

**CITY OF OTTAWA ZONING BY-LAW 2008-250**  
GM(2310) (GENERAL MIXED-USE ZONE, EXCEPTION 2310)

ZONE PROVISIONS	REQUIRED	PROPOSED
<b>GENERAL MIXED-USE ZONE (SECTION 187-188)</b>		
Minimum lot area	No minimum	Block 31 only = 3,027sqm Entire GM(2310) zone = 14,996sqm
Minimum lot width	No minimum	+/- 84m for entire GM(2310) zone
Minimum front yard setbacks	1.8m	+/- 120.5m
Minimum corner side yard setbacks	3m	3.1m
Minimum interior side yard setbacks	3m	+/- 44.2m
Minimum rear yard setbacks	1.3m	3m
Minimum floor space index*	2 (for entire GM(2310) zone)	2.22 (for block 31 only) < 2.0 (for entire GM(2310) zone)

MINIMUM WIDTH OF LANDSCAPE AREA		
Abutting a street	1.3m	+3m
Other cases	No minimum	varies

EXCEPTION 2301 (SECTION 239)		
Maximum building height		
Top of two-storey parapet	83.7m above sea level	68.18m
Top of seventh-storey roof parapet	83.7m above sea level	82.77m
Top of eighth-storey roof parapet	83.7m above sea level	86.12m
Top of stair tower	83.7m above sea level	86.69m
Top of kitchen exhaust	83.7m above sea level	87.42m
T/O condensers	83.7m above sea level	87.72m
Top of elevator over run parapet	83.7m above sea level	87.87m
T/O make-up air units	83.7m above sea level	88.00m

