



File No. D07-12-17-0063

December 29, 2017

Lloyd Phillips & Associates Ltd.
1827 Woodward Drive, Suite 109
Ottawa, ON K2C 0P9

Attention: Christine McCuaig
Applicant

Dear: Ms. McCuaig:

**Subject: Site Plan Control Application
269 West Hunt Club Road**

The City has approved the Site Plan Control application received on May 12, 2017, subject to Owner of the subject lands entering into a Site Plan Agreement.

It is important to note that this Site Plan Control Approval will lapse if certain requirements are not fulfilled by December 21, 2018. Specific details of the requirements will be provided to you once it has been indicated that the Owner is prepared to enter into an agreement with the City. These requirements may include, but are not limited to the following:

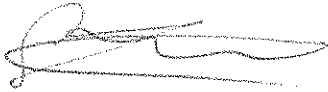
- Site Plan Agreement is signed.
- Security in the form of a Letter of Credit – in the City's standard format and wording, certified cheque or bank draft is provided.
- Certificate of Liability Insurance provided.
- Any required fees are paid

Please note that the documents referred to above, if not submitted in the City's required format(s), will be returned, resulting in a delay issuing a building permit and/or a commence work order.

Also enclosed is a copy of the approved plan(s). We will retain the original site plan(s).

If you have any questions or concerns, please contact Stream Shen by telephone at 613-580-2424, extension 24488 or by e-mail at stream.shen@ottawa.ca.

Sincerely,



Stream Shen MCIP RPP
Planner II
Development Review

- c.c. Councillor Keith Egli
Santhosh Kuruvilla, Infrastructure Approvals Project Manager, PIED (include 1 set of approved/signed mylars)
Kevin Lamer (Mail Code: 26-14), Program Manager - Development Inspection West, PIED
Linda Carkner, Program Manager, Right of Way
Pauline Prevost, Circulation Clerk - Design Review, PIED (site plan)
Matthew Graham, Manager (A) - Building Inspections, Building Code Services, PIED
Patrick Kennedy, Program Manager - Permit Approvals, Building Code Services, PIED (include all final/consolidated approved Geotechnical and/or Slope Stability studies)
Mike Levasseur, Zoning Plan Examiner, Building Code Services Branch, PIED (2 copies)
Municipal Addressing/Sign Officers, Permit Approvals Unit, Building Code Services Branch, PIED (Site Plan)
Joseph Langiano, Right of Way Agreements Coordinator
Amanda Phanenhour, Supervisor - By-Law Enforcement, Emergency & Protective Services Department
Christine Enta, Legal Counsel, City Clerk & Solicitor Department
Joumana Tannouri, Securities Administrator, Finance Department (no plans)
OttawaScene Canada Signs, 1565 Chatelain Avenue, Ottawa, ON K1Z 8B5
(no attachments)



**SITE PLAN CONTROL APPROVAL APPLICATION
DELEGATED AUTHORITY REPORT
MANAGER, DEVELOPMENT REVIEW**

Site Location: 269 West Hunt Club Road

File No.: D07-12-17-0063

Date of Application: May 12, 2017

This SITE PLAN CONTROL application submitted by Christine McCuaig from Lloyd Phillips & Associates Ltd. on behalf of Mrak Holdings Inc., is APPROVED as shown on the following plan(s):

1. **Site Plan**, Drawing Number SP.1, prepared by Brian K. Clark Architect, dated February 2017, revision 5 dated November 28, 2017.
2. **Planting Drawing**, Sheet Number P1, prepared by Artistic Landscape Designs Ltd., dated April 4, 2016, revision 3 dated November 30, 2017.
3. **Elevations**, Drawing Number A200, prepared by WEIS/LGA Architects, dated November 2, 2017, revision 1 dated November 2, 2017.
4. **Grading and Erosion & Sediment Control Plan**, Drawing Number 117021-GR, prepared by Novatech, dated April 21, 2017, revision 5 dated November 30, 2017.
5. **General Plan of Services**, Drawing Number 117021-GP, prepared by Novatech, dated April 21, 2017, revision 5 dated November 30, 2017.
6. **Stormwater Management Plan**, Drawing Number 117021-SWM, prepared by Novatech, dated April 21, 2017, revision 5 dated November 30, 2017.

