

NOTES:
Contractor shall check and verify all dimensions on site and report any discrepancies to the Architect before proceeding.

Owner:
ZENA INVESTMENT CORPORATION
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Landscape Architect:
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Mechanical & Electrical Engineer:
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LEGEND:
DC = DEPRESSION CURB
MH = MANHOLE
CB = CATCH BASIN
B = ISLAND
RCD = FIRE DEPARTMENT CONNECTION
RH = FIRE HYDRANT
HS = IN-SLAB HEATING
SH = GAS METER
LF = WALL-MOUNTED LIGHT FIXTURE
LS = LIGHT STANDARD
▲ = PRINCIPAL ENTRANCE
△ = ENTRY DOOR
▽ = OVERHEAD DOOR
▽ = WITH NUMBERS, DENOTES REVISION
□ = BARRIER-FREE PARKING SPACE (CONCRETE CURB & SIGN OR POST OR WALL)

VACANT ZONE: 01

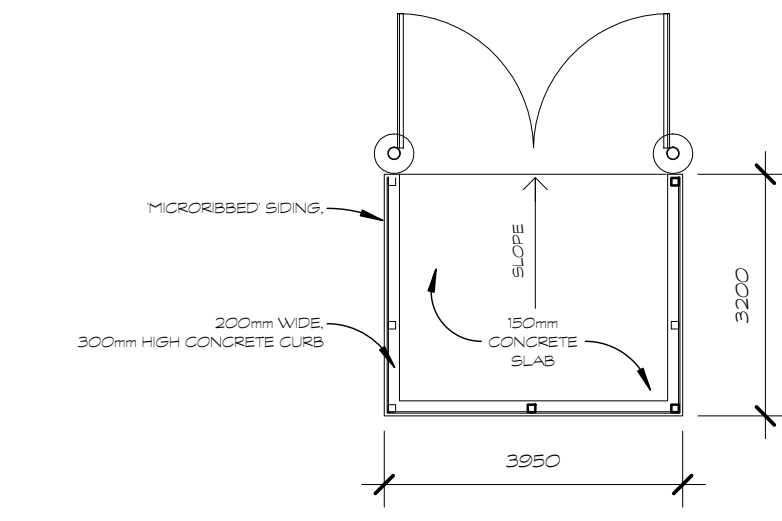
PART 11: EASEMENT PER INST. No. OC1688007

PART 14: EASEMENT PER INST. No. OC1688649

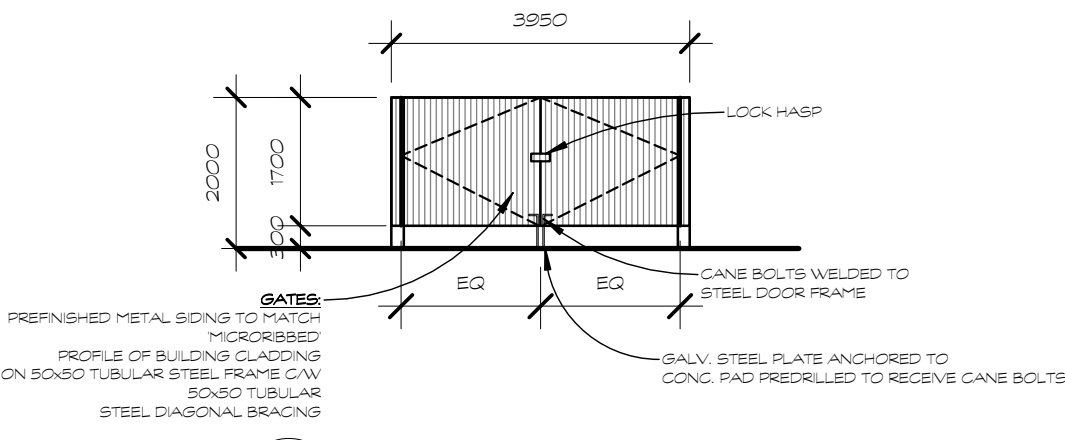
PART 9: EASEMENT PER INST. No. OC1688649