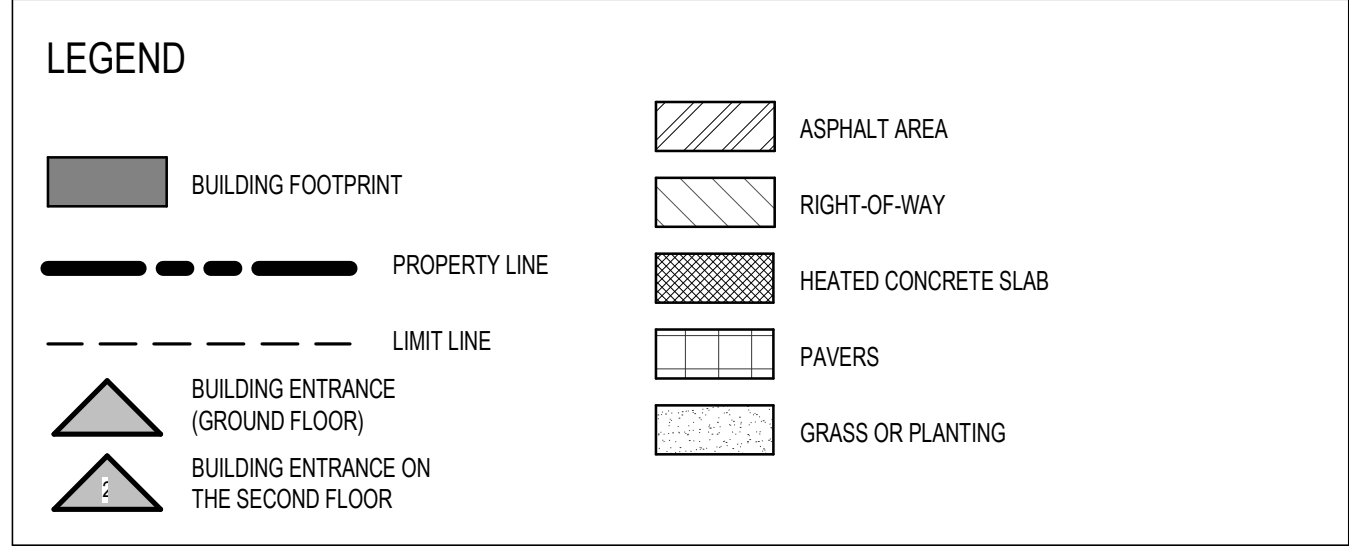
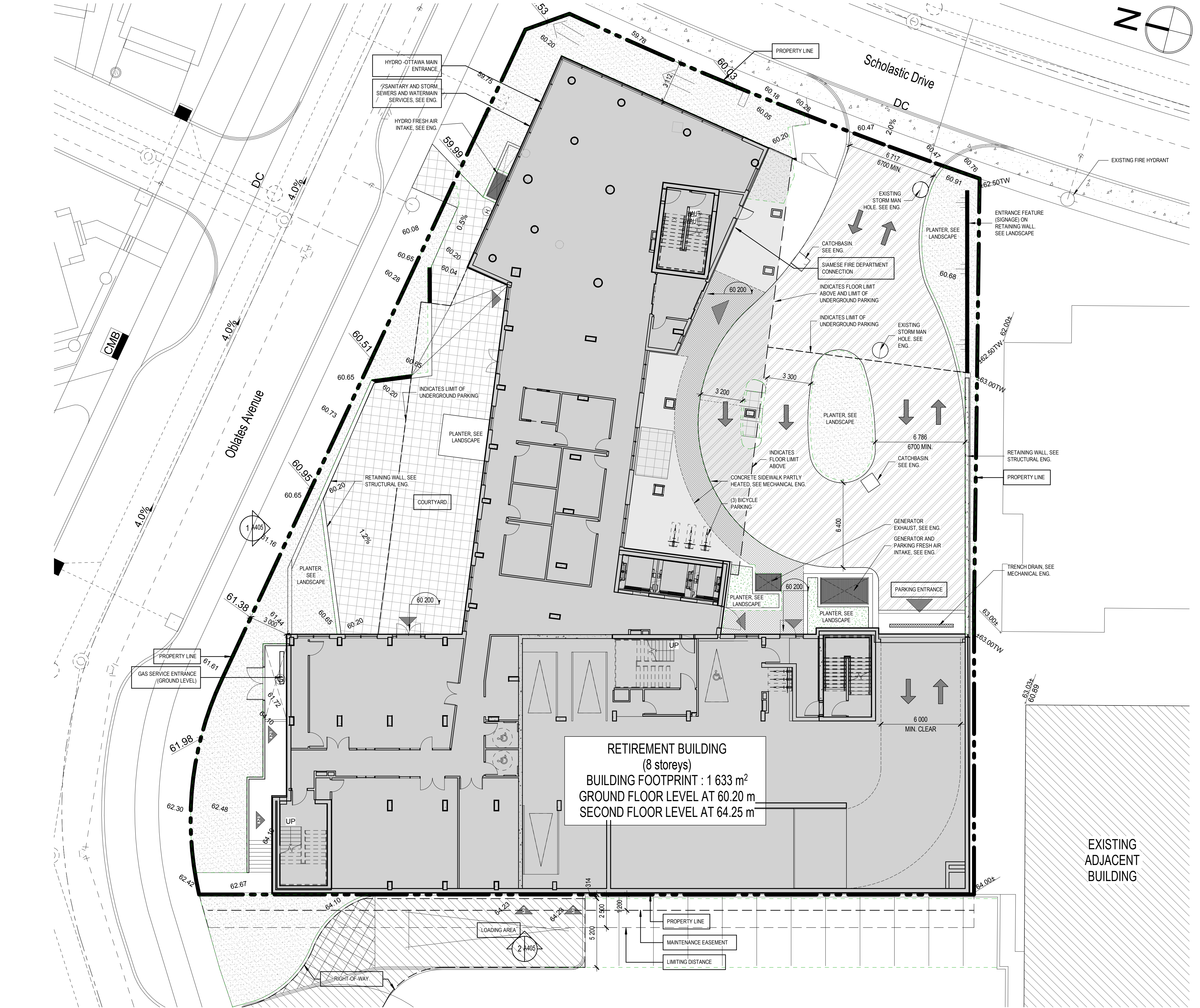
PARKING REQUIREMENTS (SECTION 100-114)		
MINIMUM PARKING SPACE RATE	REQUIRED	PROPOSED
0.25 per dwelling unit or rooming unit in excess of 12, plus 1 per 100sqm or GFA used for medical, health or personal services	(146 suites - 12 x 0.25 = 33.5) 298sqm nursing/100sqm = 3 Total = 37 required parking spaces	37 + 3 tandem (including 8 small spaces)
Minimum bicycle parking space rate (0.25 per dwelling unit or rooming unit)	(146 suites x 0.25) = 37	39

\* Based on a total proposed gross floor area of 6 713 sqm for the Greystone Retirement Village.

