

1 OVERALL SITE PLAN  
SCALE 1:100

NOTES:

AREA BREAKDOWN:

BELOW GRADE AREA 443 SQ M

ABOVE GRADE BUILDING AREA  
- GROUND FLOOR 449 SQ M  
- SECOND FLOOR 449 SQ M  
- THIRD FLOOR 449 SQ M  
- FOURTH FLOOR 449 SQ M  
TOTAL ABOVE GRADE BUILDING AREA 1798 SQ M

TOTAL BUILDING AREA (ABOVE+BELOW) 2241 SQ M

AVG. GRADE = 69.22  
MAX. HEIGHT OF ROOF FROM AVG. GRADE: 14.5M (83.72)

PARKING:

REQUIRED: # OF DWELLING UNITS MINUS FIRST 12 UNITS, X (0.5+0.1)

REQUIRED: 27 UNITS - 12 = 15 X 0.6 = 9 PARKING SPACES  
PROVIDED: 9 PARKING SPACES

AREA OF SITE:

TOTAL LOT AREA 1050 SQ M  
BUILDING FOOTPRINT 449 SQ M

UNIT TYPES - APARTMENTS:

27 APARTMENTS TOTAL

LEGAL DESCRIPTION:

PART OF LOT 8 AND ALL OF LOT 9  
(EAST SIDE OF NELSON STREET)  
REGISTERED PLAN 14349  
CITY OF OTTAWA

ORIGINAL SURVEY PREPARED BY FARLEY, SMITH & DENIS SURVEYING LTD.

SURVEY #1:125-16 T Morino 355NelsonSt P/L114349 T F.

NOTES:

T.B.C - "TO BE CONFIRMED" BY CITY OF OTTAWA.

TOTAL NO. OF BIKE STORAGE SPACES PROVIDED: ---

\*\*\* REFER TO GRADING PLAN FOR ALL PROPOSED & EXISTING GRADE ELEVATIONS & SURFACE DRAINAGE PATTERNS \*\*\*

\*\*\* REFER TO LANDSCAPE PLAN FOR LANDSCAPE ELEMENTS TO BE REMOVED, RELOCATED OR RETAINED \*\*\*

CITY OF OTTAWA ZONING BY-LAW 2008-250

RAS [480] (RESIDENTIAL FOURTH DENSITY ZONE, SUBZONE S, EXCEPTION 480)  
WITHIN THE MATURE NEIGHBOURHOODS OVERLAY

RESIDENTIAL FOURTH DENSITY ZONE PROVISIONS (SECTIONS 161 & 162) AND LOW-RISE RESIDENTIAL INFILL DEVELOPMENT IN THE MATURE NEIGHBOURHOODS OVERLAY (SECTION 139)

APARTMENT DWELLING, LOW RISE	REQUIRED	PROVIDED
MINIMUM LOT WIDTH	15 m	28 m
MINIMUM LOT AREA	450 m <sup>2</sup>	1050 m <sup>2</sup>
MAXIMUM BUILDING HEIGHT	14.5 m	14.5 m
MINIMUM FRONT YARD SETBACK	THE AVERAGE OF THE EXISTING SETBACKS OF THE ABUTTING DWELLINGS: 3.08 m + 3.76 m = 6.84 m / 2 = 3.42 m	3.47 m
MINIMUM REAR YARD SETBACK	A DISTANCE EQUAL TO 30% OF THE LOT DEPTH WHICH MUST COMPRISE OF AT LEAST 25% OF THE LOT AREA. 37.57 m x 0.3 = 11.27 m	12.26 m
MINIMUM INTERIOR SIDE YARD SETBACK	2.5 m FOR ANY PART OF THE BUILDING LOCATED WITHIN 21 m OF A FRONT LOT LINE WHERE THE BUILDING WALL IS GREATER THAN 11m IN HEIGHT, AND 6 m FOR ANY PART OF A BUILDING BEYOND 21 m.	2.87 m / 6.05 m (SOUTH) 2.85 m / 6.05 m (NORTH)
MINIMUM PERCENT LANDSCAPED AREA	30% OF LOT AREA (1050 m <sup>2</sup> x 0.3 = 315 m <sup>2</sup> )	344.39 m <sup>2</sup>

PARKING, QUEUING AND LOADING PROVISIONS (SECTIONS 100-114)

