



Claridge Homes Limited
210 Gladstone Avenue
Ottawa, Ontario, K2P 0Y9

October 27th, 2017

Attn: Jim Burghout and Neil Malhotra

RE: 1026 to 1052 Hunt Club Road
Environmental Impact Statement and Tree Conservation Report (Revised) - Addendum #1

1.0 BACKGROUND

McKinley Environmental Solutions (MES) was retained by Claridge Homes Limited to prepare an Environmental Impact Statement (EIS) and Tree Conservation Report (TCR) for the proposed development of the property at 1026, 1038, 1040, 1050 and 1054 Hunt Club Road, Ottawa, Ontario (the Site). The EIS and TCR were completed in August 2017 and were previously submitted to the City of Ottawa (the City) and the Rideau Valley Conservation Authority (RVCA) for review.

Technical comments from the City and MVCA were received on October 20th, 2017 and October 3rd, 2017 (respectively) (City File: D07-12-17-0068). The purpose of the current letter (EIS Addendum #1) is to provide additional detail in response to the City and RVCA's technical comments. This EIS Addendum #1 should be read in conjunction with the report entitled *Environmental Impact Statement and Tree Conservation Report (Revised) 1026 to 1054 Hunt Club Road, Ottawa, ON* (MES 2017). For brevity, natural heritage features that were previously discussed and adequately addressed in the EIS and TCR are not revisited in this EIS Addendum #1. Refer to the EIS and TCR for additional detail on surveying methodology, existing conditions, impact assessment, and mitigation for any natural heritage features not discussed in this EIS Addendum #1. Figures included in this report replace any previously submitted figures.

Per the comments received from City and RVCA staff, several items are addressed in this EIS Addendum #1. These include the following:

- **Leitrim Road Provincially Significant Wetland (LRPSW) Setback:** The RVCA stated that the reduced setback of 27 m in the southwest corner of the Site was not sufficient. It was requested that the wetland setback be re-evaluated;

- **Tree Planting:** The City requested that additional tree planting opportunities be identified;
- **Blanding's Turtle Habitat:** The City identified that regulated habitat for Blanding's Turtle overlapped a portion of the Site, and hence that a review from the Ontario Ministry of Natural Resources and Forestry (OMNRF) was recommended; and
- **Hydrological Impact Assessment Update:** Additional information was requested to support the Hydrological Impact Assessment.

Each of these items is addressed in the following sections.



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mckinleyenvironmental@gmail.com

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2.0 SITE AND PROJECT OVERVIEW

The Site is approximately 0.93 ha (2.3 acres) in size with approximately 136 m of frontage on Hunt Club Road (Figure 1). The Site is bounded by Hunt Club Road to the north and a thin Deciduous Hedgerow to the east, beyond which is the Airport Parkway. The property west of the Site is developed and currently includes a church and a parking lot. The area south of the Site includes a White Cedar Coniferous Forest and portions of the LRPSW. The White Cedar Coniferous Forest and the thin Deciduous Hedgerow east of the Site (along the Airport Parkway) are part of the National Capital Commission (NCC) Greenbelt. Portions of the White Cedar Coniferous Forest and LRPSW are also shown as part of the City of Ottawa Natural Heritage System on Schedule L1 of the Official Plan.

The Site consists of five (5) previously developed residential lots which are currently used as a contractor's yard, storage area, and office. Currently there are four (4) buildings found within the Site. This includes two (2) residential homes (one vacant, one used as a contractor office), a covered work area, and a storage shed. The majority of the remainder of the Site is occupied by paved and compacted gravel surfaces (driveways and parking). Vegetation within the Site is typical of older residential properties in the area, consisting mainly of mature planted trees growing in low densities, surrounded by hard surfaces and manicured lawns/gardens (Figure 2). In some areas lawns are overgrown with typical yard weeds (e.g. Dandelion, Canada Goldenrod, Lamb's Quarter's Pigweed, Common Burdock, Common Buckthorn, etc.) due to a lack of maintenance. A Coniferous Hedgerow dominated by planted Norwegian Spruce is present along Hunt Club Road. Within the Site there are also two (2) White Cedar hedges in the western part of the Site, as well as several isolated mature trees growing in the front yards and former gardens around the residential buildings. The backyards behind 1040 and 1054 Hunt Club Road include stands of mature trees, primarily White Cedar, surrounded by manicured lawn. 1054 Hunt Club Road also has an aboveground swimming pool. Lastly, the western, southern, and eastern Site boundaries are surrounded by a chain-link fence. Refer to the EIS and TCR for additional detail.