And as detailed in the following report(s):

1. **Audi West, 269 West Hunt Club, Development Servicing and Stormwater Management Report**, prepared by Novatech, dated April 27, 2017, revised October 30, 2017.

2. **Geotechnical Investigation, Proposed Car Dealership, 265 West Hunt Club Road, Ottawa, Ontario**, prepared by Paterson Group Inc., dated January 23, 2017.
3. **269 West Hunt Club Road Transportation Brief**, prepared by Parsons, dated June 26 2017.
4. **Phase 1 – Environmental Site Assessment, 265 West Hunt Club Road, Ottawa, Ontario**, prepared by Paterson Group Inc., dated November 29, 2016.

And subject to the following Standard and Special Conditions:

Standard Conditions

1. The Owner shall enter into a standard site development agreement consisting of the following conditions. In the event the Owner fails to enter into such agreement within one year, this approval shall lapse.
2. **Permits**
The Owner shall obtain such permits as may be required from Municipal or Provincial authorities and shall file copies thereof with the General Manager, Planning, Infrastructure and Economic Development Department.
3. **Barrier Curbs**
The Owner acknowledges and agrees that the parking areas and entrances shall have barrier curbs and shall be constructed in accordance with the approved drawings of a design professional, such drawings to be approved by the General Manager, Planning, Infrastructure and Economic Development Department.
4. **Water Supply for Fire Fighting**
The Owner shall provide adequate water supply for fire fighting for every building. Water supplies may be provided from a public water works system, automatic fire pumps, pressure tanks or gravity tanks.
5. **Joint Use and Maintenance Agreement**
The Owner acknowledges and agrees that should the site be severed in the future, that it shall ensure that the future Owner of the freehold units shall enter into a Joint Use and Maintenance Agreement which shall be binding upon the owners and all subsequent purchasers to deal with the joint use, maintenance and liability of the common elements, including but not limited to the private roadway and concrete sidewalks; common grass areas; common party walls, exterior walls; common structural elements such as the roof, foundations; common parking areas; and watermains for the mutual benefit and joint use of the owners; and any other elements located in the common property; and the

private Agreement shall be filed with the General Manager, Planning, Infrastructure and Economic Development Department.

The Owner shall file with the General Manager, Planning, Infrastructure and Economic Development Department, an opinion from a solicitor authorized to practice law in the Province of Ontario that the private Agreement is binding upon the owners of the land and all subsequent purchasers to deal with the matters referred to in Paragraph (a).

The Joint Use, Maintenance and Liability Private Agreement shall be registered on the Owner's land at no cost to the City, and a copy shall be provided to the City.

6. Reinstatement of City Property

The Owner shall reinstate, at its expense and to the satisfaction of the General Manager, Planning, Infrastructure and Economic Development Department, any property of the City, including, but not limited to, sidewalks, curbs and boulevards, which is damaged as a result of the subject development.

7. Construction Fencing

The Owner acknowledges and agrees to install construction fencing, at its expense, in such a location as may be determined by the General Manager, Planning, Infrastructure and Economic Development Department.

Special Conditions

1. TIS/Brief/Traffic study

The Owner(s) has undertaken a Transportation Brief for this site, prepared by Parsons, Project No. 476364-01000, dated June 26 2017, to determine the infrastructure and programs needed to mitigate the impact of the proposed development on the local transportation network and establish the site design features needed to support system-wide transportation objectives. The Owner shall ensure, that the recommendations of the Transportation Brief are fully implemented, to the satisfaction of the General Manager, Planning and Planning, Infrastructure and Economic Development Department.

2. Private Approach Detail

The Owner agrees that all private approaches, including temporary construction access to the subject lands, shall be designed and located in accordance with and shall comply with the City's Private Approach By-Law, being By-law No. 2003-447, as amended, and shall be subject to approval of the General Manager, Planning, Infrastructure and Economic Development Department.