AMENITY AREA (SECTION 137)		
Minimum total amenity area (10% of unit gfa)	582 sqm	1 682 sqm
Minimum communal area (50% of the total amenity area)	291 sqm	1506.9 sqm

BUILDING INFORMATION					
	BUILDING AREA	NUMBER OF SUITES	HEALTH & PERSONAL SERVICES	SUITE AREA	AMENITY AREA *
Basement floor	2 353 sqm	N/A	N/A	N/A	N/A
Ground (1) floor	976 sqm + 664sqm garage	N/A	100 sqm	N/A	795 sqm
Second (2) floor	1 516 sqm	4	128 sqm	138 sqm	416 sqm
Third (3) floor	1 549 sqm	26	N/A	1034 sqm	141 sqm
Fourth (4) floor	1 549 sqm	27	N/A	1 092 sqm	N/A
Fifth (5) floor	1 549 sqm	22	70 sqm	830 sqm	99 sqm
Sixth (6) floor	1 549 sqm	27	N/A	1 095 sqm	N/A
Seventh (7) floor	1 509 sqm	25	N/A	1 044 sqm	N/A
Eight (8) floor	1 109 sqm	15	N/A	579 sqm	231 sqm
Elevator over run	29.4 sqm	N/A	N/A	N/A	N/A
<b>TOTAL</b>	<b>14 352.4 sqm</b>	<b>146</b>	<b>298 sqm</b>	<b>5 822 sqm</b>	<b>1 682 sqm</b>

AREA SUMMARY		
LOT COVERAGE:	3 027 m <sup>2</sup> (53.9 %)	
BUILDING FOOTPRINT:	1 633 m <sup>2</sup>	



NOTES GÉNÉRALES / General Notes

- Ces documents d'architecture sont la propriété exclusive de NEUF architectes et ne doivent être utilisés, reproduits ou copiés sans autorisation écrite préalable. / These architectural documents are the exclusive property of NEUF architects and cannot be used, copied or reproduced without written pre-authorization.
- Les dimensions apparaissant sur ces documents doivent être vérifiées par l'entrepreneur avant le début des travaux. / All dimensions which appear on the documents must be verified by the contractor before to start the work.
- Vous devez avoir l'architecte de toute dimension erreur et/ou divergence entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of the other professionals.
- Les dimensions sur ces documents doivent être lues et non mesurées. / The dimensions on these documents must be read and not measured.

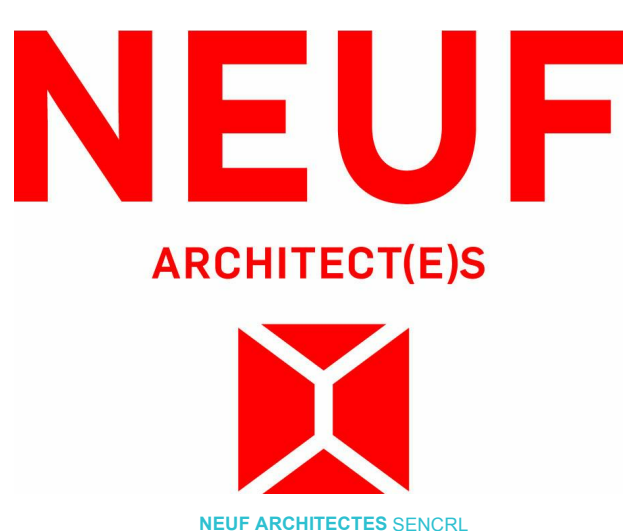
CIVIL + PLANNING + LANDSCAPE  
**NOVATECH**  
240 Michael Cowland Drive, Suite 200  
Ottawa, Ontario, K2M 1P6  
P : (613) 254-9643  
F : (613) 254-5867

MECHANICAL / ELECTRICAL  
**GOODKEY, WEEDMARK AND ASSOCIATES LTD.**  
1888 Woodward drive, Suite 200  
Ottawa, Ontario, K2C 3R8  
P : (613) 727-5111  
F : (613) 727-5115

STRUCTURAL  
**CLELAND JARDINE ENGINEERING LTD.**  
580 Terry Fox Drive/Drive, Suite 200  
Kanata, Ontario, K2L 4B9  
P : (613) 591-1533  
F : (613) 591-1703

ARCHITECTS  
**NEUF architect(e)s**  
630, boul. René-Lévesque O. 32e étages, Montréal QC H3B 1S6  
T 514 847 1117 NEUFARCHITECTES.COM

Seal



CLIENT Client

OUVRAGE Project  
**GREYSTONE VILLAGE RETIREMENT RESIDENCE**  
EMPLACEMENT Location NO PROJET No.  
225 SCHOLASTIC DR. 11659  
OTTAWA, ONTARIO

NO	REVISION	DATE (aa-mm-ii)
A	Progress Coordination	2017.10.19
B	Coordination	2017.10.20
C	SITE PLAN CONTROL	2017.10.26

Preliminary  
DO NOT USE FOR  
CONSTRUCTION

DESSIN PAR Drawn by  
MH / MAG / AH  
DATE (aa-mm-ii)  
10/05/17  
TITRE DU DESSIN Drawing Title

VERIFIÉ PAR Checked  
CI  
ECHELLE Scale  
As indicated

**SITE PLAN**

REVISION Revision NO. DESSIN Dwg Number  
**C A100**