

# 667 BANK STREET, OTTAWA



UDRP 2nd Submission  
Meeting: October 2017

VINCENT P.  
**COLIZZA**  
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■ ■ ■ ■ ■



Powell Ave

SITE

Bank Street

667 Bank Street

Clemow Ave

Glebe Ave

## SITE AND NEIGHBOURHOOD CONTEXT

This Planning Rational was prepared in support of a Site Plan Control application for the lands municipality known as 667 Bank Street. As illustrated in Figure 1, the subject property is located on the northwest corner of Bank Street and Clemow Avenue. The property is zoned TM H (15) and is located on the periphery of the Clemow Estate East HCD.

### THE SITE

The subject properties (known herein as “the site”) consist of one (1) lot of record identified municipality as 667 Bank Street. The property is located on the east side of Bank Street and north side of Clemow Avenue. The site has approximately 24.24m meters of frontage along Bank Street, a lot depth of 19.89 meters (varies), and a total lot area of approximately 450.2 square meters. The site is currently occupied by surface parking which is accessible from Clemow Avenue. The site was occupied by a former gas station which was built in 1926 and removed in 1992.

### COMMUNITY CONTEXT

The site is located in the Glebe neighbourhood in the City of Ottawa and is bounded by Bank Street to the west, Clemow Avenue to the south, an R3 zone to the east consisting of single family residences and a municipal park to the north. The neighbourhood is currently in transition with a recently updated Secondary Plan and a planning direction to develop with a mix of uses, including medium profile residential and commercial uses within the Traditional Mainstreet zone on Bank Street.

The surrounding area uses vary, but consist primarily of low-rise detached, semi-detached, townhouse and medium density residential uses, open space, commercial, institutional and office uses. The following identities the land uses that surround the site:

**North:** Central Park is located directly to the north of the site and fronts Bank Street to the west. The park extends eastward to the Rideau Canal and the properties along the north side of Clemow Avenue back onto the park. The existing Bank Street right-of-way is located directly west of the park. North of the park there are a series of mixed use buildings, restaurants and commercial uses on the west side of Bank Street.

**South:** To the south, the site abuts Clemow Avenue right of way which is 26m in width. The property across Clemow Avenue directly to the south continues within the Traditional Mainstreet Zone with a single storey restaurant with a parking lot surrounding the building. Beyond this site is a three storey mixed use building further south on Bank Street at First Avenue.

**East:** To the east is an R3 Zone consisting primarily of single family residences with and without apartments on both the north and south side of Clemow Avenue.

**West:** The site fronts Bank Street which is a 18.1m right of way with a centre line of road setback of 11.456m (to the east) which reduced the lot depth by 2.362m and 2.375m at the north end of the property fronting Bank Street. The uses across Bank Street to the west are within the TM Zone and consists of mixed use, commercial and residential apartment buildings. North of the park and fronting Bank Street is an apartment building within an R4P (1196) zone. Beyond the TM Zone to the west is an R1 and R3 Zone consisting of single family and low rise residential uses.

## DESIGN STATEMENT

### General Comments

### Summary of Proposed Development

Milito Investments is proposing to construct a five storey mixed use building which is terraced to two storeys and one storey. The ground floor consists of commercial uses and an entrance lobby for the apartments on floors 2 to 5. An enclosed bicycle parking and garbage room is located towards the rear of the property in an accessory building. There is 177.22 sm of retail uses on the ground floor and a total of 12 apartments above the ground floor retail. The building is terraced to the north to address an existing elm tree projecting into the site from the park. (refer to Arborist report).

The building massing terraces to the east from five storeys to one storey along the east property line offering transition to the neighbouring property. The neighbouring property to the east 29 Clemow Avenue is a two storey residence which side yard abuts the property and sits 0.5m above the subject property. The neighboring side yard is an asphalt driveway which provides access to a rear parking garage. The area of the driveway is utilized for vehicular circulation in front of the garage which abuts the north east side of the park. The remainder of Clemow Avenue is characterized by single family residences with garages between the residences and a driveway serving the garages between the homes.

### Design Statement

### Program

The owner is proposing a mixed use building fronting Bank Street at five storeys in height at 16.65m in the Traditional Main Street Zone which transitions down to 3.6m at the rear yard to the east. To improve the streetscape and public realm the building provides a deeper side walk along Bank Street. Clemow Avenue enjoys a wide apron space to the edge of the roadway and public seating and public art are located within the right of way. A terrace will be provided adjacent to the building face further animating the public realm and providing pedestrian access to the apartments.

The building is stepped back at the fifth floor above a continuous cornice treatment at the top of the fourth floor. Furthermore, additional step backs are provided for recessed balconies for the fifth floor apartments facing Bank Street. The ground floor retail has large openings consistent with retail storefronts along Bank Street and extend along the Clemow Avenue frontage. An entrance to the residential apartment lobby is located along the Clemow Avenue frontage and a canopy projects over this entrance with large glazed openings above to distinguish the entrance from the retail base. A corner entrance to the ground floor retail is located on a 45 degree angular plane addressing the Bank Street and Clemow Avenue intersection. There is further emphasis placed on this entrance through the placement of balconies above and within a symmetrical body framed in masonry which wraps the corner. This design approach is consistent with corner buildings along Bank Street and reflects the heritage character found within the neighbourhood. The cadence and size of window openings placed in the primary elevations reinforce the classical nature yet remain a contemporary expression. The façade facing Bank Street & Clemow Avenue has a ledge on the fifth floor which step backs 0.5m (14.2m above grade) to reduce the massing. The building massing further transitions to the rear yard to one storey accessory building. An existing American Elm occupies the adjacent park to the north and the building massing respects the tree canopy through step backs on the third, fourth and fifth floor. The opening yielded by the step backs further reduces the massing adjacent to the side and rear yard of residential property to the east and to the park.

Discussions with the City yielded a desire to address the canopy of the tree and transition down to the north and east through a terracing of the building massing from five storeys to three storeys to two storeys and to one storey in the northeast corner of the property. A chamfered corner and the balcony configuration present a strong form to the corner of the intersection.





