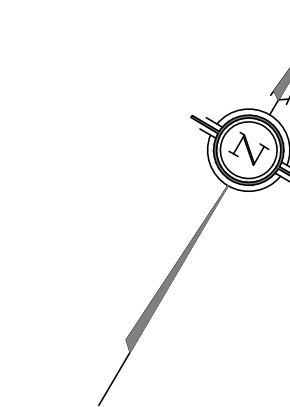


KEY PLAN: N.T.S.



ZONING INFORMATION

ZONING - IP [2103]	PROVIDED
MIN. LOT AREA - 750 m ²	11,619.99 m ²
MIN. LOT WIDTH - 0 m	92.16m
MAX. LOT COVERAGE - 55%	27%
MIN. FRONT YARD DEPTH - 6.0 m	9.41 m
CORNER SIDE YARD WIDTH - 6.0 m	7.0 m
MIN. INTERIOR SIDE YARD	3.0 m
- ABUTTING RESIDENTIAL - 6.0m	
- ALL OTHER CASES - 3.0m	
MIN. REAR YARD DEPTH - 6.0 m	6.0m
MAX. BUILDING HEIGHT	7.72 m
- WITHIN 20m RESIDENTIAL - 11.0m	
- ALL OTHER CASES - 22.0m	
MIN. LANDSCAPE ABUTTING	
- RESIDENTIAL - 3.0m	
- STREET - 3.0m	
- OTHER - 0.0m	
[2103] - CONVENIENCE STORE PROHIBITED	

BUILDING #1 UNITS 1 - 10 (G.F.A.)

GROUND FLOOR-	999.97m ²
SECOND FLOOR-	1,024.39m ²
TOTAL FLOOR AREA	2,024.36m ²

BUILDING #2 UNITS 11 - 18 (G.F.A.)

GROUND FLOOR-	783.01m ²
SECOND FLOOR-	802.49m ²
TOTAL FLOOR AREA	1,585.50m ²

PARKING REQUIRED PHASE I (2.4 SPACES/100m² OFFICE)

3,609.86m² / 100m² = 36.10 x 2.4 = 86.64 SPACES

PARKING REQUIRED PHASE II (2.4 SPACES/100m² OFFICE)

2720m² / 100m² = 27.2 x 2.4 = 65.28 SPACES

PARKING REQUIRED PHASE I & II

6,329.86 m² / 100m² = 63.30 x 2.4 = 151.92 SPACES

PARKING PROVIDED

SPACES @ 2.6m x 5.2m = 85 SPACES (50.3%)

SPACES @ 2.4m x 5.2m = 84 SPACES (49.7%)

TOTAL PARKING PROVIDED = 169 SPACES

LOADING SPACES REQUIRED = OFFICE (5,000-9,999 m² G.F.A.) = 2 SPACES

LOADING SPACES PROVIDED = 2 SPACES

BICYCLE PARKING REQUIRED - 1/250m² G.F.A.

PHASE I = 3,609.86 m² / 250m² = 14.43 = 14 spaces

PHASE II BICYCLE PARKING PROVIDED = 20 SPACES

SITE INFORMATION DERIVED FROM SURVEYOR'S REAL PROPERTY REPORT

PART 1 PLAN OF PART OF LOT 1

CONCESSION 4 (RIDEAU FRONT)