PART 10: EASEMENT PER INST. No. OC1688007 & 1695194

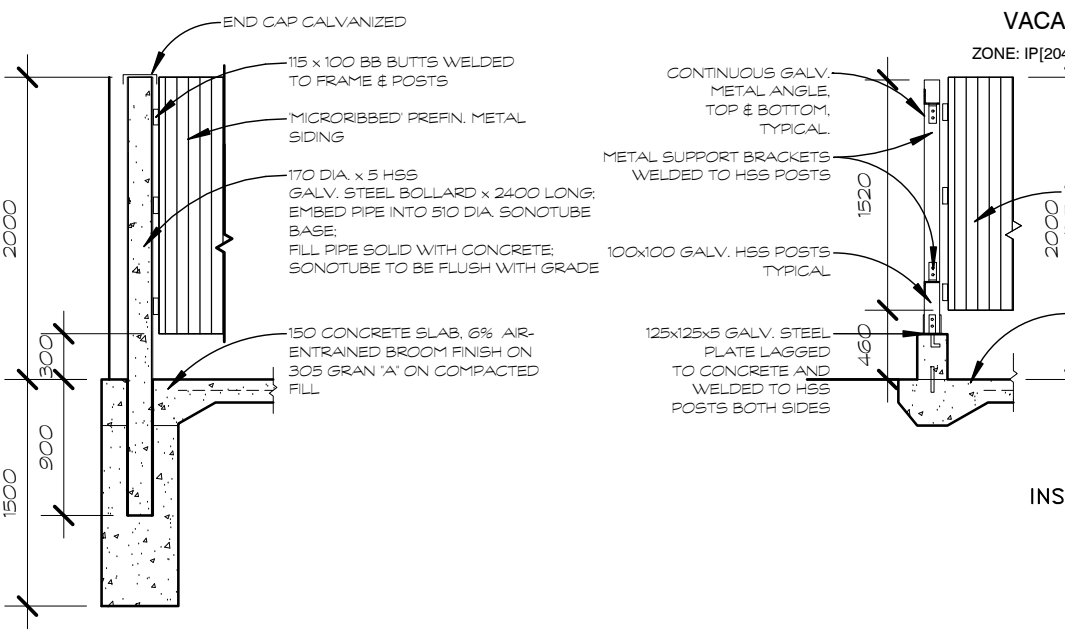
PART 11: EASEMENT PER INST. No. OC1688007