## Site and Massing Concept

The Urban Design response is predicated on the principle to reinforce the corner at the intersection of Bank Street and Clemow Avenue. The placement of ground floor retail with a 4.5m ceiling height animates the existing retail uses along Bank Street and the limited foot print accommodates 3 residential suites per floor over 4 floors above the retail. The suites primary view is to the west overlooking Bank Street with the end suites offering secondary views to the park and Clemow Avenue. The use of Arriscraft Stone on the base, masonry on the body and metal panel siding on the top floor distinguish the ground oriented retail from the apartment use and visually reduce the building massing and height. The step back of the top floor along Bank Street and Clemow reinforces the four storey expression and down plays the fifth floor. The symmetrical framing of the corner element reinforces the corner intersection. The terracing of the massing along the rear yard addresses the single family residence to the east and the step back along the park addresses the existing elm tree to the north. This step back further reduces the massing to the rear yard. The size and cadence of window openings provides a classical framework for the contemporary expression..

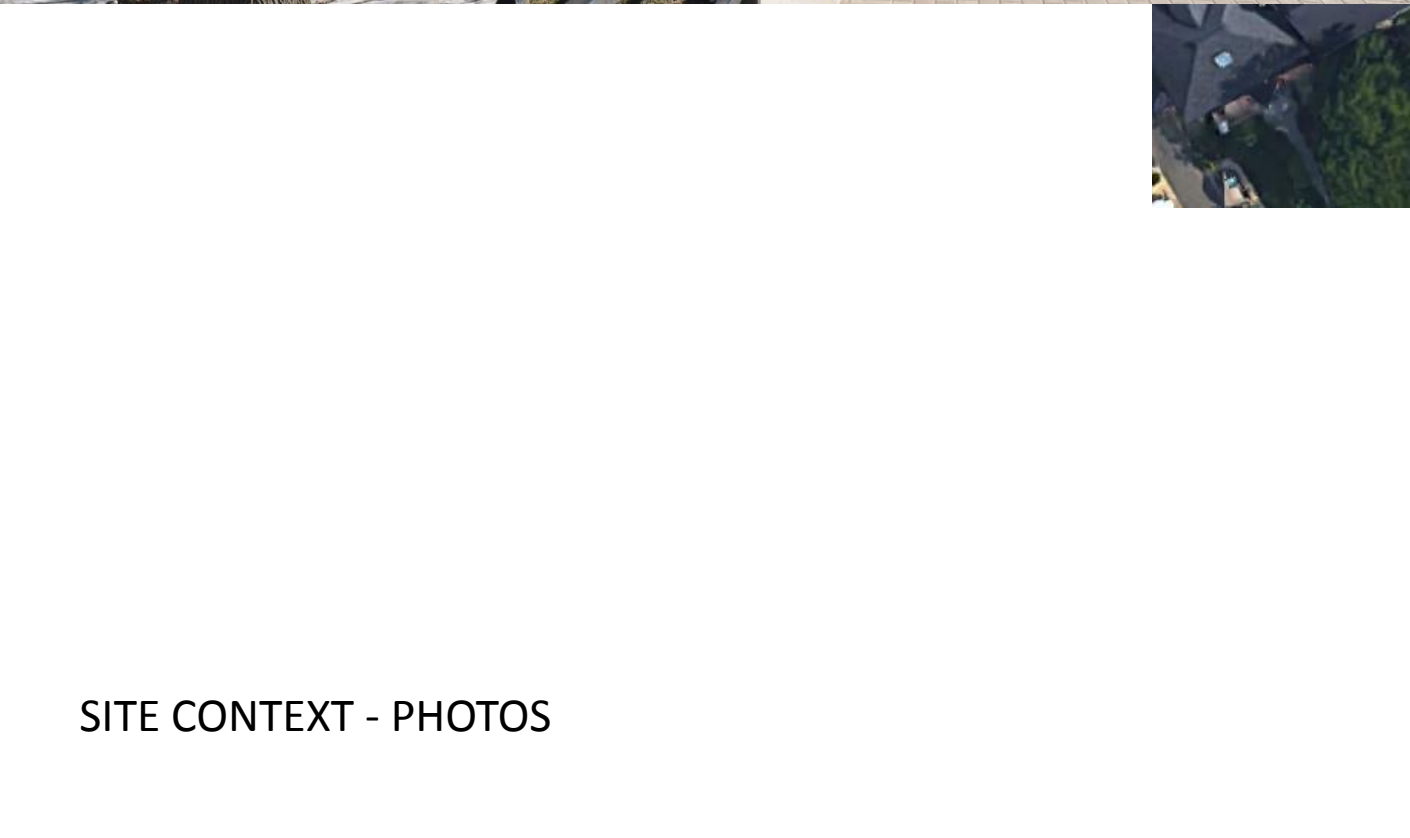
The driveway provides access to the bicycle storage and garbage room in the accessory building. The pedestrian streets are treated with interlocking pavers to reinforce the pedestrian hierarchy and the public realm is further animated with outdoor sitting areas and plant material.

## Architecture

The use of a tri-partite division within the facade reduces the scale and is generally characterized by the use of renaissance stone as a base material which defines the first storey of the building. The body of the mid rise building is masonry as well with an articulated precast cornice to cap off the body at the fourth floor roof line. The retail base is provided with tall glazed curtain wall store fronts and a combination of curtain wall and punched aluminum windows within the body of the apartments above. The fifth floor envelope is clad with metal panels set within an angular orientation.