The revised Site Plan at Ground Level is included below. The current development concept includes redevelopment of the majority of the Site to accommodate an eight (8) storey retirement home with approximately 145 units and an eight (8) storey hotel with approximately 150 rooms. As part of this undertaking, the existing buildings at the Site will be demolished. Subsurface excavation will be required to install underground parking, for servicing, and for construction of building foundations. Due to grading, drainage, excavation, and paving requirements, the development plan will result in the removal of the majority of the vegetation within the Site. Tree protection measures will be implemented to protect trees growing beyond the eastern and southern property lines (in the adjacent Deciduous Hedgerow and White Cedar Coniferous Forest). Where feasible, trees will also be retained along the western property line in order to provide a visual buffer for the adjacent church.



FIGURE 1: SITE OVERVIEW

1026 to 1054 Hunt Club Road, Ottawa, Ontario

Environmental Impact Statement & Tree Conservation Report (Revised)



— - Property Boundary

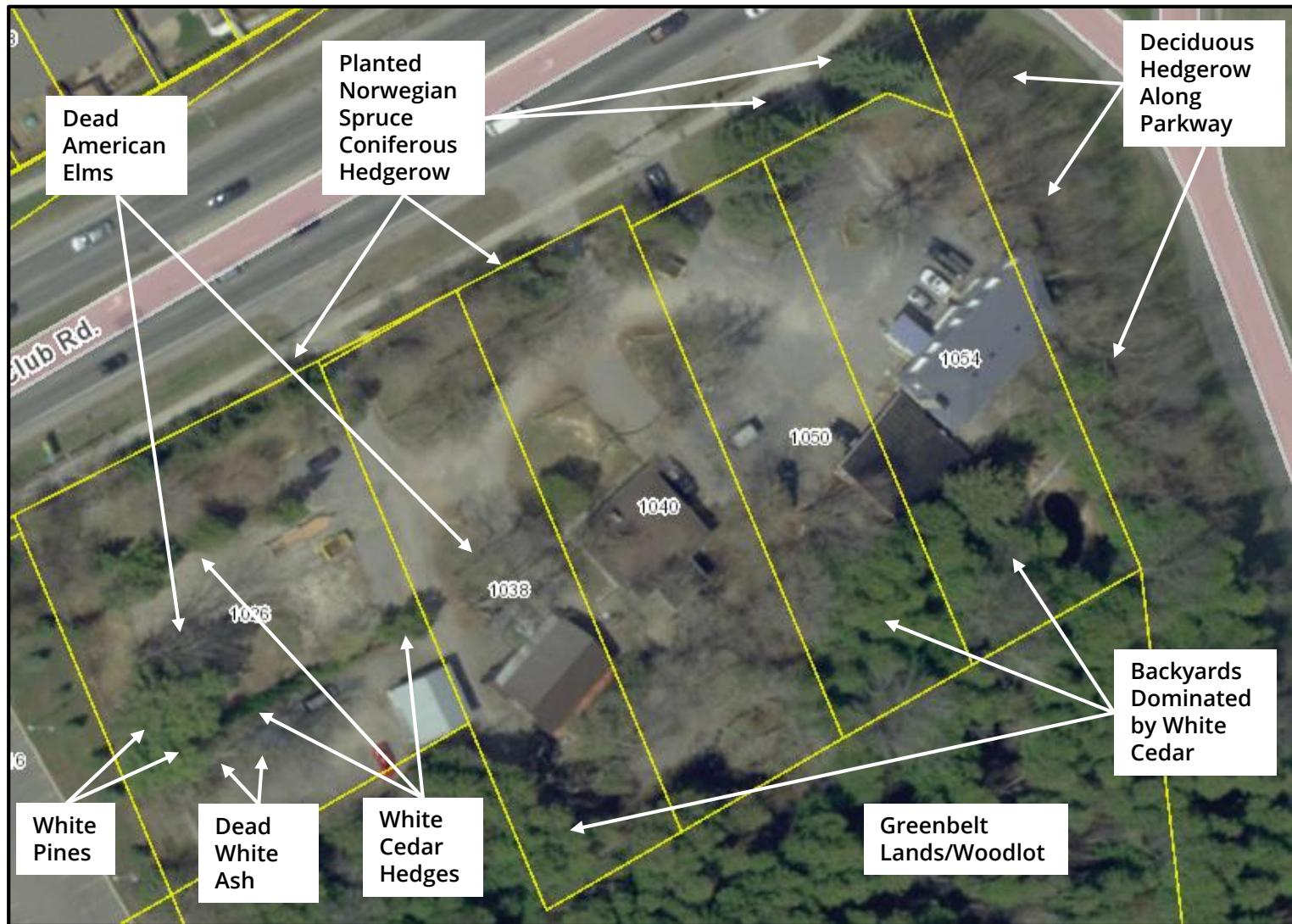
Please Note: This is not a legal land survey. All dimensions and locations are shown as approximate.