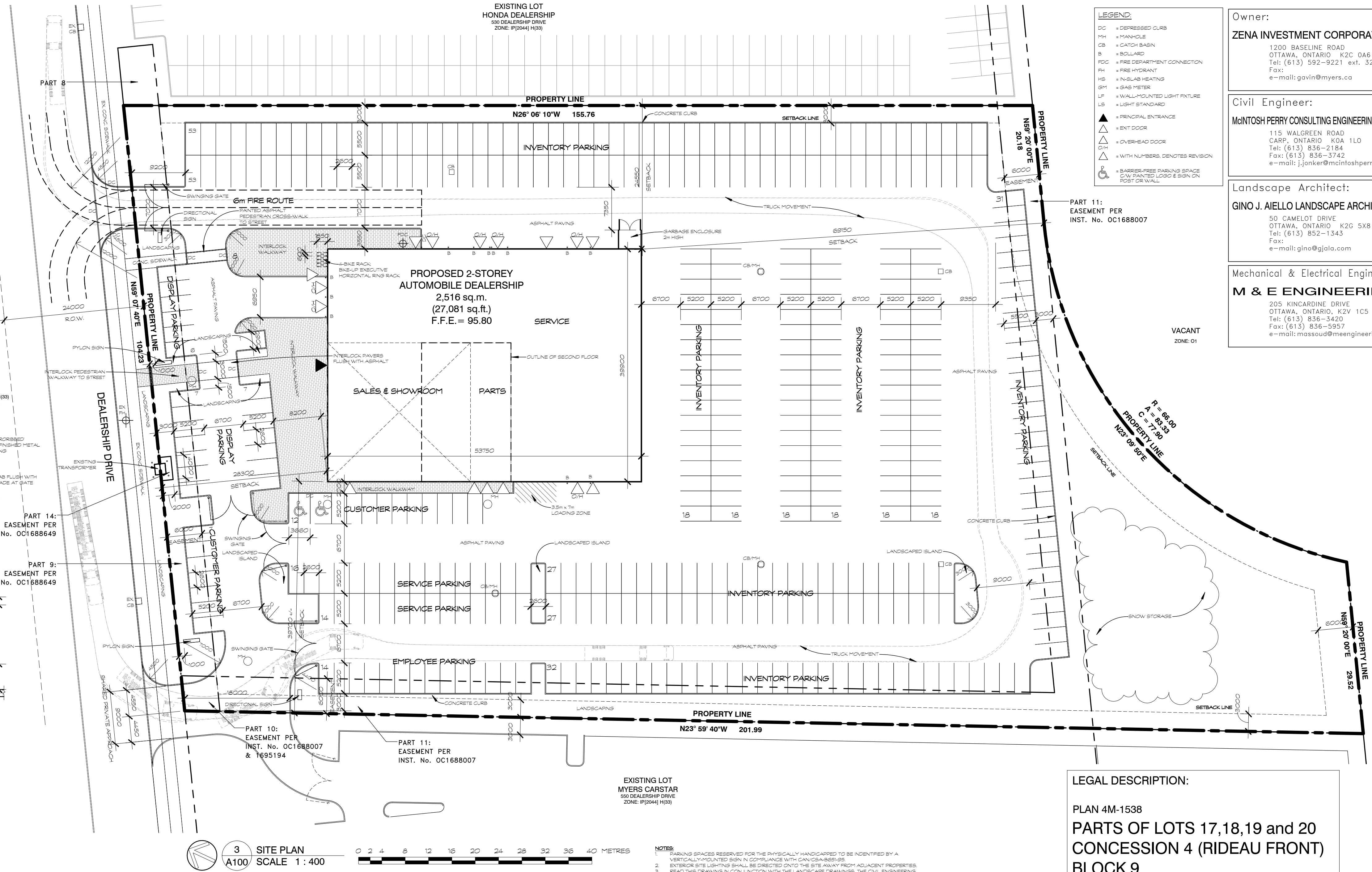
4 GARBAGE ENCLOSURE PLAN SCALE 1:100



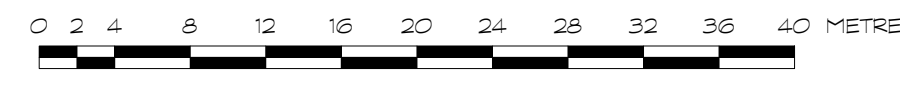
5 GARBAGE ENCLOSURE ELEVATION SCALE 1:100



6 DETAILS - GARBAGE ENCLOSURE SECTIONS SCALE 1:50



3 SITE PLAN SCALE 1:400



NOTES:
1. PARKING SPACES RESERVED FOR THE PHYSICALLY HANDICAPPED TO BE IDENTIFIED BY A VERTICALLY-MOUNTED SIGN IN COMPLIANCE WITH CANADA-BUILDING-CODE.
2. EXTERIOR SITE LIGHTING SHALL BE DIRECTED ONTO THE SITE AWAY FROM ADJACENT PROPERTIES.
3. READ THIS DRAWING IN CONJUNCTION WITH THE LANDSCAPE DRAWINGS, THE CIVIL ENGINEERING DRAWINGS & THE ELECTRICAL DRAWINGS.

LEGAL DESCRIPTION:
PLAN 4M-1538
PARTS OF LOTS 17,18,19 and 20
CONCESSION 4 (RIDEAU FRONT)
BLOCK 9
CITY OF OTTAWA
PREPARED BY
ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
MAY 4, 2015