3. Requirement for Grease and Oil Interceptor

The Owner shall, in accordance with the City's Sewer By-law, being By-law No. 2003-514, as amended, install a grease and oil interceptor on the internal

sanitary plumbing system in such a location where the storage or repair of vehicles occurs.

4. Spill Contingency and Pollution Prevention Plan

The Owner shall, within six (6) months of signing this Agreement, develop and implement a spill contingency and pollution prevention plan, which plan, at a minimum, will include a set of written procedures describing how to prevent and/or mitigate the impacts of a spill within the area serviced by the Works:

- (a) the name, job title and location (address) of the Owner, person in charge, management or person(s) in control of the buildings;
- (b) the name, job title and 24-hour telephone number of the person(s) responsible for activating the spill contingency and pollution prevention plan;
- (c) a site plan drawn to scale showing the facility, nearby buildings, streets, catch basins and manholes, drainage patterns (including direction of flow in storm sewers), and receiving water course that could potentially be significantly impacted by a spill and any features which need to be taken into account in terms of potential impacts on access and response (including physical obstructions and location of response and clean-up equipment);
- (d) steps to be taken to report, contain, clean up and dispose of contaminants following a spill;
- (e) a listing of telephone numbers for local clean-up companies who may be called upon to assist in responding to spills, local emergency responders including health institution(s), and the Ministry of the Environment and Climate Change Spills Action Centre;
- (f) Materials Safety Data Sheets (MSDS) for each hazardous material which may be transported or stored in the said building;
- (g) the means (internal corporate procedures) by which the spill contingency and pollution prevention plan is activated;
- (h) a description of the spill response training provided to employees assigned to work in the said building, the date(s) on which the training was provided and by whom;
- (i) an inventory of response and clean-up equipment available to implement the spill contingency and pollution prevention plan, location and date of maintenance/replacement if warranted; and
- (j) the dates on which the spill contingency and pollution prevention plan was prepared and subsequently, amended.

The Owner covenants and agrees to maintain the spill contingency and pollution prevention plan up to date through revisions undertaken from time to time as required by changes to the general operations of the site. The Owner further covenants and agrees to retain a copy of the spill contingency and pollution prevention plan in a conspicuous, readily accessible location on-site such that it can be used as a reference by employees assigned to work in the said building. The Owner further

covenants and agrees that it will make available, for inspection and copying by City personnel, the spill contingency and pollution prevention plan.

5. Inlet Control Devices (ICDs)

The Owner acknowledges and agrees to install and maintain in good working order the required roof-top and in-ground stormwater inlet control devices, as recommended in the approved General Plan of Services, referenced in Schedule "E" herein. The Owner further acknowledges and agrees it shall assume all maintenance and replacement responsibilities in perpetuity. The Owner shall keep all records of inspection and maintenance in perpetuity, and shall provide said records to the City upon its request.

6. Cash in Lieu of Parkland

Upon execution of this Agreement, the Owner shall pay cash-in-lieu of parkland in the amount of \$76,282.36 as referenced in Schedule "B" herein. The Owner shall also pay the parkland appraisal fee of \$500.00 plus H.S.T. of \$65.00, as referenced in Schedule "B" herein. Pursuant to the City's Parkland Dedication By-law, being By-law No. 2009-95, as amended, 40% of said funds collected shall be directed to City wide funds, and 60% shall be directed to Ward 9 funds.

7. Ottawa International Airport Authority – Noise Warning Clause

The Owner acknowledges and agrees that the Owners/occupants are forewarned that this site is located in a noise sensitive area due to its proximity to Ottawa Macdonald-Cartier International Airport. Noise due to aircraft operations interfere year-round with some indoor activities and with outdoor activities, particularly during the summer months. The purchase/building occupants are further advised that the Airport is open and operates 24 hours a day. The Ottawa Macdonald-Cartier International Airport Authority and the Municipality are not responsible if the occupant/tenant of this development finds that the noise levels due to aircraft operations continue to be a concern or are offensive.

8. Ottawa International Airport Authority – Height

The Owner acknowledges and agrees that should a crane be used on site, Transport Canada in Toronto must be notified a minimum of 90 days in advance prior to use.