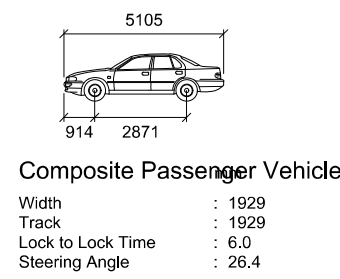
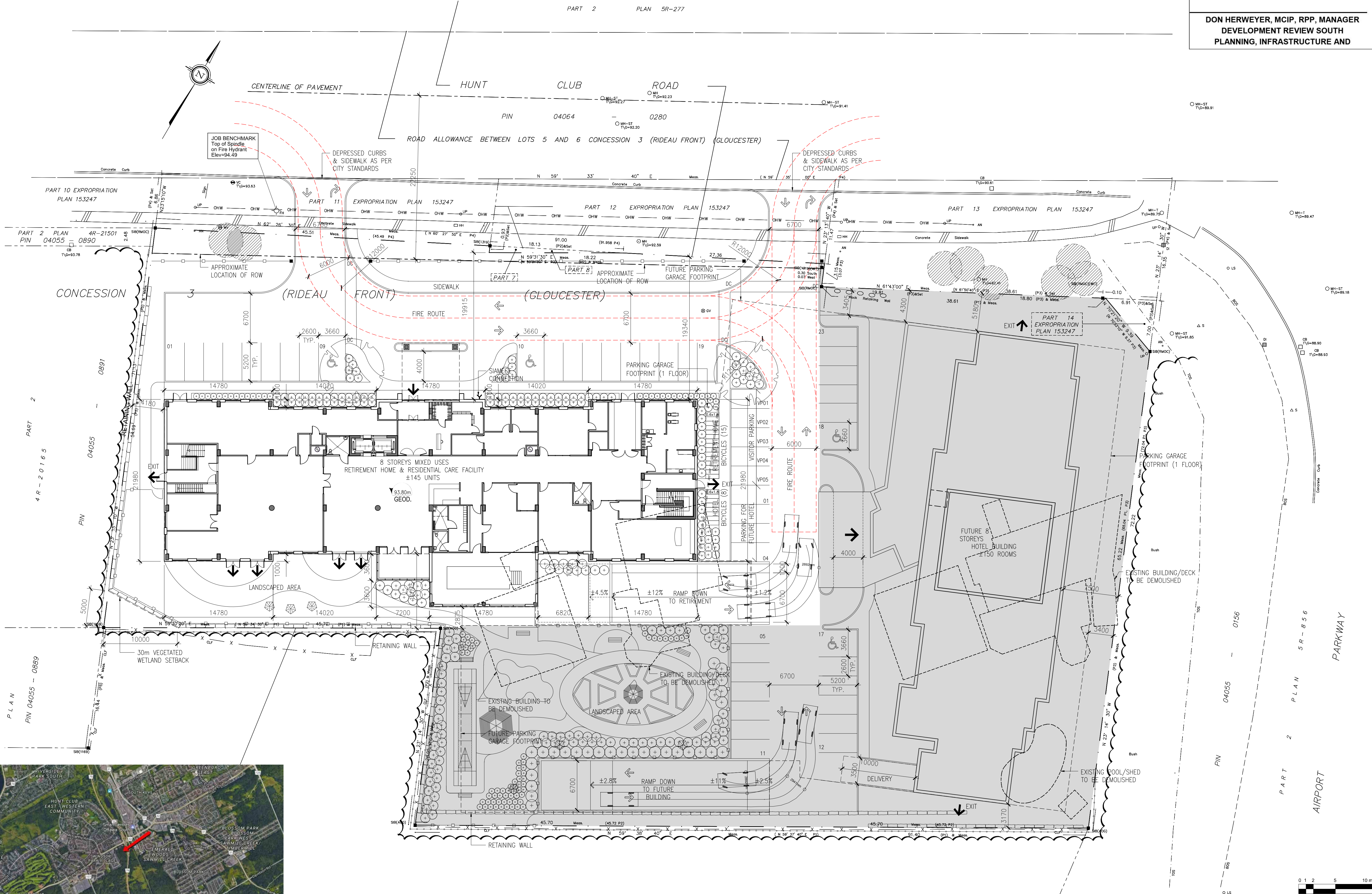