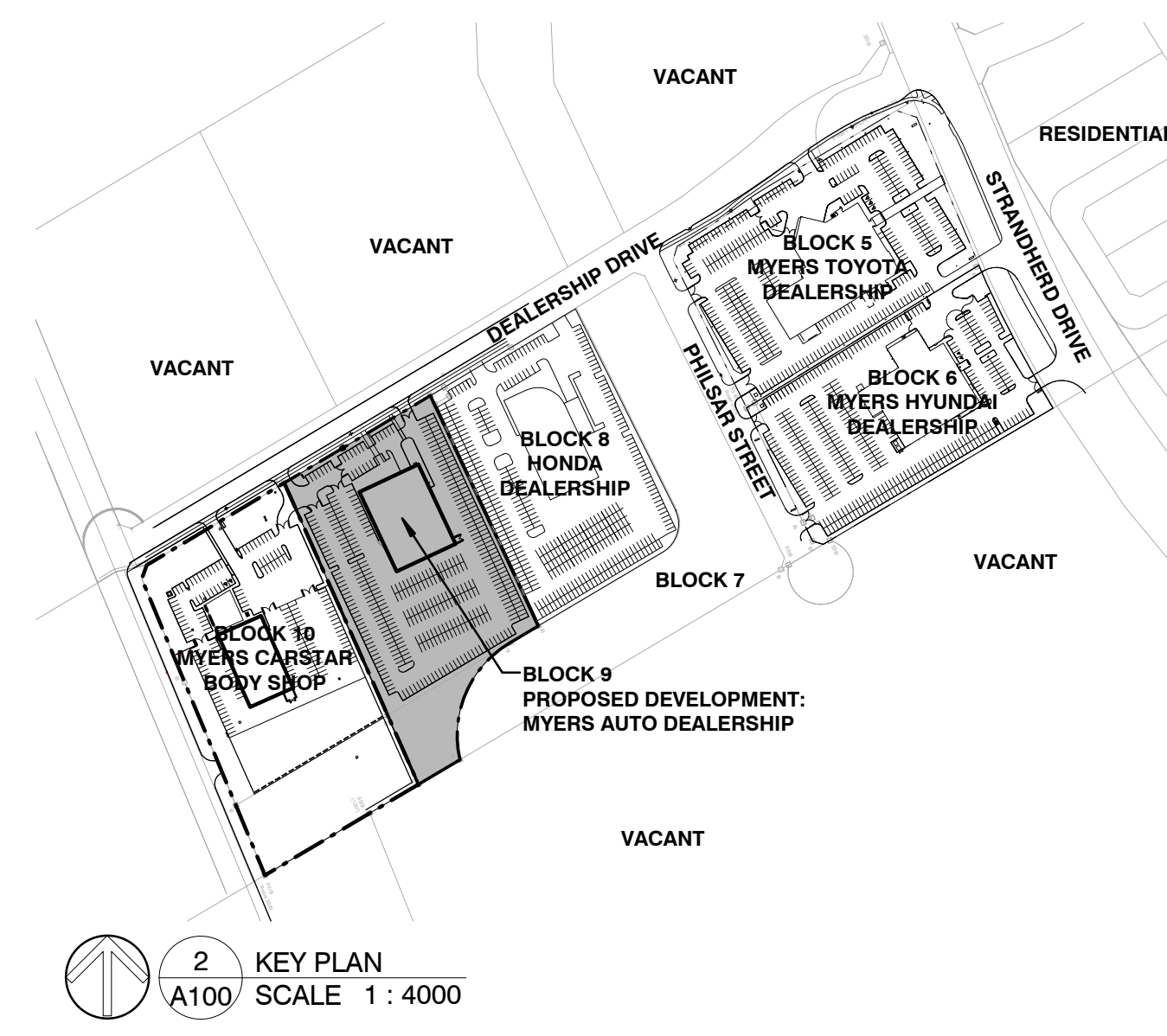
Project Zoning Review/Statistics

Municipality: City of Ottawa
Municipal Address: 540 Dealership Drive, Barrhaven
Registered Owner: Zena Investment Corporation
Lot Area: Site Area: 18,371 sq.m. (197,747 sq.ft (4.54 acres))

