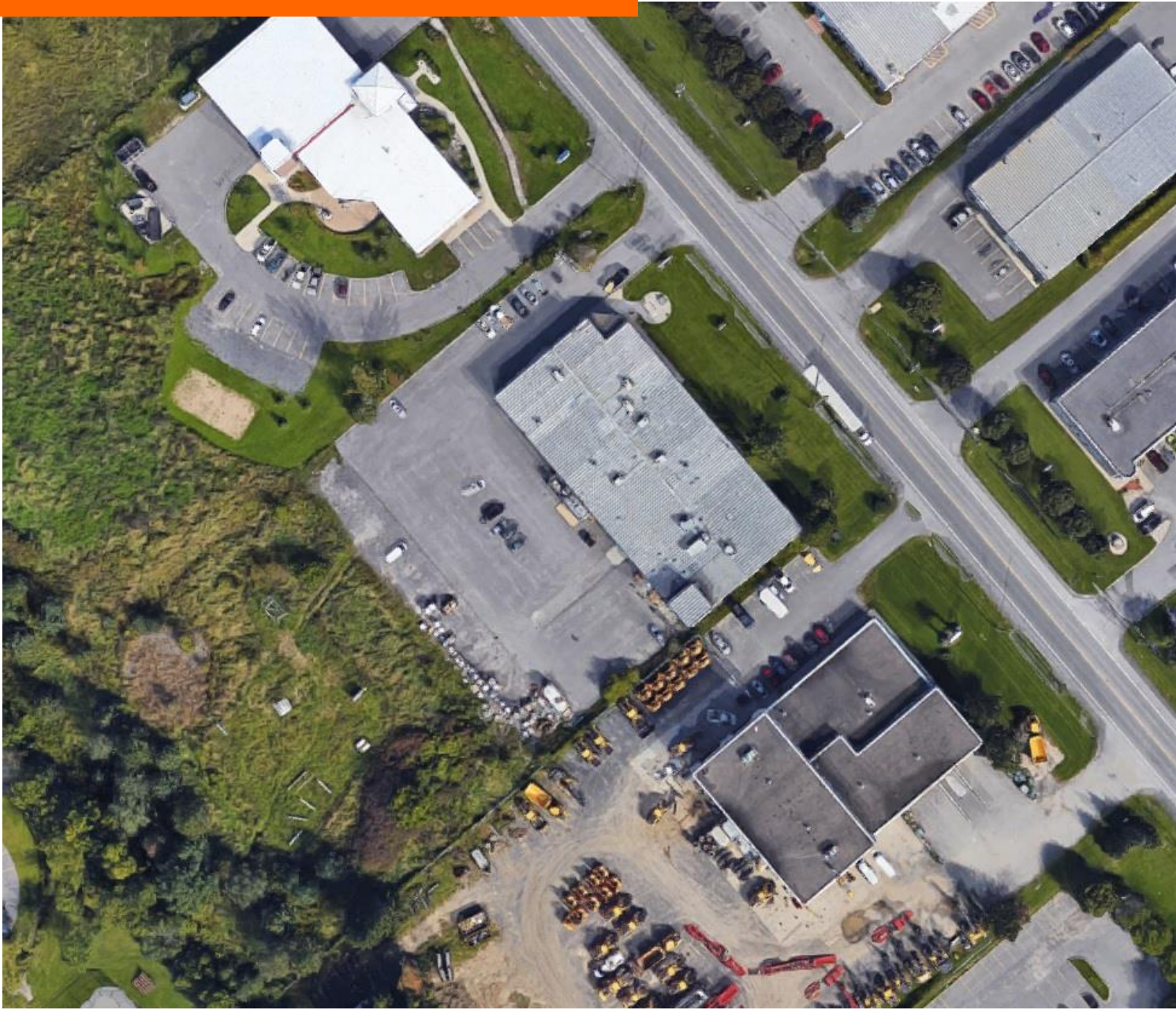


FOTENN

44 IBER ROAD



Prepared for:



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Fotenn Consultants Inc., acting as agents for Huntington Properties, is pleased to submit the enclosed Site Plan Control Application for the lands municipally known as 44 Iber Road in the Stittsville community of the City of Ottawa. As part of the application package, please find the following enclosed materials:

- / Site Servicing Report and Plan, prepared by DSEL;
- / Grade Control and Drainage Plan, prepared by DSEL;
- / Stormwater Management Report and Plan, prepared by DSEL;
- / Erosion and Sediment Control Plan, prepared by DSEL;
- / Geotechnical Report, prepared by Paterson Group;
- / Site Plan & Architectural Building Elevations, prepared by Shawn Lawrence Architects;
- / Landscape Plan, prepared by Jim Lennox and Associates; and,
- / Phase 1 ESA, prepared by Pinchin.

