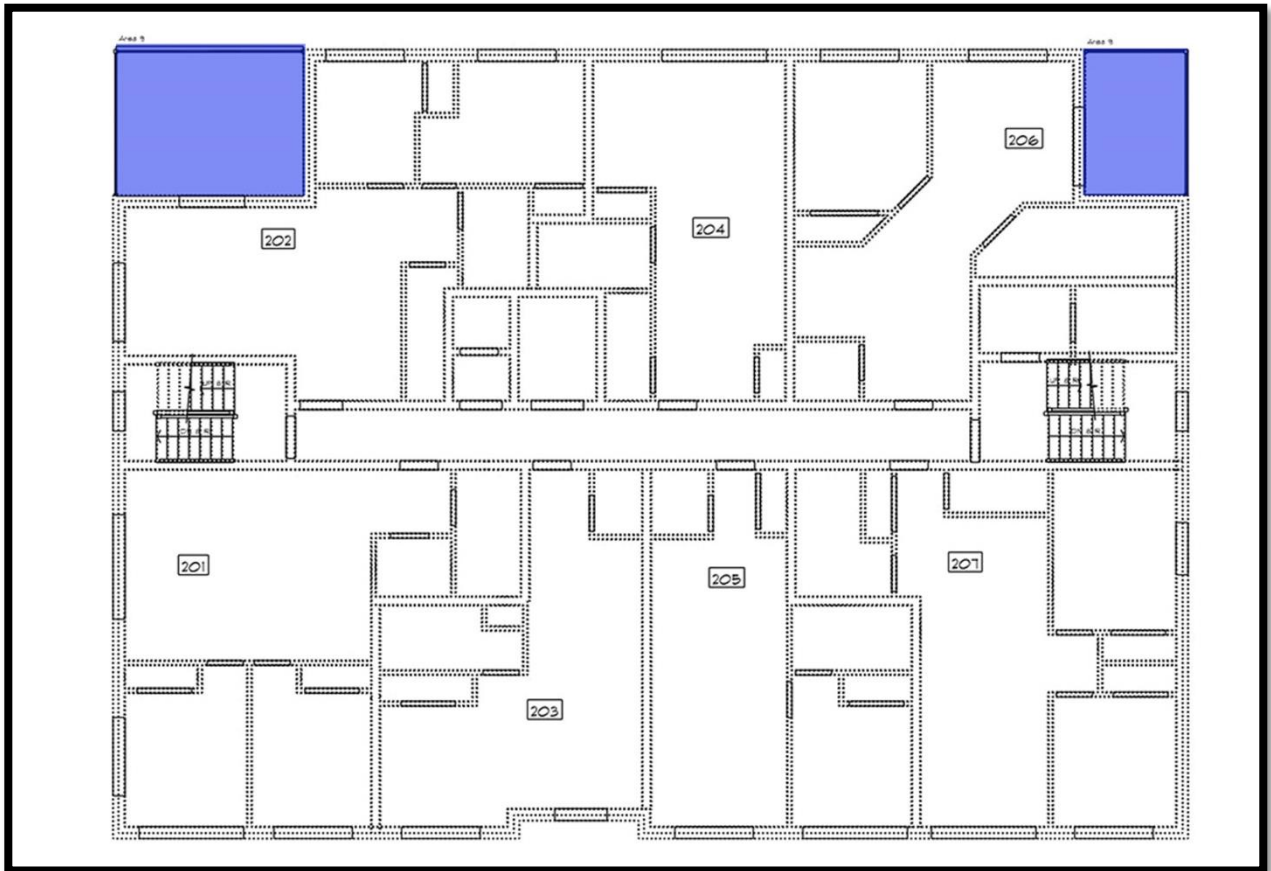


Fig 4.14 Plan drawing showing Amenity Space in the Second Level



Fig 4.15 Plan drawing showing Amenity Space in the Third Level

4.6 LANDSCAPING PROVISIONS

As per Section 161-162 (8) 30% of the lot area must be landscaped.