SITE CONTEXT - PHOTOS



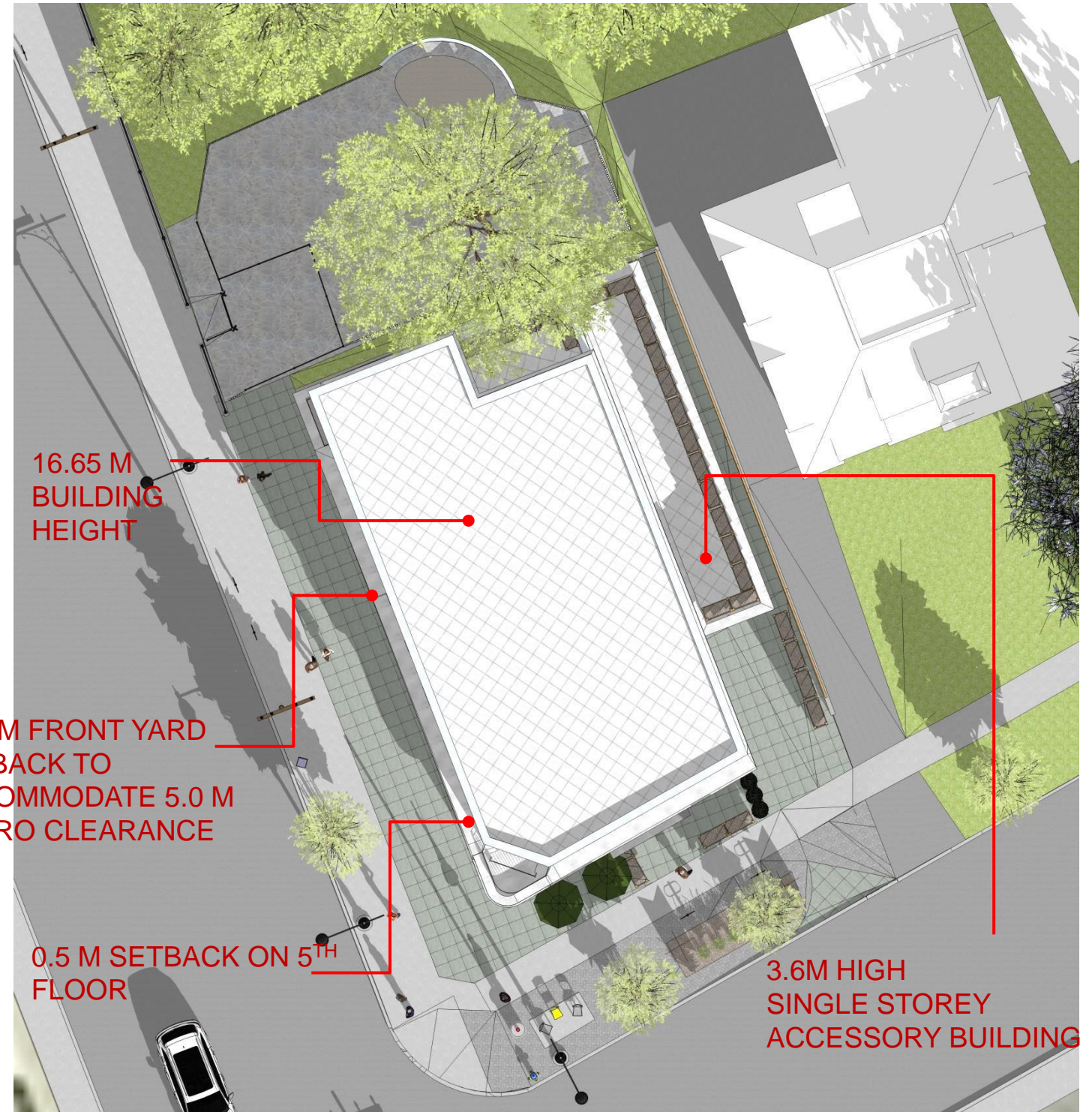


SITE CONTEXT - PHOTOS





TOP VIEW – PREVIOUS SUBMISSION



TOP VIEW – CURRENT SCHEME

**CHANGES FROM LAST SUBMISSION**

667 BANK STREET, OTTAWA





VIEW FROM CLEMOW AVE. – PREVIOUS SUBMISSION



FIFTH FLOOR STEPPED  
BACK 0.5M

2<sup>ND</sup> TO 5<sup>TH</sup> FLOOR  
4.4 M REAR YARD  
SETBACK

LANDSCAPED  
TERRACE OVER  
ACCESSORY  
BUILDING

VIEW FROM CLEMOW AVE. – CURRENT SCHEME

NO CAR PARKING IN THE  
BASEMENT

3.6M SINGLE STOREY  
ACCESSORY BUILDING  
5.2 M SIDE YARD  
SETBACK, 0.9 REAR YARD  
SETBACK TO  
ACCESSORY BUILDING

CHANGES FROM LAST SUBMISSION

667 BANK STREET, OTTAWA





TOP VIEW – PROPOSED

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VIEW FROM BANK STREET

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VIEW FROM CLEMOW AVE.

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VIEW FROM THE PARK

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VIEW FROM CLEMOW AVE.

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AERIAL VIEW

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AERIAL VIEW

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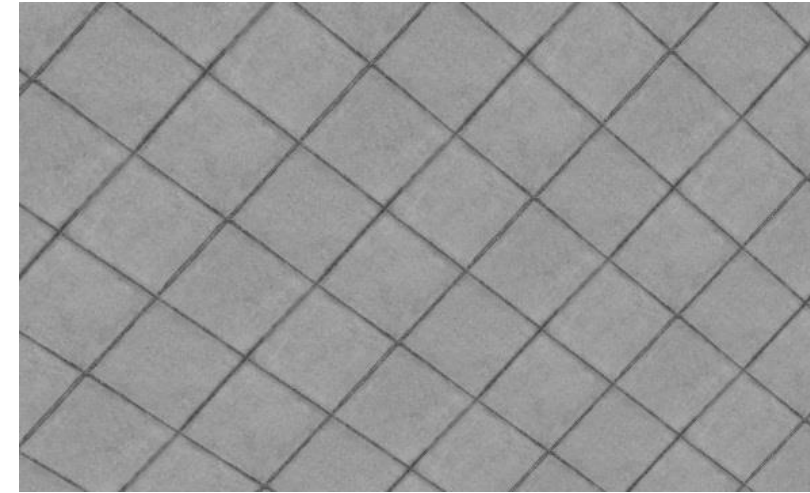
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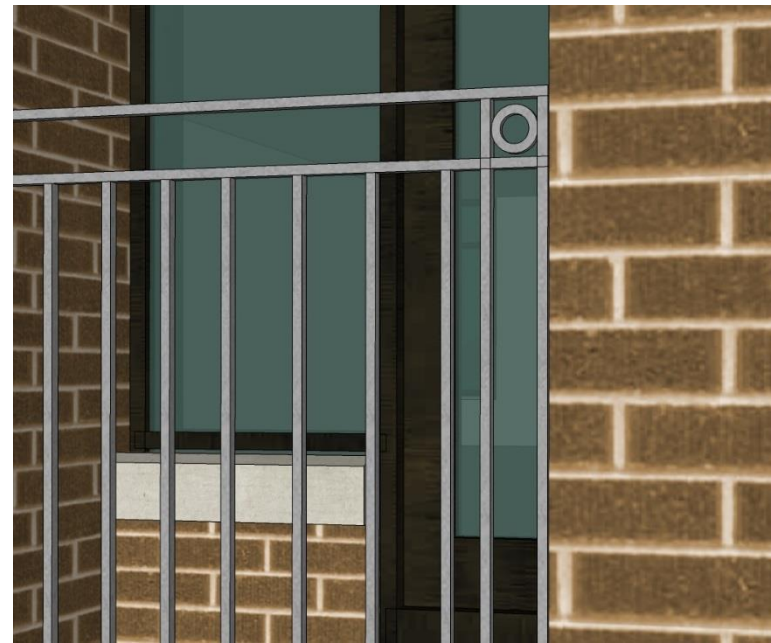
ELEVATION BUILDING MATERIALS