1.1 Development Proposal

The subject property currently contains a one storey building approximately 20,000 square feet in size, split into three separate occupancies; Olympia Gymnastics, Kanata Stoneworks and Marchand Electric. Huntington Properties is proposing to infill the vacant lands behind the existing building another one-storey building approximately 13,154 (1,222 m²) square feet in size. In addition to proposing additional parking spaces and drive aisles, the proposed building will accommodate four (4) new occupancies. A 22.8 metre landscape buffer from the rear property line and an existing drainage feature will remain as part of the infill development.

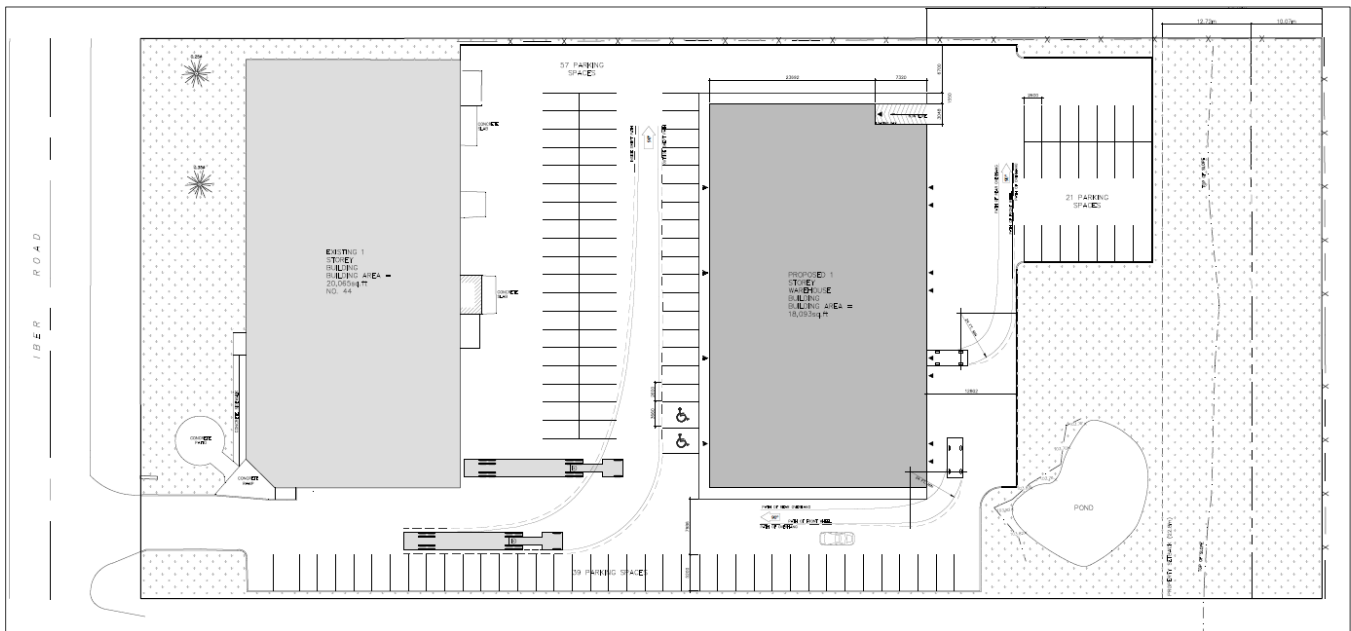


Figure 1: Snapshot of the proposed Site Plan

In order to facilitate the development, Huntington Properties is required to submit a new Site Plan Control Application with the City of Ottawa. Even though the existing building was constructed prior to 1991 as per the City's GeoOttawa aerial mapping, there is no existing Site Plan Agreement registered on title. As a result, the owner is required to submit a new Site Plan Control application with the City.