9. Ottawa International Airport Authority – Bird Hazard

The Owner acknowledges and agrees that plants used in landscaping shall not be of any restricted species known to attract birds and listed by Transport Canada's TP 11500 table c4 'Ornamental Trees and Shrubs Attractive to Birds'. The owner, transferee, heirs, or successors shall provide improved maintenance, disposal procedures and enclosed or indoor garbage containers during development works and at all times to reduce the possibility of attracting birds.

Should bird activity increase as a result of any use on site, mitigation measures to the satisfaction of the authority shall be put in place.

Dec 21, 2017
Date



Derrick Moodie
Manager, Development Review
Development Review, West
Planning, Infrastructure and Economic Development
Department

Enclosure: Site Plan Control Application approval – Supporting Information



SITE PLAN CONTROL APPROVAL APPLICATION SUPPORTING INFORMATION

File Number: D07-12-17-0063

SITE LOCATION

269 West Hunt Club Road, and as shown on Document 1.

The site is located north of West Hunt Club Road, approximately mid-way between Merivale Road and Prince of Wales Drive.

The property is located between the Colonnade Business Park to the north, Merivale Industrial Area to the south, and surrounded by a mix of commercial, industrial and retail uses. Along this stretch of West Hunt Club Road, there are close to a dozen different automobile dealerships, along with many large format stand-alone retail stores and restaurants.

SYNOPSIS OF APPLICATION

The property is currently used for automobile storage. The proposed development is for a new 2-storey Audi auto dealership facing West Hunt Club Road. The dealership will include a sales and showroom area, a service area, and an associated parking area. The site slopes away from West Hunt Club Road such that the upper level of the building will visually appear to be the ground floor from West Hunt Club Road.

Vehicle access for the 101 parking spaces and 14 bicycle parking spaces will be located from the north off of the West Hunt Club North Access. The access connects to the main West Hunt Club arterial road and service several developments within the vicinity. As a result, no road cut is proposed on the main West Hunt Club road. Landscape buffers are proposed along the entire perimeter of the site. Cash-in-lieu of parkland dedication will be collected as a condition of the site plan approval.

DECISION AND RATIONALE

This application is approved for the following reasons:

- The proposal conforms to the policies within the City of Ottawa Official Plan.

- The proposal conforms to the regulations within the City of Ottawa Zoning By-law.
- Site functionalities including access, parking, loading, snow storage and garbage removal have been adequately addressed.
- Landscaping, including the planting of 18 crimson spire oak trees, have been proposed around the perimeter of the site.
- The proposal represents good planning and an appropriate development of the site.

CONSULTATION DETAILS

Councillor Keith Egli has concurred with the proposed conditions of approval.

Public Comments

Public Comment #1

This development is one of the last available lots with frontage on both West Hunt Club and the private roadway. As such it is one of the only opportunities to provide a pedestrian connection between West Hunt Club and the private roadway cul-de-sac, to improve pedestrian access to the Humane Society and other future developments. Please encourage the applicant to provide such a pedestrian connection.

Response to Comments

A pedestrian connection is not provided due to:

1. There is very limited pedestrian usage along this stretch of West Hunt Club Road. In addition to the bus stop at Antares Drive, there is also one located near the access road, which would allow the user to walk to the Humane Society through the access road instead of along West Hunt Club Road.
2. There is no available crossing at this dealership location to go across West Hunt Club Road. Given the high traffic volume on West Hunt Club, the pedestrian connection would not create additional benefit for individuals arriving from the south of West Hunt Club Road. The crossing of the road would still need to be made by the access road intersection.
3. There are significant grade difference and easement issues associated with the site such that a stairway within a pedestrian connection may not be feasible.