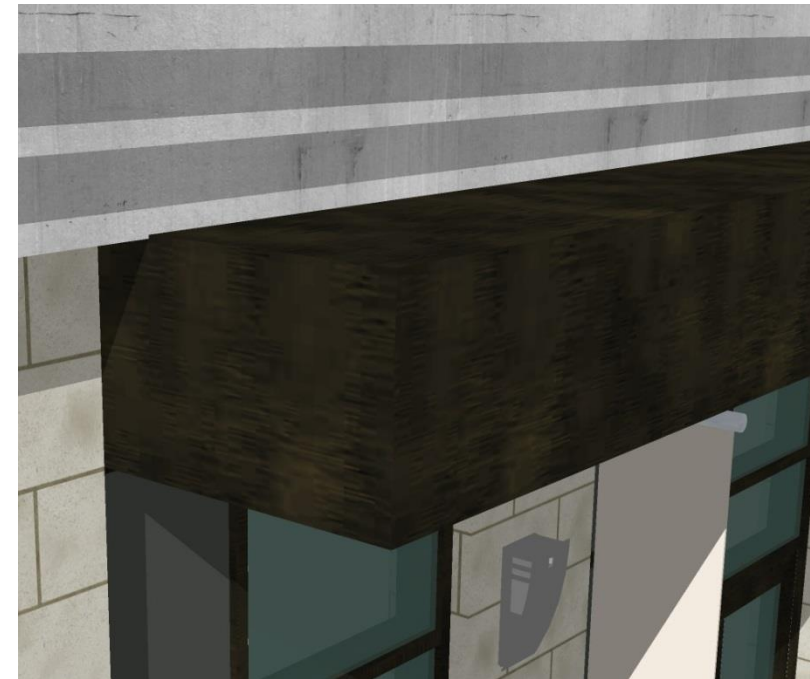
ARRISCRAFT STONE BASE



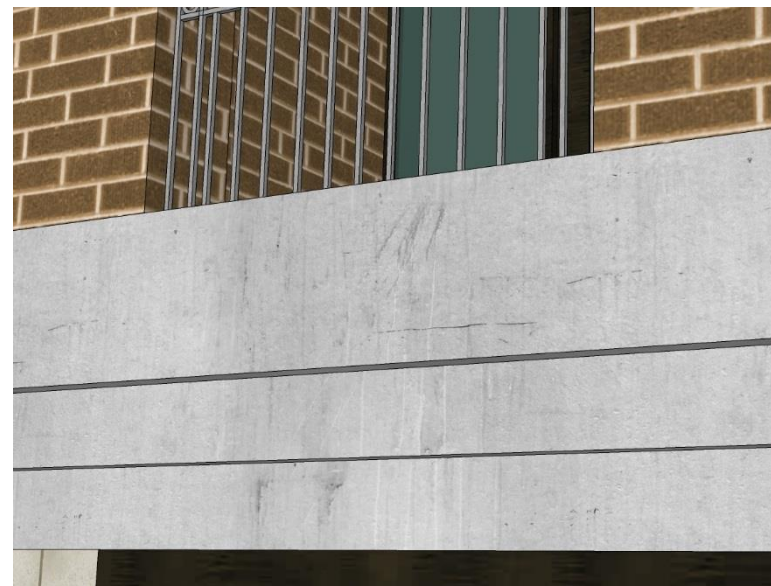
METAL CLADDING ON TOP FLOOR



BRICK MASONRY AND GUARD RAILING



ALUMINUM CANOPY OVER ENTRANCE



PRE-CAST CONCRETE CORNICE AND GUARD RAIL

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WEST ELEVATION

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SOUTH ELEVATION

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NORTH ELEVATION

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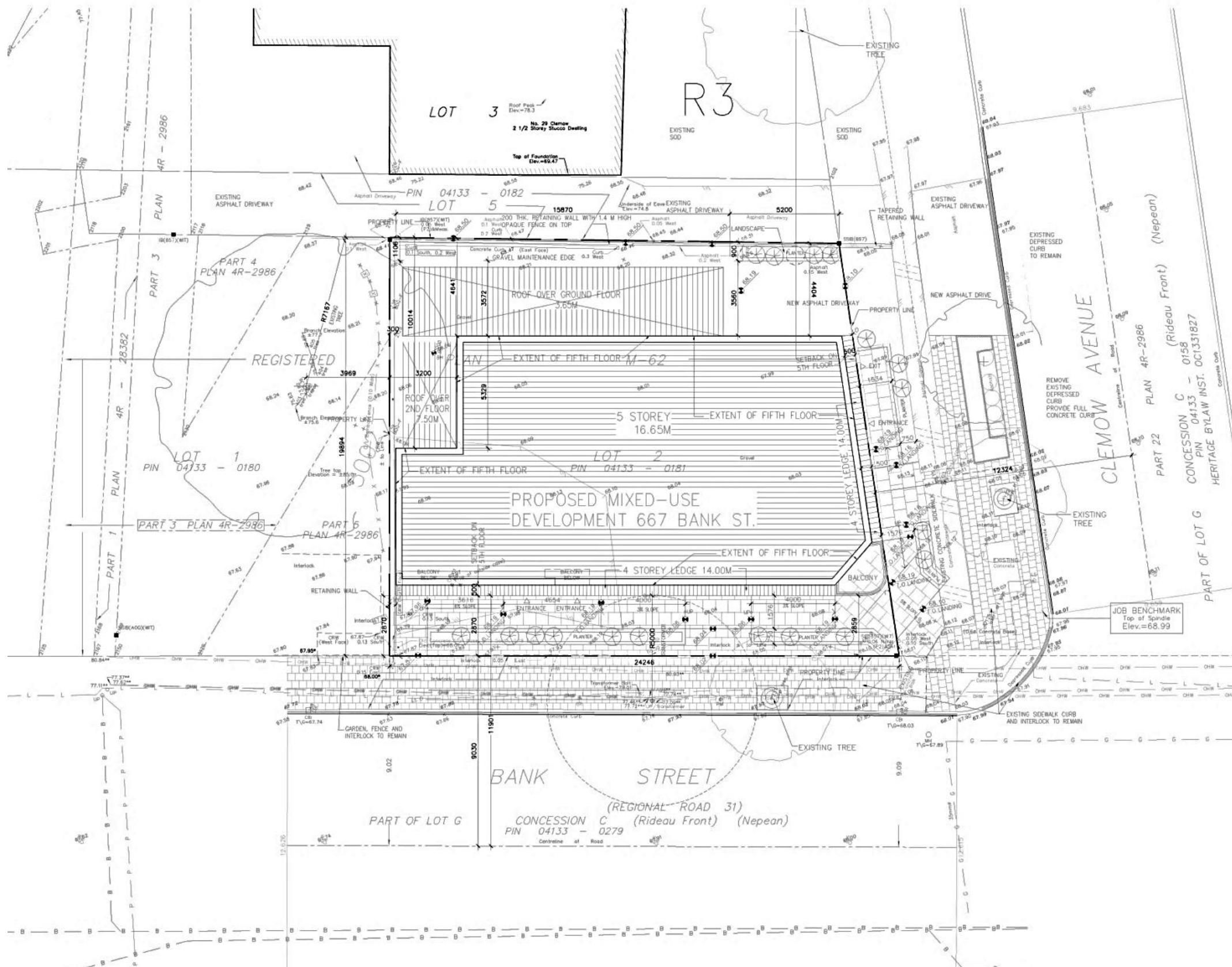


EAST ELEVATION

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## ZONING INFORMATION

### ZONE DESIGNATION

TM H(15) - TRADITIONAL MAINSTREET ZONE (Sec.197-198)

### PLANNED UNIT DEVELOPMENT REQUIREMENTS:

MIN. LOT WIDTH REQUIRED: No minimum  
 MIN. LOT AREA REQUIRED: No minimum  
 LOT AREA PROVIDED :450.20 S.M.4,845.91 SQ.F.

ANY PART OF BUILDING ABOVE 15M, FOR WHICH A MIN. FRONT YARD SETBACK OF 2M MUST BE PROVIDED, AND IN THE CASE OF HYDRO POLE, THE SETBACK MAY BE 2M, AND FROM A HIGH VOLTAGE POWER LINE, THE SETBACK MAY BE 5M FOR THE PORTION OF THE BUILDING AFFECTED BY THE HIGH VOLTAGE POWER LINE.

MAX. BUILDING HEIGHT: 15.0m  
 PROVIDED BUILDING HEIGHT: 16.65 m (T.O. ROOF MEMBRANE)

MAX. FRONT YARD SETBACK: 2.0M  
 PROVIDED FRONT YARD SETBACK: 2.8M

PROVIDED HIGH VOLTAGE POWER LINES SETBACK : 5.0M

REQUIRED MIN. REAR YARD SETBACK: 7.5m ABUTTING A RESIDENTIAL ZONE  
 ANGULAR PLAIN ABOVE 15 M

PROVIDED REAR YARD SETBACK:4.40 M FOR GROUND TO FIFTH STOREY (SEE PI)  
 PROVIDED REAR YARD SETBACK: 0.9M FOR SINGLE STOREY ACCESSORY BUIL