2.1 Site Context

The subject lands form part of the Iber Road Business Park, a linear employment corridor spanning from Hazeldean Road to Abbott Street. Save and except for a few infill opportunities, the Iber Road Business Park is characterized by 1 to 2 storey buildings

The subject property is legally described as Part of Lot 27, Concession 11, Plan 4M-454, Part Block 1, R-Plan 5435, Part 2 in the City of Ottawa.

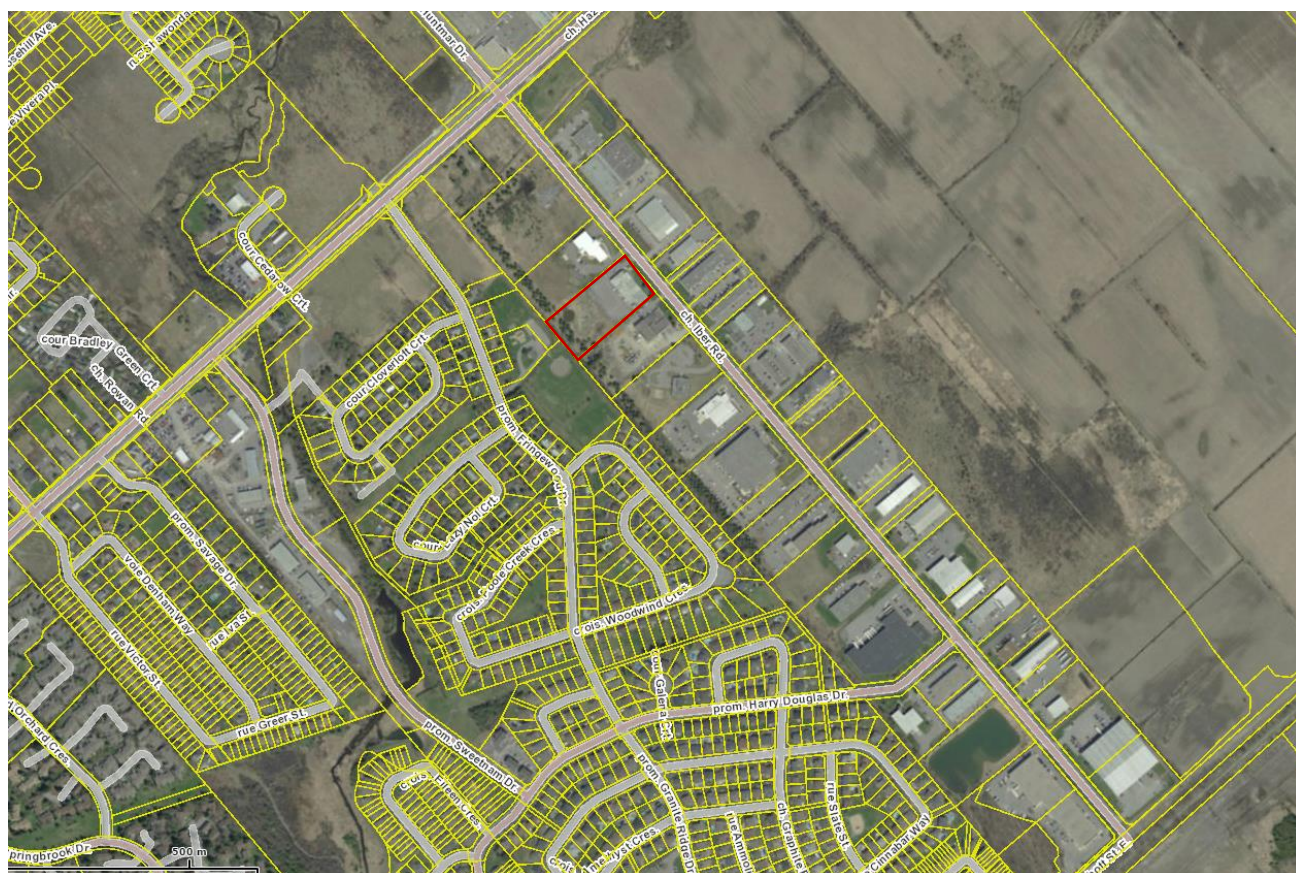


Figure 2: Iber Road Employment Corridor

The approximate 1.3 hectare site is bound by Iber Road to the east, a City of Ottawa firestation (#46) to the north, a heavy equipment dealership to the south, and the Fringewood Park and Community Centre to the west. The subject property has approximately 80 metres of frontage along Iber Road, and approximately 169 metres of lot depth.