GEOGRAPHIC TOWNSHIP OF GLOUCESTER

CITY OF OTTAWA

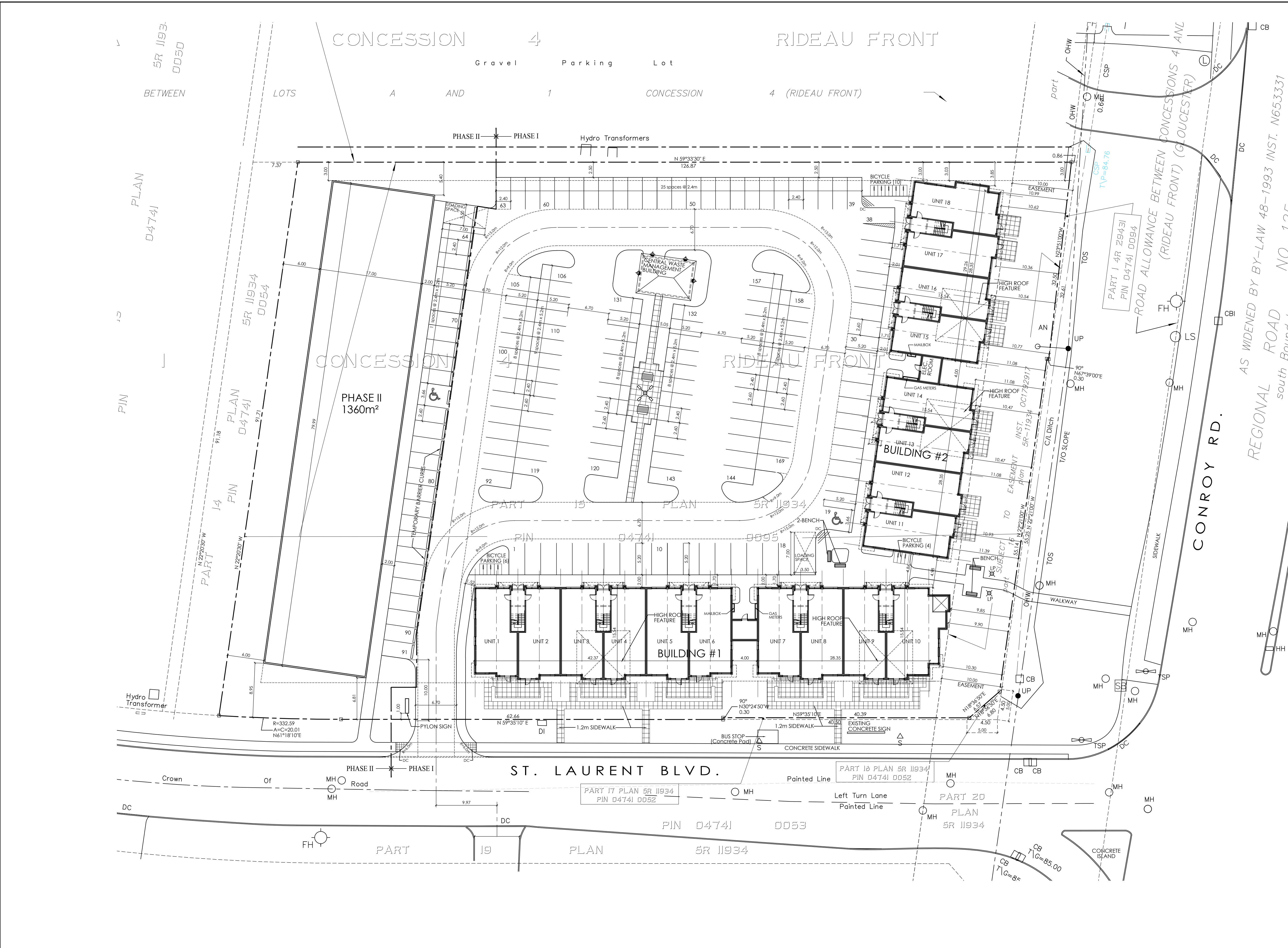
PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

SITE PLAN TO BE READ IN CONJUNCTION WITH

- LANDSCAPE PLAN PREPARED BY JAMES B. LENNOX AND ASSOCIATES INC.

- SITE SERVICING, GRADING & STORM WATER MANAGEMENT PLANS PREPARED BY EXP SERVICES INC.

SCALE: 0 5 10 20 30 50M



M. David Blakely Architect Inc.
 2200 Prince of Wales Dr. - Suite 101
 Ottawa, Ontario K2E 6T9
 Phone (613) 226-8811 Fax (613) 226-7942

GENERAL NOTES:
 1- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
 2- ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, & BY-LAWS
 3- ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS
 5- DO NOT SCALE DRAWINGS.
 4- THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT
 7- THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE
 8- THIS REPRODUCTION SHALL NOT BE ALTERED.

CONSTRUCTION NORTH

No.	DATE	DESCRIPTION	INT.	No.	DATE	DESCRIPTION	INT.
11.				22.			
10.				21.			
9.	19/09/17	ISSUED FOR SITE PLAN APPROVAL	JB	20.			
8.	04/07/17	REMOVE BASEMENT LEVEL (UNITS 15-18)	JB	19.			
7.	14/04/17	LOADING SPACES ADDED	JB	18.			
6.	04/04/17	WINDOW WELLS ADDED UNITS 15 THRU 18	JB	17.			
5.	03/05/17	REVISED SIGHT TRIANGLE DIMENSIONS	JB	16.			
4.	25/04/17	REVISED PER PRE-CONSULTATION MEETING	JB	15.			
3.	31/03/17	FOR REVIEW	JB	14.			
2.	29/03/17	REVISED PER SURVEY	JB	13.			
1.	08/09/16	FOR REVIEW	JB	12.			

A - DETAIL NUMBER
 B - SHEET NUMBER (DETAIL REQUIRED)
 C - SHEET NUMBER (GENERAL LOCATION)

PROJECT: CONROY BUSINESS PARK
 2500 ST. LAURENT BLVD.
 OTTAWA, ONTARIO

CLIENT: CONROY BUSINESS PARK Inc

DRAWING TITLE: SITE PLAN

DATE: MAR., 2017

SCALE: 1:300

SHEET NO.: SP-1

DRAWN BY: JB

CHECKED: MDB