REQUIRED CORNER SIDE YARD SETBACK: 3M UP TO 15M,  
 ADDITIONAL 2M SETBACK FOR ADDITIONAL HEIGHT ABOVE 15M  
 PROVIDED CORNER SIDE YARD SETBACK 0.0M  
 PROVIDED CORNER SIDE YARD SETBACK AT 14.0M ABOVE GRADE: 0.5M

REQUIRED INTERIOR SIDE YARD SETBACK: 0M  
 PROVIDED INTERIOR SIDE YARD SETBACK: 0.3M

MAX. FLOOR SPACE INDEX: No maximum

### PARKING REQUIREMENTS

RESIDENTIAL: NO PARKING REQUIRED FOR 12 DWELLING UNITS OR LESS  
 RETAIL: NO PARKING REQUIRED UPTO 150 SQ M PER CRU

## DEVELOPMENT INFORMATION

### PROPOSED DEVELOPMENT: COMMERCIAL

RETAIL 1 - 72.07 sq.m. - NO PARKING REQUIRED  
 RETAIL 2 - 48.16 sq.m. - NO PARKING REQUIRED  
 RETAIL 3 - 56.99 sq.m. - NO PARKING REQUIRED  
 GROUND FLOOR G.F.A.: 180.87 sq.m.

### RESIDENTIAL:

PROPOSED G.F.A., FLOOR 2ND: 190.92 sq.m.  
 PROPOSED G.F.A., FLOOR 3RD: 175.44 sq.m.  
 PROPOSED G.F.A., FLOOR 4TH: 175.44 sq.m.  
 PROPOSED G.F.A., FLOOR 5TH: 161.59 sq.m.  
 RESIDENTIAL G.F.A.: 703.39 sq.m.

GRAND TOTAL BUILDING G.F.A.: 884.26 sq.m.

PROPOSED NUMBER OF UNITS: 12  
 FLOOR 2: 3 UNITS / FLOOR (2-1 BEDROOM, 1-2 BEDROOM)  
 FLOOR 3: 3 UNITS / FLOOR (3-1 BEDROOM)  
 FLOOR 4: 3 UNITS / FLOOR (3-1 BEDROOM)  
 FLOOR 5: 3 UNITS / FLOOR (3-1 BEDROOM)  
 TOTAL UNITS: 12 (11-1 BEDROOM, 1-2 BEDROOM)

PROPOSED PARKING:  
 RESIDENTIAL: 0 STALLS  
 RETAIL: 0 STALLS

PROPOSED BICYCLE PARKING:  
 BICYCLE STALLS REQUIRED: 12 UNITS X .5 STALLS/UNIT = 6 STALLS  
 BICYCLE STALLS PROVIDED: 12 STALLS

AMENITY AREA CALCULATIONS - PROPOSED:  
 CALCULATIONS DONE IN ACCORDANCE WITH CITY OF OTTAWA BY-LAW 2008,  
 SECTION 137 - AMENITY AREA

AMENITY AREA REQUIRED  
 12 UNITS @ 6.0 sq.m./unit: 72.0 sq.m.