Landscaping Calculation

Total Lot Area: 1085.8m²

Landscaped Space: 321.13m²

= 311.29/1085.8 = 29.57% rounded up to 30%

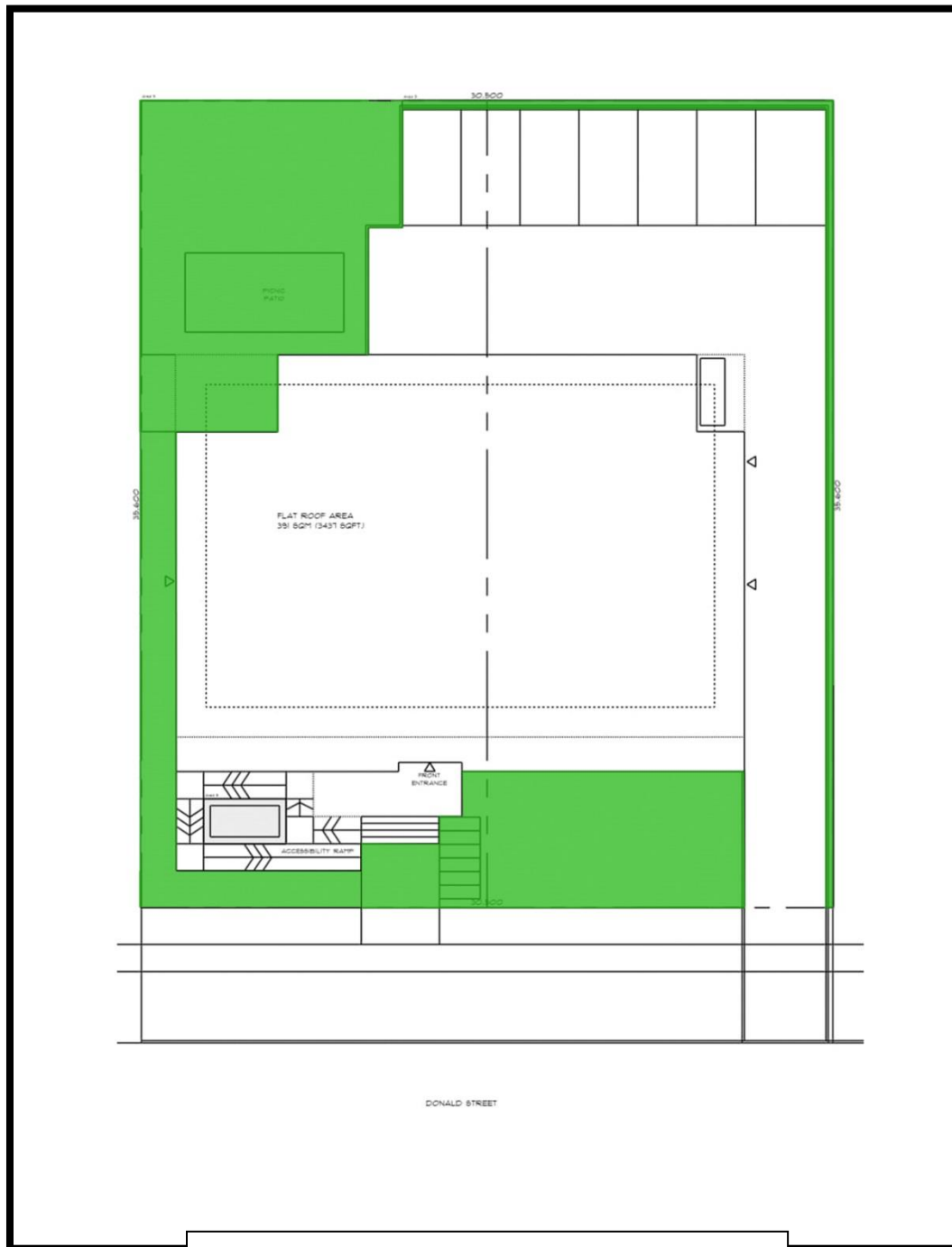


Fig 4.16 Site Plan drawing showing Landscaped Area