The existing building is setback approximately 15 metres from Iber Road and includes a roadside ditch, a large grassed area with some trees, and a picnic table set on a concrete slab.



Figure 3: Streetview of existing building at 44 Iber Rd.

Located in the rear of the existing building is the existing parking area. Further in the rear of the property there is large grassed area, a drainage pond and a treed buffer adjacent the rear property line.



Figure 4: Aerial view of 44 Iber Rd.

2.2 Site Access & Transportation

Access to the subject property is provided by Iber Road, an existing Major Collector as designated on Schedule E of the City's Official Plan. Collector roads connect communities and distribute traffic between the arterial road

system and the local road system. The design and construction of collector roads will accommodate the safe and efficient operation of transit services.

3.1 Provincial Policy Statement (2014)

The Provincial Policy Statement (PPS), issued under Section 3 of the *Planning Act*, came into effect on April 30, 2014, and provides policy direction on matters of Provincial interest and sets the foundation for the regulation of development and land use planning. The PPS requires that decisions of municipal councils 'shall be consistent with' policies contained in the PPS when considering any development.

Generally, the PPS requires that municipal councils ensure an efficient pattern of land use, a coordinated and comprehensive approach to making land use decisions, that development is consistent with and at locations where municipal services and transportation are available, and that development contributes to the long-term economic prosperity of the municipality.

The PPS heavily emphasizes land uses which efficiently use land and resources and are appropriate for and efficiently use, the infrastructure and public service facilities which are planned or available, avoid the need for their unjustified and/or uneconomical expansion and a range of uses and opportunities for intensification and redevelopment.

The following policies are of relevance to the proposed development:

1.0 Building Strong Healthy Communities

1.1.1 Healthy, liveable and safe communities are sustained by:

- a. promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long-term;
- e. promoting cost-effective development patterns and standards to minimize land consumption and servicing costs;

1.1.3.2 Land use patterns within settlement areas shall be based on:

- a. densities and a mix of land uses which:
 1. efficiently use land and resources;
 2. are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;
 4. support active transportation; and
 6. are freight-supportive

1.3 Employment

1.3.1 Planning Authorities shall promote economic development and competitiveness by:

- c. encouraging compact, mixed-use development that incorporates compatible employment uses to support liveable and resilient communities.

The proposed infill commercial development is 'consistent with' the Provincial Policy Statement (PPS). The proposed development supports one of the fundamental objectives of the Provincial Policy Statement in promoting cost-effective development patterns that stimulate economic growth. As per the PPS, cost-effective development patterns are commonly associated with proposals which optimize density, capitalize on existing infrastructure and promote mix of uses in an immediate area.

3.2 City of Ottawa Official Plan

The subject lands are designated **Employment Area** in the City of Ottawa's Official Plan.