AMENITY AREA PROVIDED  
 TOTAL AREA PROVIDED: 72.0 sq.m.  
 COMMON AMENITY AREA PROVIDED: 36.0 sq.m.

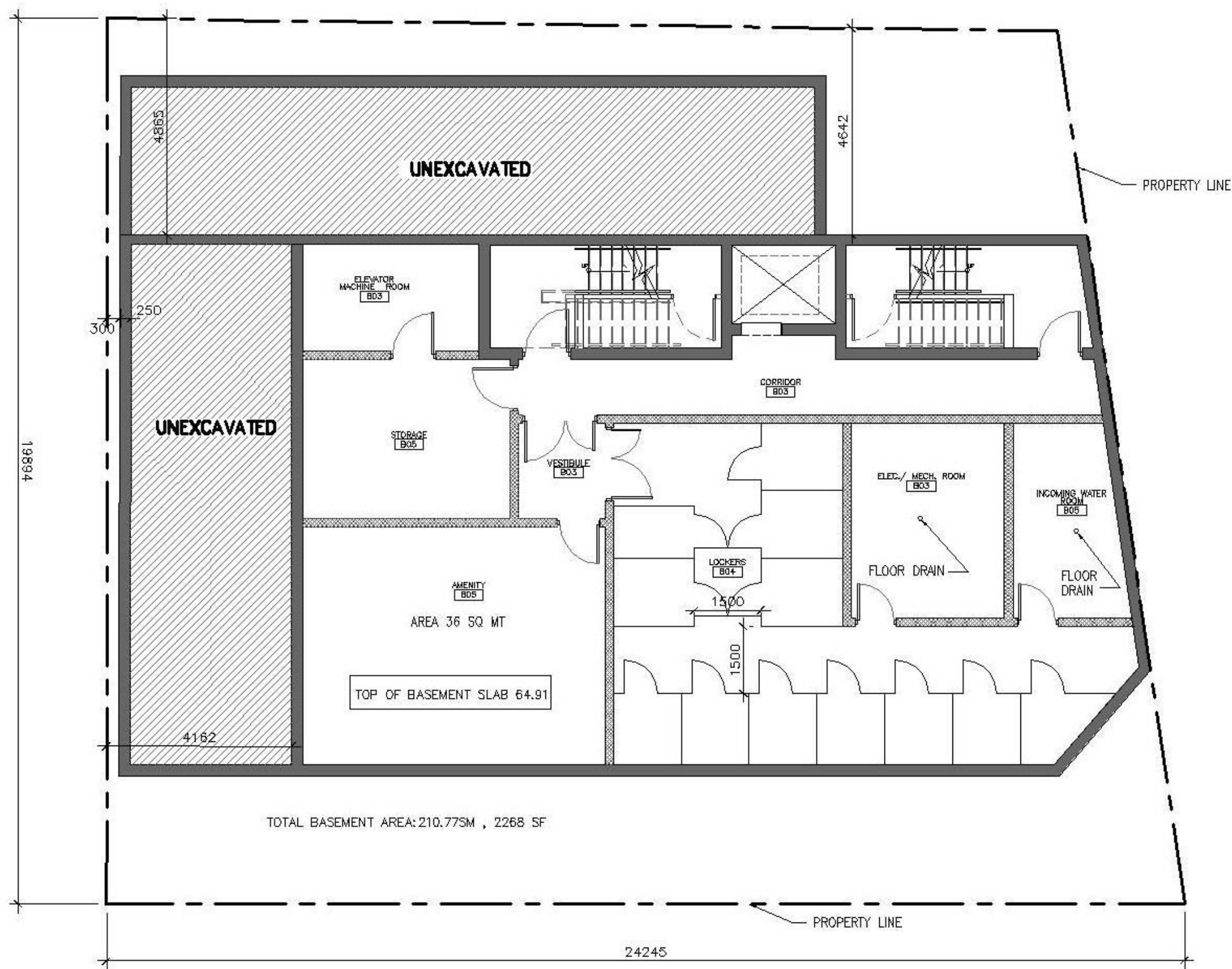
SITE PLAN

667 BANK STREET, OTTAWA









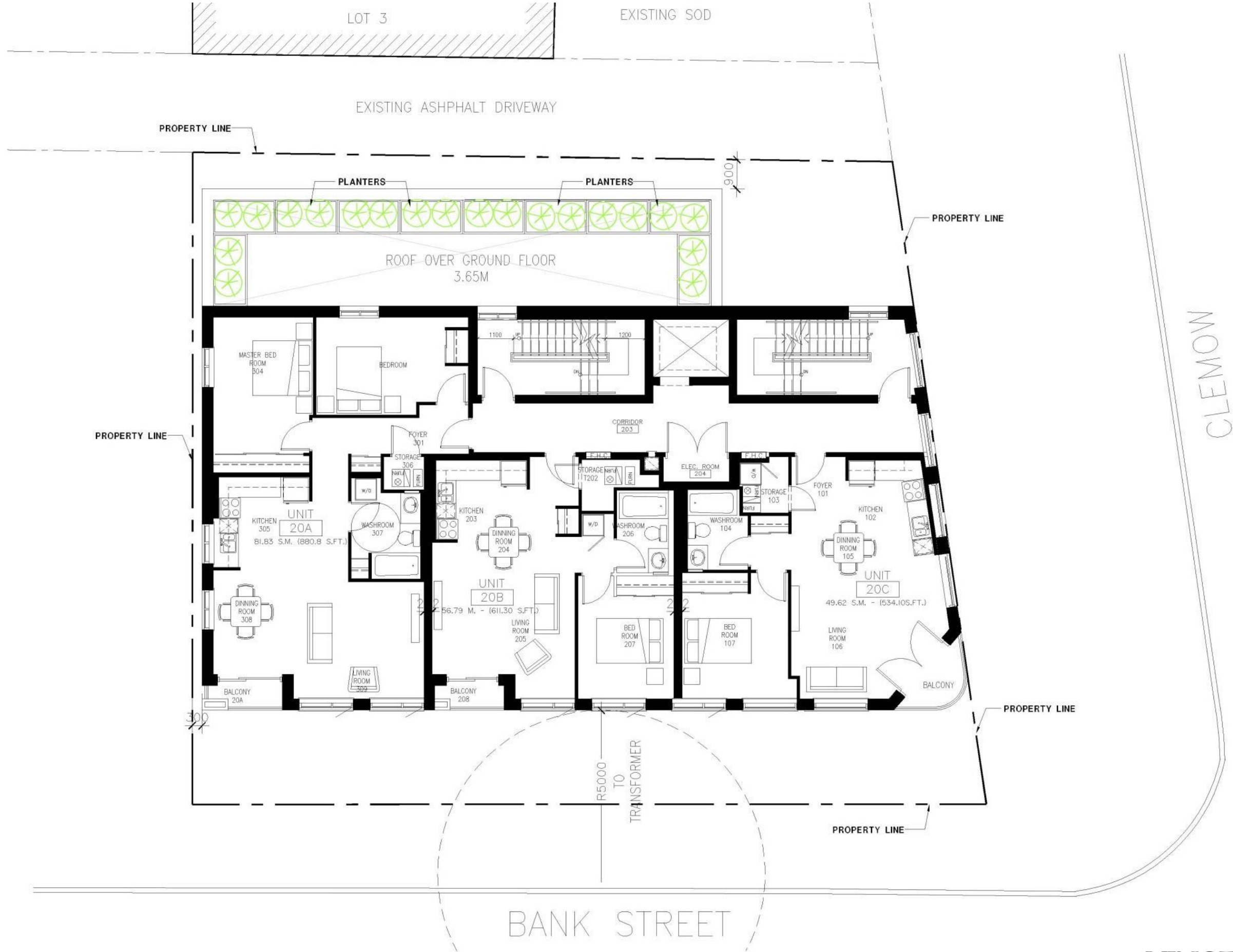
BASEMENT PLAN

667 BANK STREET, OTTAWA









2<sup>ND</sup> FLOOR PLAN

667 BANK STREET, OTTAWA





3<sup>RD</sup> FLOOR PLAN

667 BANK STREET, OTTAWA





4<sup>TH</sup> FLOOR PLAN

667 BANK STREET, OTTAWA

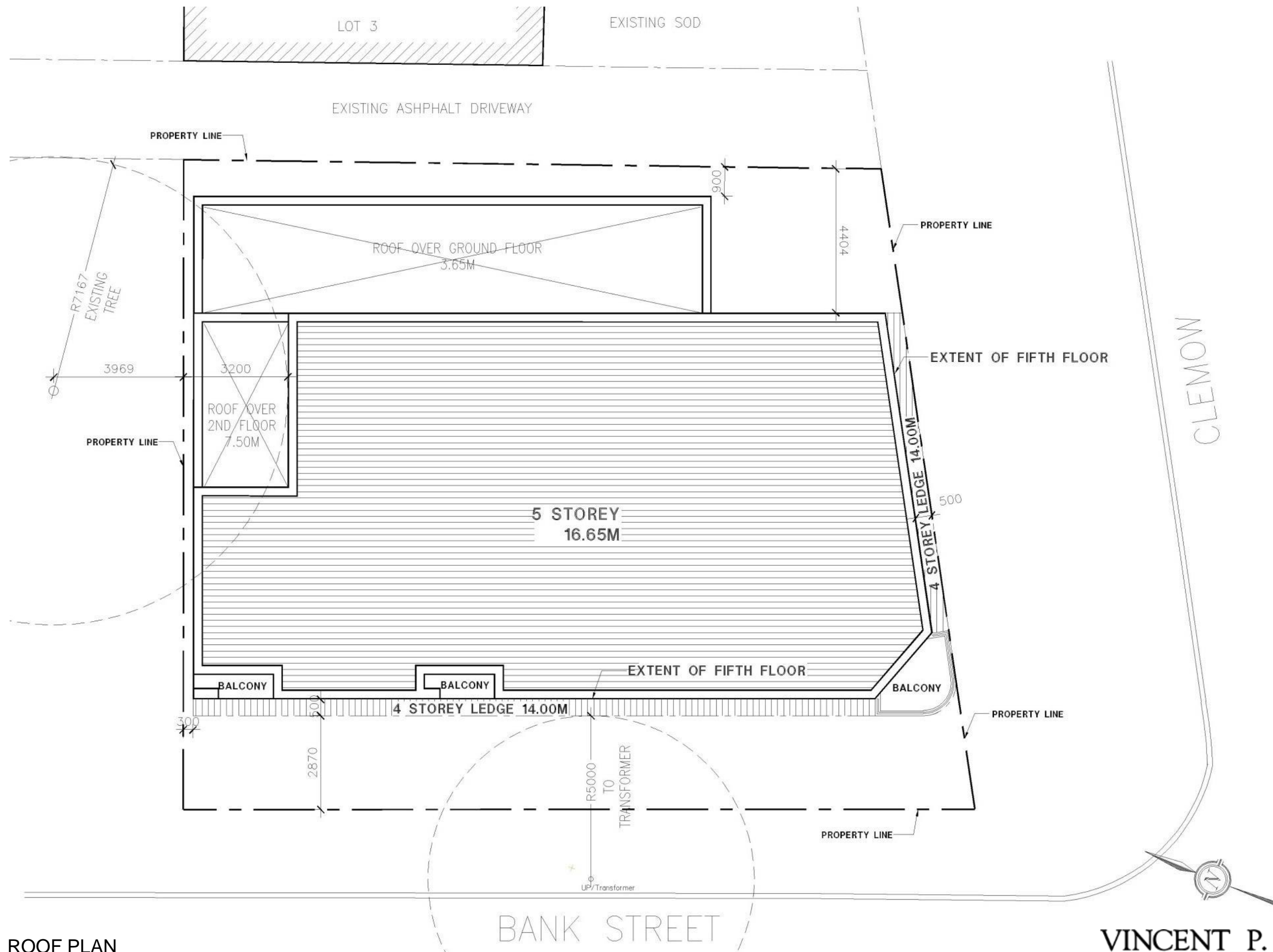




5<sup>TH</sup> FLOOR PLAN

667 BANK STREET, OTTAWA

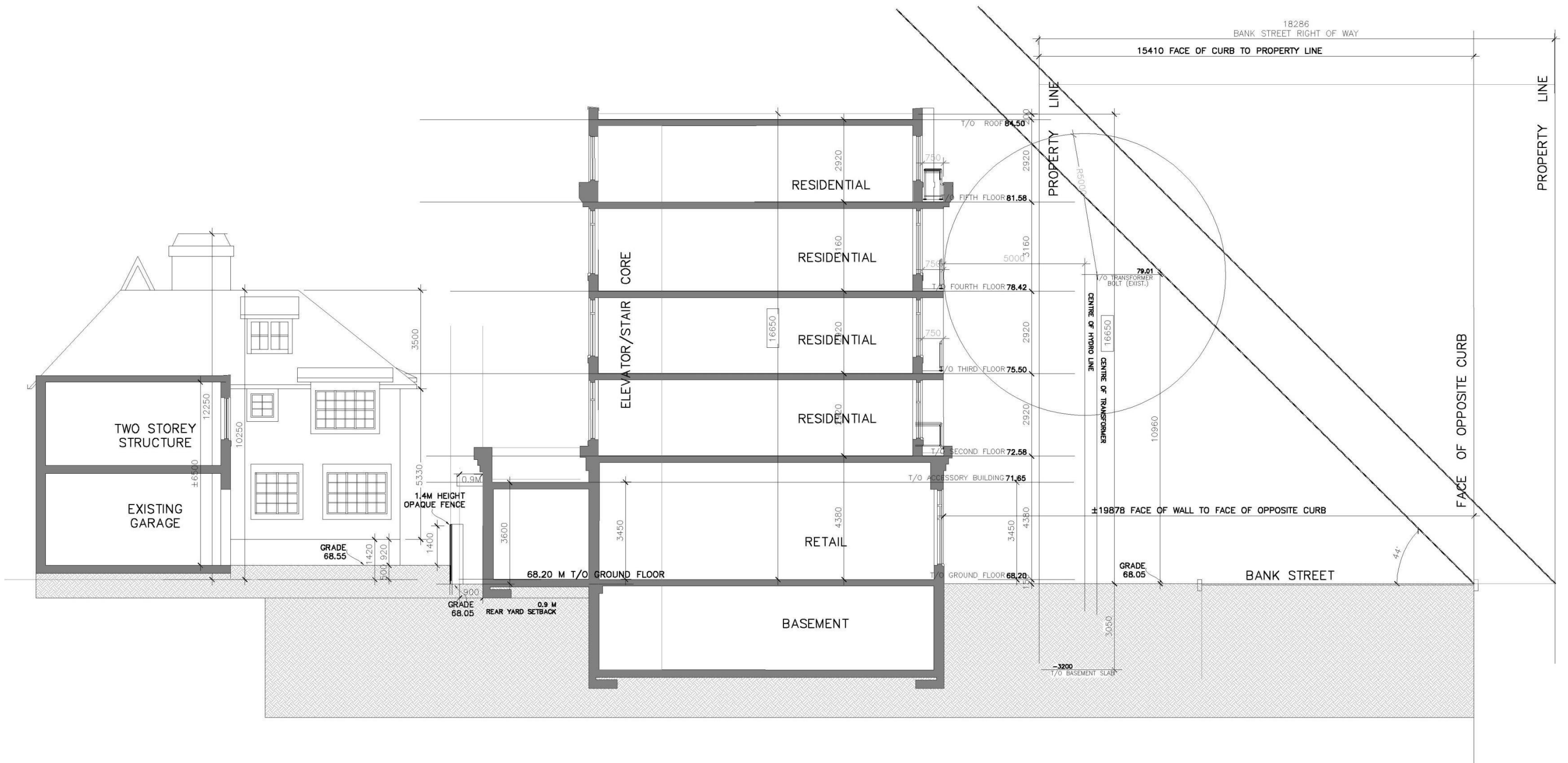




ROOF PLAN

667 BANK STREET, OTTAWA





BUILDING SECTION

667 BANK STREET, OTTAWA











MARCH 21  
10:00 AM



12:00 PM



2:00 PM



4:00 PM



JUNE 21  
10:00 AM



12:00 PM



2:00 PM



4:00 PM



SEPTEMBER 21  
10:00 AM