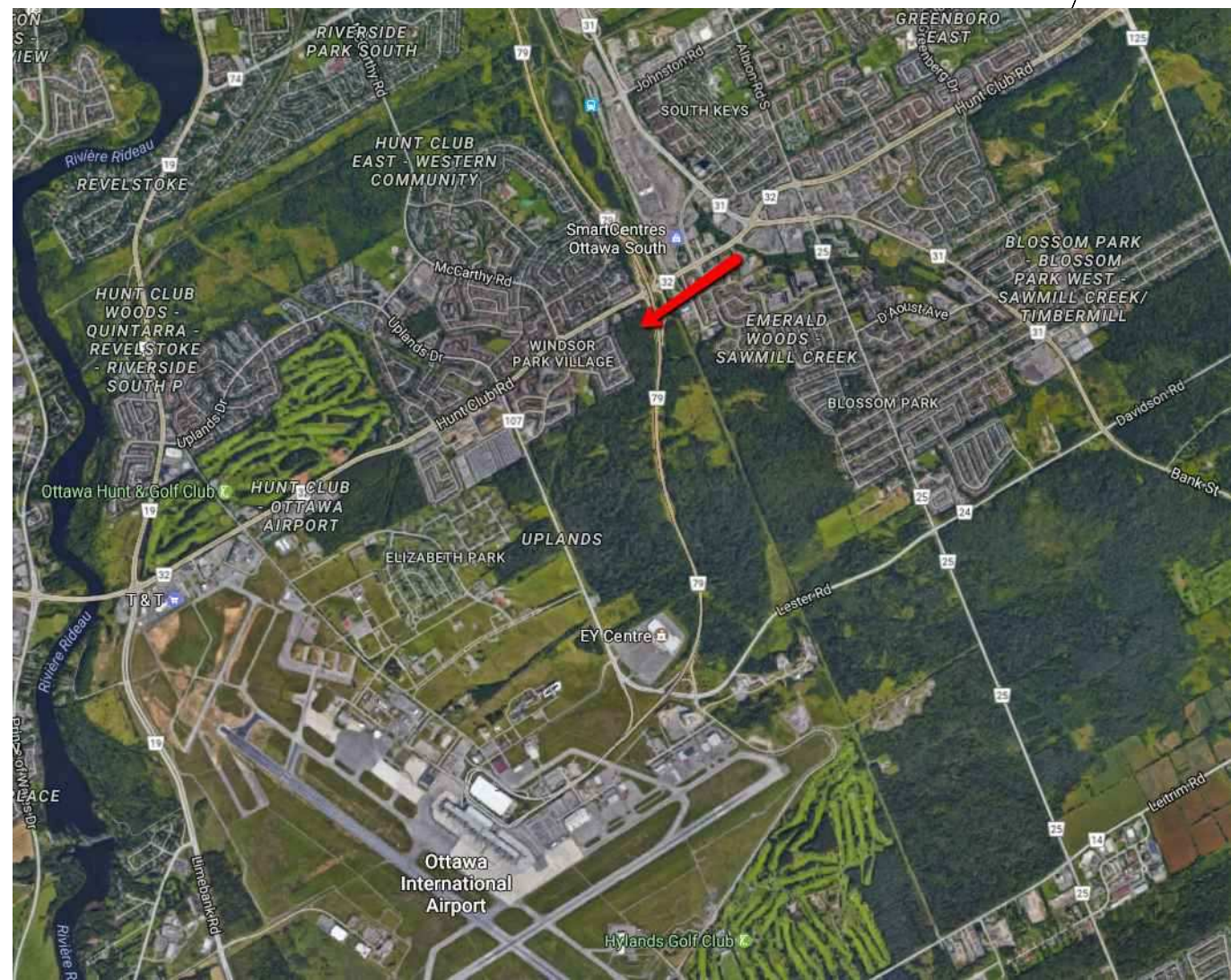
FIGURE 2: VEGETATION MAPPING