Advisory Committee Comments

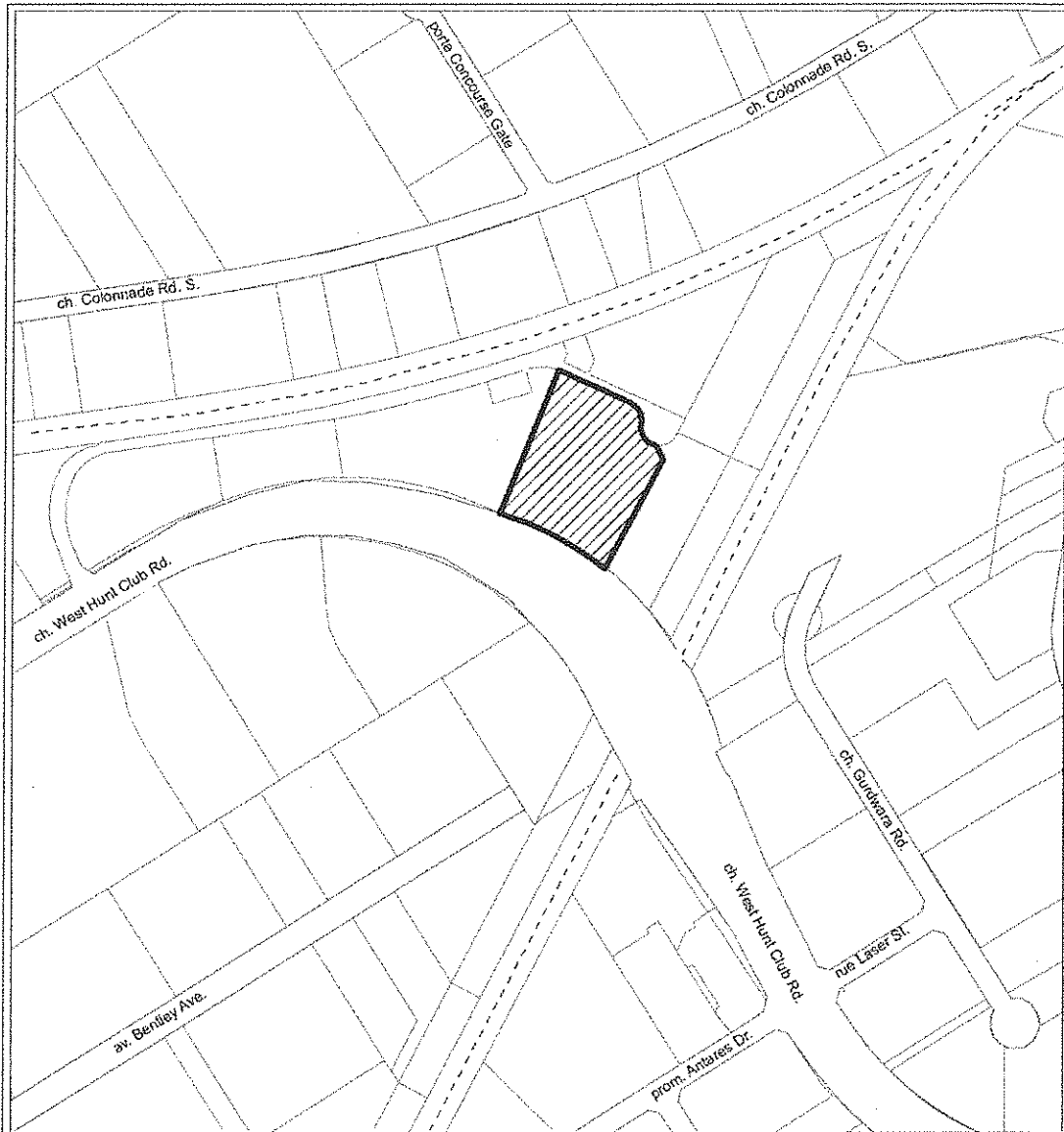
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

APPLICATION PROCESS TIMELINE STATUS

This Site Plan application was not processed by the On Time Decision Date established for the processing of an application that has Manager Delegated Authority due to developer initiated design revisions to the original application.

Contact: Stream Shen - Tel: 613-580-2424, ext. 24488; Fax: 613-580-2576; or e-mail: stream.shen@ottawa.ca

Document 1 – Location Map



		LOCATION MAP / PLAN DE LOCALISATION SITE PLAN / PLAN D'EMPLACEMENT	
D07-12-17-0083	17-0816-C	 269 ch. West Hunt Club Rd.	
INCOI 2017 \ Site Plan \ West Hunt Club 269			
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