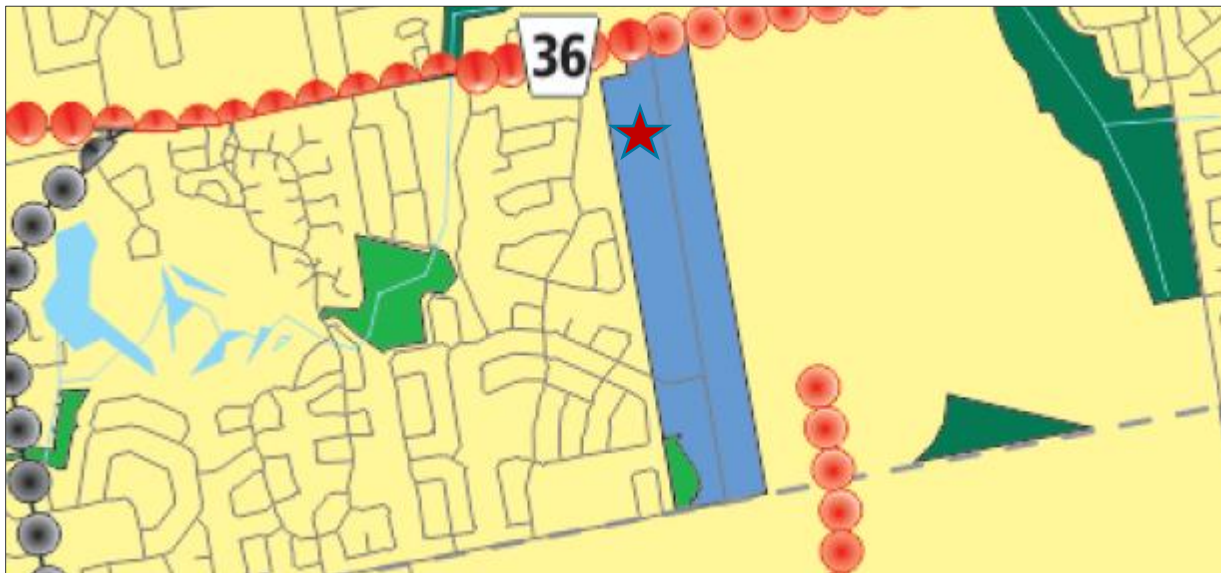


Figure 5: City of Ottawa Official Plan – Schedule B, Urban Policy Plan

Employment Area lands provide for a wide range of economic activities, job opportunities and pay scales. Maintaining a sufficient supply of land for this range of activities is key to the long-term economic health of the community and its ability to attract and retain new investments. Typically, **Employment Areas** provide large parcel sizes, reflective of user needs for storage, parking and building floorplate, and they are usually well-situated with respect to major roads.

In **Employment Areas**, the implementing Zoning By-law permits a variety of industrial and employment generating uses, such as warehousing and distribution, manufacturing, communications, storage, construction, office, institutional and research and development. In addition, lands designated **Employment Area**, through zoning, is meant to distinguish uses with characteristics that are likely to impact negatively on surrounding uses (i.e. uses that produce odours, smoke, heavy equipment movement, noise) from those uses that are likely to have negligible such impacts.

The Iber Road Business Park is identified as a strategic **Employment Area** for the City due to its location in Stittsville / Kanata as well as its strategic location in proximity to Highway 417. Business Parks, such as the Iber Road Employment Area, are meant to accommodate a variety of light industrial uses, including office uses. As such, the proposal to construct new office uses on the property is consistent with achieving the employment targets outlined in the City's Official Plan.

Design Criteria (Section 2.5.1 & 4.11)

Compatibility of scale and use are to be carefully understood to mitigate the design impacts of infill and intensification. Section 4.11 outlines a set of criteria that can be used to objectively measure the compatibility of the infill or intensification. The development can be evaluated in the following ways:

- / **Traffic:** The subject property is located on a Major Collector, a street and designation that connects communities and distribute traffic between the arterial road system and the local road system. The addition of office uses will not generate a significant amount of traffic to the existing street network. A traffic study was not required as part of the Site Plan Control Application.
- / **Vehicular Access:** Access and egress to the site is provided by the existing driveway located at the north-east of the site. The driveway will provide vehicular access to the existing parking in between the buildings and at the rear of the building.

- / **Parking:** The proposed development meets and exceeds the minimum number of parking spaces for offices uses in this location. It is important for the owner to provide a ration of 4/100m² as the subject lands is not well-served by transit or the other non-vehicular modes of transportation.
- / **Outdoor Amenity Areas:** The proposed development provides some communal outdoor amenity space for employees. However, given the nature of the proposal, there are no outdoor amenity area requirements.
- / **Loading, Service and Outdoor Storage Areas:** The proposal includes a loading and service area for each occupancy at the rear of the building as per the rear building elevations. These loading areas exceed the requirements of the zoning by-law. No outdoor storage is being proposed as part of the Site Plan Application.
- / **Lighting:** Lighting will be designed and installed to provide a safe and secure environment while meeting the City's requirements and ensuing no significant impacts on adjacent properties.
- / **Noise and Air Quality:** Given the current IL zoning, there are no significant concerns related to noise or air quality concerns.
- / **Sunlight:** No significant sunshading impacts are anticipated as a result of the proposed development.
- / **Microclimate:** No significant microclimate impacts are anticipated as a result of the proposed development.
- / **Supporting Neighbourhood Services:** The proposed infill office development is in close proximity to a range of existing community amenities and services including schools, parks, and service commercial uses.