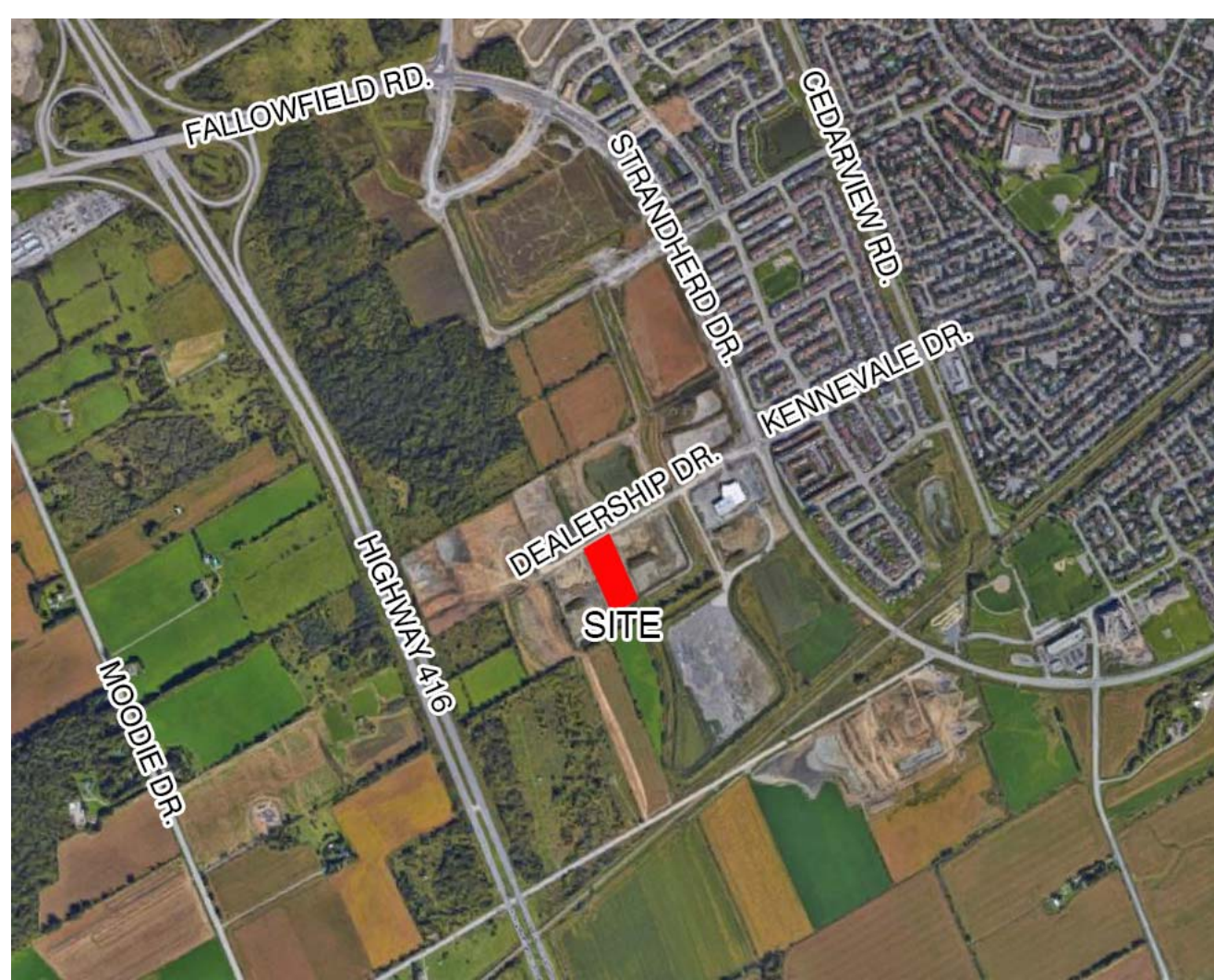
Zoning Analysis
Ottawa
Zoning By-law: 2008-250
Zone: IP[2044] H(33)
Proposed Use: Automobile Dealership

Development Standards		
	Required	Provided
Minimum Lot Area	10,000 sq.m	18,371 sq.m.
Minimum Lot Width	100m	108.89m
Maximum Lot Coverage	55%	12%
Minimum Required Yard		
Front & Corner Side Yard	6m	23.15m
Interior Side Yards	3m	24.55m
Rear Yard	6m	74.35m
Maximum Building Height	33m	7.9m
Minimum Width of Landscaping		
Abutting a Street	3m	3m
Abutting O'Keefe Drainage	Corridor	3m
All other cases	No min.	3m
Parking Spaces		
Sales/Showroom	- 2/100 sq.m @ 673 sq.m.	14
Service Area	- 2/bay @ 16 bays	32
Other	- 1/100 sq.m @ 595 sq.m.	6
Total		52
Display Parking		21
Inventory Parking		313
Total		397
Loading Spaces (3.5m x 7m)	1	1
Bicycle Parking (1/1000 sq.m.)	3	4
Parking for Physically Disabled	2	2

Area 'C' on Schedule 1A
Land Use Group (G) as per Table 111A



2 KEY PLAN SCALE 1:400



1 LOCATION PLAN - A100 SCALE N.T.S.

Building Areas	Gross (out-to-out)	
	Sq.m.	Sq.ft
Ground Floor		
Sales/Showroom	673	7,246
Service Area	1248	13,435
Other	223	2400
	2,144	23,081
Second Floor		
Other	372	4000
	372	4,000
Totals	2,516	27,081

PROPOSED AUTOMOBILE DEALERSHIP

540 DEALERSHIP DRIVE
OTTAWA, ON.

designed by: [signature] KWC approved by: [signature]
drawn by: TC / AK project no. 1732
date: 15 SEPTEMBER 2017 scale: as noted
drawing / dessin

SITE PLAN

revision: [] sheet no. A100 no. de feuille: []