1026 to 1054 Hunt Club Road, Ottawa, Ontario

Environmental Impact Statement & Tree Conservation Report (Revised)



Please Note: This is not a legal land survey. All dimensions and locations are shown as approximate.



AREA OF SITE:	46847 sq.m.*
GROSS FLOOR AREA PROPOSED :	* To be confirmed by surveyor
GROUND FLOOR (G.F.A.):	17571 sq.m.
ASSISTED LIVING (G.F.A. (2nd - 3rd FL.))	40 sq.m.
DWELLING UNITS (G.F.A. (4th - 8th FL.))	1619 sq.m.
PRIVATE AMENITY AREA (G.F.A.)	5982 sq.m.
COMMUNAL AMENITY AREA (G.F.A.)	161 sq.m.
NEED HEALTH OR PERS. SERV. (G.F.A.)	110 sq.m.
SITE COVERAGE:	34 %
GROUND PARKING AREA:	30 %
LANDSCAPED AREA (EXCL. PARKING):	38 %
PARKING STALLS:	22 INTERIOR
PROVIDED BICYCLE STALLS:	19 EXTERIOR
NUMBER OF FLOORS & BUILDING HEIGHT:	21 INTERIOR
DWELLING UNITS :	15 EXTERIOR
	8 FLOORS + MECH.
	± 26.000 m
	145

■ FOR EXISTING SITE CONDITIONS, SEE SURVEY PLAN BY ANNIS O'SULLIVAN VOLLEBEKK LTD. SUBMITTED SEPARATELY.

■ FOR NEW GRADES AND SITE SERVICES, SEE CIVIL ENGINEERING PLAN BY NOVATECH ENG. CONSULTANTS LTD., SUBMITTED SEPARATELY.

■ FOR PROPOSED VEGETATION AND LANDSCAPE INFORMATION, SEE LANDSCAPE ARCHITECTURE PLAN BY JAMES B. LENNOX & ASSOCIATES SUBMITTED SEPARATELY.

ZONING BY-LAW PARKING REQUIREMENT FOR RETIREMENT HOME	REQUIREMENT	PROPOSED
0.25 per unit	0.25 x 145 = 36	22 interior + 18 exterior
1 per 100 m ² of G.F.A. used for medical or personal services	110 m ² = 1	1 exterior

ZONING BY-LAW BICYCLES PARKING REQUIREMENT FOR RETIREMENT HOME	REQUIREMENT	PROPOSED
0.25 per unit	0.25 x 145 = 36	21 int. + 16 ext.

APPROVED ☐ REFUSED ☐

THIS _____ DAY OF _____, 20____

DON HERWEYER, MCIP, RPP, MANAGER
DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE AND

NOTES GÉNÉRALES General Notes

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ARCHITECTURE DE PAYSAGE Landscape architect

James B. Lennox & Associates
361, Hinton Avenue South, Ottawa ON K1Y 1A6
T 613 722 5168 jbla.ca

ARPEURTEUR Surveyor

Annis O'Sullivan Vollebekk Ltd.
14, Concourse Gate, Suite 500, Nepean ON K2E 7S6
T 613 722 0850 nepean@aovltd.com

GEOTECHNIQUE Geotechnical

Golder Associates
1931, Robertson Road, Ottawa ON K2H 5B7
T 613 592 9600 golder.ca

CIVIL Civil

Novatech Eng. Consultants Ltd.
240, Michael Cowpland Drive, Suite 200, Ottawa ON K2M 1P6
T 613 234 9643 novatech-eng.com

ARCHITECTES Architect

NEUF architect(e)s SENIOR
610, Rue Saint-Jacques, Suite 500, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