MINIMUM PARKING SPACE REQUIREMENTS	0.5 SPACES PER DWELLING UNIT IN ACCESS OF 12 = 7.5 SPACES	9 SPACES
MINIMUM VISITOR PARKING REQUIREMENTS	0.1 SPACES PER DWELLING UNIT IN ACCESS OF 12 = 1.5 SPACES	
MINIMUM BICYCLE PARKING REQUIREMENTS	0.5 SPACES PER DWELLING UNIT = 14 (7 HORIZONTAL SPACES @ 0.6m X 1.8m, 7 VERTICAL SPACES @ 0.5m X 1.5m )	8 HORIZONTAL + 7 VERTICAL = 15 SPACES
MOTOR VEHICLE PARKING SPACE WIDTH	2.6 m (MINIMUM) / 2.75 m (MAXIMUM)	2.6 m
MOTOR VEHICLE PARKING SPACE LENGTH	5.2 m (MINIMUM)	5.2 m
MINIMUM AISLE WIDTH	6.7 m	6.7 m

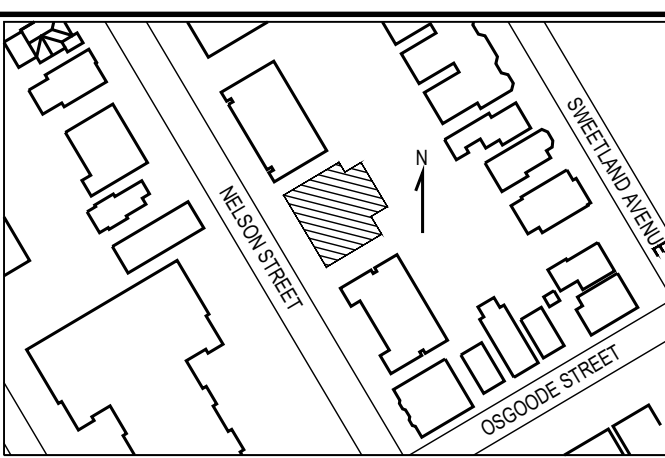
AMENITY AREA (SECTION 137)

MINIMUM TOTAL AMENITY AREA	15m <sup>2</sup> PER DWELLING UNIT UP TO 8 UNITS, PLUS 6m <sup>2</sup> PER ADDITIONAL UNITS = 234m <sup>2</sup>	COMMUNAL AREA = 153 m <sup>2</sup> + BALCONIES (158 m <sup>2</sup> ) = 311 m <sup>2</sup>
MINIMUM COMMUNAL AMENITY AREA	100% OF THE AMENITY AREA REQUIRED FOR THE FIRST 8 UNITS = 120m <sup>2</sup> , CONSISTING OF AT LEAST 80% SOFT LANDSCAPING = 96m <sup>2</sup> .	SOFT LANDSCAPE = 99 m <sup>2</sup> TOTAL COMMUNAL AREA = 153 m <sup>2</sup>

DRIVEWAYS (SECTION 139)

MINIMUM AND MAXIMUM PERMITTED DRIVE AISLE WIDTH	3.0m MIN WIDE 3.6m MAX WIDE	3.27 m
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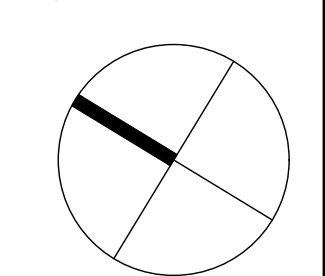
It is the responsibility of the appropriate Contractor to check and verify all dimensions on site and report all errors and/or omissions to the Architect.  
All Contractors must comply with all pertinent codes and by-laws.  
All dimensions are measured from face of stud to face of stud unless indicated otherwise.  
Do not scale drawings.  
This drawing may not be used for construction until signed.



04 OCT 27 2017 ISSUED FOR SITE PLAN APPROVAL  
03 AUG 25 2017 ISSUED TO STRUCTURAL  
02 JULY 21 2017 ISSUED TO NOVATECH  
01 FEB 14 2017 ISSUED FOR REVIEW

no	date	revision
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project north



professional stamp

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WEBSTER  
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ARCHITECTURE PLANNING  
DESIGN BUILD PROJECT MANAGEMENT

consultant  
FARLEY, SMITH & DENIS - SURVEYOR

project  
**355, 357, 359 & 361 NELSON STREET**  
A.F. MARTINS CONSTRUCTION  
NELSON STREET, OTTAWA, ON

drawn	checked
MH	VA

date	project no.
OCT 27 2017	16-18

drawing title

**SITE PLAN**

revision	drawing no.
04	A001