At the City-wide scale, issues of compatibility are addressed in the Official Plan through the appropriate designation of land and associated policies that direct where and how certain categories of land use should be permitted to develop. It is recognized that because land use designations such as the Employment Area contain broad use permissions, it will be necessary for the zoning by-law to establish more specific permitted use lists and development regulations within areas and on individual sites in a manner that achieves compatibility among proximate uses and built forms. A more detailed analysis of the development proposal in light of the regulatory framework is provided in Section 4.0 of this report.

As shown on the Building Elevations, the exterior of the proposed building will be constructed with a combination of corrugated metal panelling and glazing. The numerous doors and windows will help to break up the mass of the building.



Figure 6: Front and Rear Building Elevations

OPA 150, OPA 180 & the Employment Lands Review

Official Plan Amendment 150 was adopted in 2014 and is currently under appeal at the Ontario Municipal Board. The City of Ottawa requires that development applications have regard for the new policies in OPA 150, which indicate the direction of Council for land use planning. The existing policies of Section 3.6.5 (**Employment Area** and **Enterprise Area**) are generally maintained in OPA 150. Upon review of OPA 150, the general intent is met through this proposal.

The City of Ottawa recently initiated the Employment Lands Review (ELR) as part of their Planning Act obligation of updating the Official Plan through OPA 150. The Employment Lands study has examined all Employment and Enterprise Areas throughout the City with the recommendation of removing strategic lands out of the Employment and Enterprise Areas designation and into a different designation (i.e. General Urban Area, Arterial Mainstreet). The ELR was recently approved at Planning Committee and by Council and is currently with the Ministry for approval and/or modifications. The ELR does not propose any change to the **Employment Area** designation in the Iber Road Business Park.

4.0 REGULATORY FRAMEWORK

4.1 City of Ottawa Comprehensive Zoning By-law (2008-250)

The subject property is zoned **Light Industrial Zone, Exception 1559** (IL [1559]). The purpose of the IL zone is to permit a wide range of low impact light industrial uses, as well as office and office-type uses in a campus-like industrial park setting, in accordance with the **Employment Area** designation of the Official Plan.

Exception 1559 prohibits all uses in Section 203 (2) except a restaurant and a recreational and athletic facility. The prohibited uses include: animal care establishment; amusement centre; amusement park; automobile service station; bank; bank machine; car wash; convenience store; gas bar; instructional facility; and, personal service business.

As demonstrated below, Table 203 contains the IL Zone provisions. The 'PROVIDED' column demonstrates compliance to the existing zoning.

ZONE MECHANISM	REQUIREMENT	PROVIDED
Lot Area (min)	2,000 m ²	13,507 m ²
Lot Width (min)	No minimum	80 m
Lot Coverage (max)	65%	26%
Front Yard Setback (min)	7.5 m	15 m
Interior Side Yard Setback (min)	7.5 m	8.2 m & 14.2 m
Rear Yard Setback (min)	7.5 m	57 m
Floor Space Index (max)	2	1
Building Height (max)	18 m	5.1 m
Width of Landscaped Area (min)	Abutting a Street: 3 m All other cases: No minimum	15 m from Iber Road
Parking	Office: 2.4 per 100 m ² (3,086/100) 2.4 = 74	124 spaces
Bicycle Parking	Office: 1 per 250 m ² 3,551/250 x 1 = 14	15 spaces

The development proposal is not required to amend the existing zoning on-site as the uses are permitted and the building location is in compliance with the provisions of the IL Zone.

5.0 CONCLUSION

In considering the proposed development and applicable policy framework, it is Fotenn's professional opinion that the proposal represents good land use planning, is appropriate for the site and is in the public interest.



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Fotenn Consultants Inc.