SCÉAU Seal



CLIENT Client



OUVRAGE Project

Hunt Club Development

EMPLACEMENT Location
Ottawa, ON

NO PROJET No.
11459

NO	REVISION	DATE (aa.mm.jj)
A	COORDINATION	2017.02.20
B	COORDINATION	2017.03.28
1	SITE PLAN APPLICATION	2017.05.18
2	RE-ISSUED SITE PLAN APPLICATION	2017.08.07
3	DELIVERY ACCESS REVISION	2017.08.24
4	PARKING REVISION	2017.08.25
5	CITY COMMENTS	2017.10.27

DESSIN PAR Drawn by
PV

DATE (aa.mm.jj)
17.01.16

TITRE DU DESSIN Drawing Title

**Site Plan at
Ground Floor Level**

REVISION Revision

5

VÉRIFIER PAR Checked by
LH

ÉCHELLE Scale
1:250

NO. DESSIN Dwg Number

A101

D07-12-17-0068

3.0 LRPSW SETBACK AND TREE PLANTING

As shown in Figure 1, the distance between the LRPSW and the property line varies between approximately 27 m and 115 m. The distance between the wetland edge and the property line is narrowest (27 m) in the southwest corner of 1026 Hunt Club Road. In the EIS and TCR, it was previously proposed that a retaining wall and fence would be constructed along the property line. This would have placed the retaining wall 27 m from the wetland edge in the southwest corner of 1026 Hunt Club Road, thereby providing 27 m of forest between the wetland edge and the limit of development. It was also proposed that the 27 m setback from the wetland edge would be supplemented with a 10 m wide landscaped area, which would have been included on the development side of the retaining wall, within the southwest corner of 1026 Hunt Club Road. The RVCA stated that this arrangement was not sufficient to provide an adequate wetland setback.

In response to RVCA comments, the Site Plan (above) has been adjusted so that the retaining wall, fence, and all other infrastructure/development activities will be oriented to provide a minimum 30 m setback from the wetland edge throughout the Site. As shown in Figure 3 (below), the minimum 30 m setback from the wetland edge overlaps the southwest corner of 1026 Hunt Club Road. The area where the minimum 30 m setback overlaps the Site is approximately triangular in shape and measures approximately 5 m x 10 m (measured along the property line). The Site Plan has been adjusted to move the retaining wall, fence, and all other development activities outside of the 5 m x 10 m triangle in the southwest corner of 1026 Hunt Club Road, thereby providing a minimum 30 m setback from the wetland edge. The 5 m x 10 m triangle is currently developed and includes an area of compacted gravel. During development, the compacted gravel will be removed and trees will be planted to reforest the 5 m x 10 m triangle. Reforestation of the 5 m x 10 m triangle increases the total extent of tree planting that will be undertaken as part of the development, while also restoring the functionality of the minimum 30 m wetland setback, where it overlaps the Site. The Landscaping Plan has been adjusted to show additional tree planting within the 5 m x 10 m triangle in the southwest corner of 1026 Hunt Club Road.