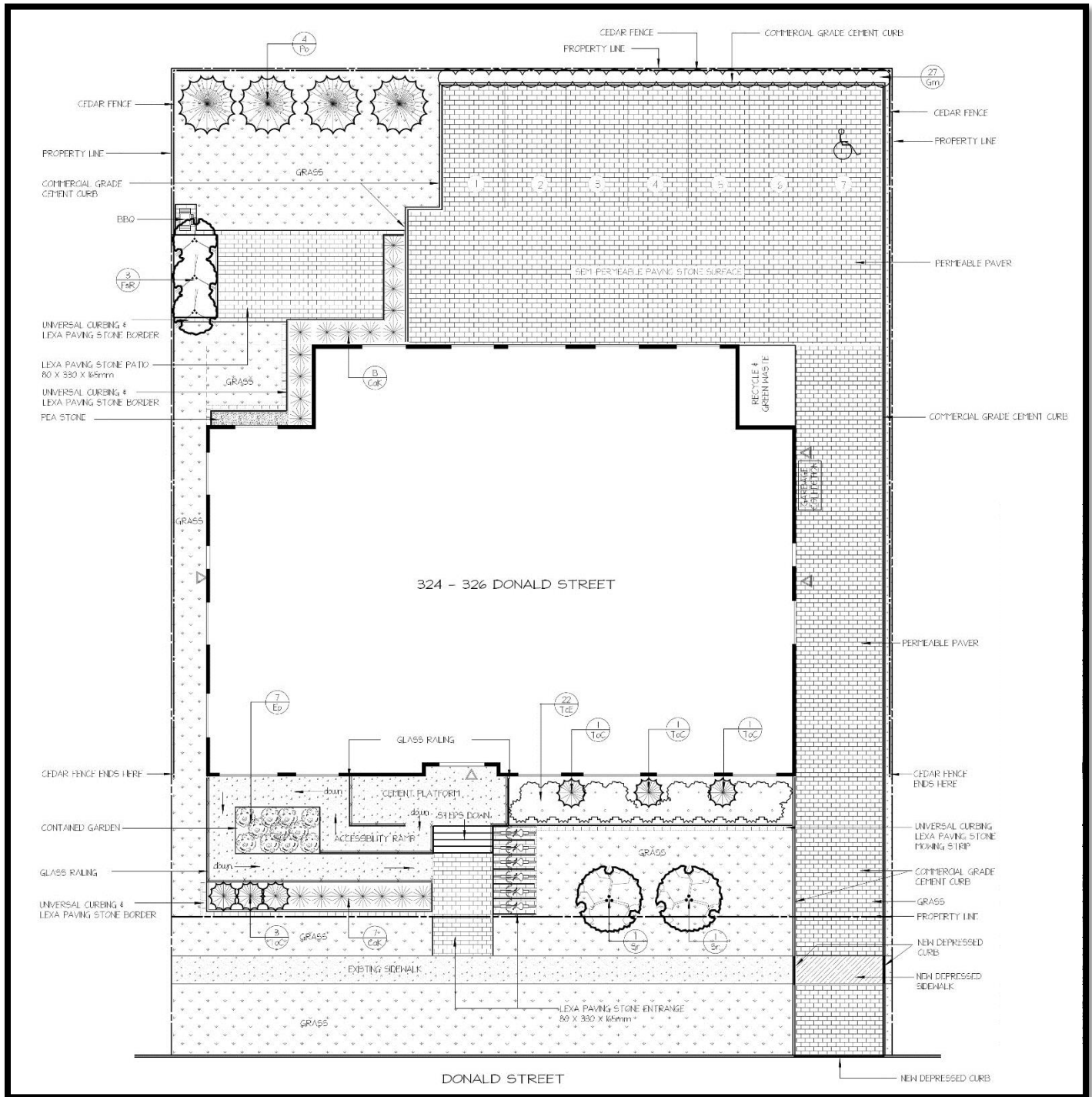


Fig 4.17 Landscape Plan



Fig 4.18 Perspective Drawings Showing Front Yard Landscaping



Fig 4.19 Perspective Drawings Showing Front Yard Landscaping