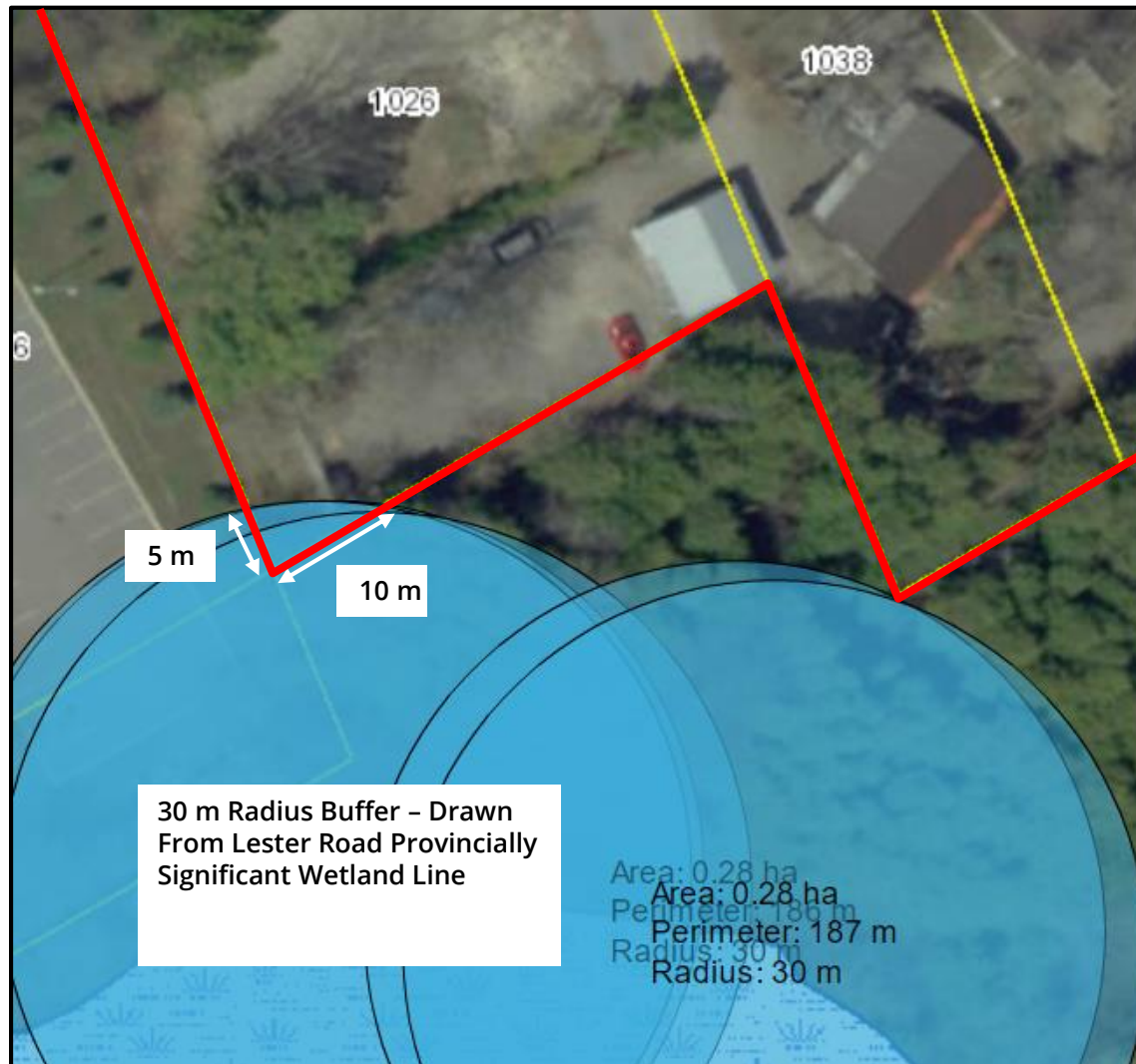
With the adjusted wetland setback implemented, the Site Plan now provides a forested wetland setback that varies between approximately 30 m and 115 m throughout the Site. The 30 m to 115 m wide vegetated wetland setback will help to slow, filter and absorb overland stormwater flow, it will provide habitat for wildlife, and it will also provide a buffer from edge effects, noise, pollution, and other forms of human disturbance. The adjusted wetland setback achieves a minimum of 30 m setback across the Site, and hence is anticipated to be sufficient to protect the features and functions of the LRPSW.



FIGURE 3: WETLAND SETBACK

1026 to 1054 Hunt Club Road, Ottawa, Ontario

Environmental Impact Statement & Tree Conservation Report (Revised)



— - Property Boundary

Please Note: This is not a legal land survey. All dimensions and locations are shown as approximate.

4.0 BLANDING'S TURTLE HABITAT

As noted in Section 3.6 of the EIS, NHIC records for Blanding's Turtle were noted south of the Site in association with wetlands found close to the Ottawa International Airport. However, it should be noted that the portion of the LRPSW found close to the Site is a White Cedar swamp, which is a type of wetland that does not provide optimal habitat for Blanding's Turtle (OMNRF 2014). No records of Blanding's Turtle have been noted close to the Site. The *General Habitat Description for Blanding's Turtle* (OMNRF 2014) identifies three types of Blanding's Turtle habitat. Category 1 and 2 habitat includes nesting areas, hibernacula, and wetland features, as well as the terrestrial area within 30 m of wetland edges. If Blanding's Turtle were hypothetically found within the adjacent section of the LRPSW south of the Site, this would designate the wetland and the surrounding 30 m as Category 2 habitat. As discussed above, the EIS previously proposed that the retaining wall would be placed at the property line, which would have resulted in development overlapping an area of potential Blanding's Turtle Category 2 habitat within the southwest corner of 1026 Hunt Club Road. As described above, the Site Plan has been adjusted to provide a minimum 30 m vegetated setback throughout the Site, and the portion of the 30 m wetland setback which overlaps the Site will be reforested, thereby improving the habitat functionality compared to existing conditions. By providing a minimum 30 m vegetated setback from the wetland edge, the adjusted Site Plan now avoids all areas which may qualify as Category 1 or 2 Blanding's Turtle habitat.

Category 3 Blanding's Turtle habitat includes the area 250 m from the wetland edge (OMNRF 2014). Hypothetically, if Blanding's Turtle were found within the adjacent section of the LRPSW, this would designate the majority of the Site as being within Category 3 Blanding's Turtle habitat. The primary function of Category 3 habitat is to provide terrestrial areas that connect adjacent Category 1 and 2 habitat features, allowing Blanding's Turtle to move overland between disconnected wetlands and nesting areas (OMNRF 2014). As noted above, the majority of the Site is previously developed with hard paved/compacted gravel surfaces (driveways and parking areas) and the Site is also surrounded by an existing chain-link fence on its western, southern, and eastern sides. There are also no wetland features found within the Site, and the adjacent areas west, north, and east of the Site are occupied by major roadways (Hunt Club Road and the Airport Parkway) and other developed properties. It is therefore highly unlikely that the Site provides functional Category 3 habitat under current conditions, and there are no adjacent features beyond the Site which would attract Blanding's Turtle to traverse the area. Development of the Site is therefore not anticipated to remove any areas of functional Category 3 habitat.

With the adjusted minimum 30 m wetland setback implemented, the Site Plan now avoids all areas of potential Category 1 and 2 Blanding's Turtle habitat. The remainder of the development area could potentially qualify as Category 3 habitat, however, there is no functionality provided by this habitat.

Therefore, the development will not result in any significant impacts to the habitat of Blanding's Turtle. Mitigation measures to protect turtles and other wildlife during construction are discussed in Section 4.4 of the EIS. Due to the fact that potential impacts on the habitat and individuals of Blanding's Turtle have been fully mitigated by the Site Plan and proposed mitigation, a review of the development application by the OMNRF under the Endangered Species Act (ESA) should not be required.



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5.0 HYDROLOGICAL IMPACT ASSESSMENT UPDATE

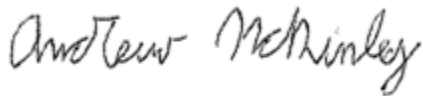
The Hydrological Impact Assessment was discussed with the RVCA during a meeting on October 20th, 2017. During the meeting, it was noted that because the development area is downgradient from the LRPSW, the potential redirection of stormwater run-off and overland flows is not anticipated to have a significant hydrological impact on the wetland. Paterson Group also noted that they have adjusted the underground parking design to reduce potential impacts on the groundwater table (e.g. groundwater lowering). Paterson Group (2017) have previously analyzed the potential for the building construction to impact the groundwater level in surrounding areas, including the LRPSW. Paterson Group concluded that "...it is expected that the occurrence of groundwater lowering within the immediate area surrounding the Site is negligible. The proposed development will not negatively impact the wetland area..." (Paterson Group 2017). Based on the information that has been provided by Paterson Group and Novatech thus far, the development is not anticipated to negatively impact the hydrology of the LRPSW.

The RVCA has requested additional detail to support the conclusions of the hydrological impact analysis. As discussed with the RVCA, Paterson Group and Novatech are currently preparing a more detailed submission which will further support the assessment of hydrological impacts

6.0 CLOSURE

We trust that the above information is sufficient; should you have any questions or require further information, please do not hesitate to contact the undersigned, at your convenience.

Sincerely,



Dr. Andrew McKinley, EP, RP Bio.

Senior Biologist, McKinley Environmental Solutions



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613-620-2255

mckinleyenvironmental@gmail.com

www.mckinleyenvironmental.com

7.0 REFERENCES

Ontario Ministry of Natural Resources and Forestry (OMNRF) (2014) General Habitat Description for Blanding's Turtle.

Paterson Group (2017) Response to RVCA Review Comments – Proposed Multi-Storey Buildings – 1026-1054 Hunt Club Road – Ottawa. File Number PG4091-LET.01



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