12:00 PM



2:00 PM



4:00 PM



DECEMBER 21  
10:00 AM



12:00 PM



2:00 PM



# SHADOW STUDIES

PROPOSED SCHEME

667 BANK STREET, OTTAWA, ONTARIO

PROJECT No. 1414

OCTOBER, 2017

SCALE: N.T.S.

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<b>Front Yard Setback:</b>	<b>The minimum is 0 m, stepback to accommodate the hydro poles from floors 2-5.</b>
<b>Minimum Interior Side Yard Setback</b>	No minimum when abutting park
<b>Minimum Corner Side Yard Setback</b>	3 m
<b>Minimum Rear Yard Setback</b>	7.5 m
<b>Maximum Building Height</b>	15 m
	There would not be an angular plane consideration, because it only applies above 15 metres, which would exceed the as-of-right height limit.
<b>Balcony projections</b>	2 metres, to a maximum of 1 metre from any lot line
<b>Accessory Building: Setback from Corner Side Lot Line</b>	0 m
<b>Accessory Building: Setback from Rear Lot Line</b>	0.6 m (abutting a residential zone)
<b>Accessory Building: Minimum Distance from Any Other Building on the Lot</b>	0 m
	(This implies that the as-of-right accessory building would abut the main building)
<b>Accessory Building: Maximum Permitted Height</b>	6 m
<b>Maximum Permitted Size</b>	No restriction
<b>Maximum Number of Accessory Buildings on a Lot</b>	No restriction
<b>Roof Terrace</b>	Not counted in height limit



# MASSING COMPARISON – AS OF RIGHT VS PROPOSED



AS OF RIGHT – TOP VIEW



PROPOSED – TOP VIEW



# MASSING COMPARISON – AS OF RIGHT VS PROPOSED



AS OF RIGHT - VIEW FROM BANK STREET



PROPOSED - VIEW FROM BANK STREET



AS OF RIGHT – AERIAL VIEW



PROPOSED – AERIAL VIEW

667 BANK STREET, OTTAWA





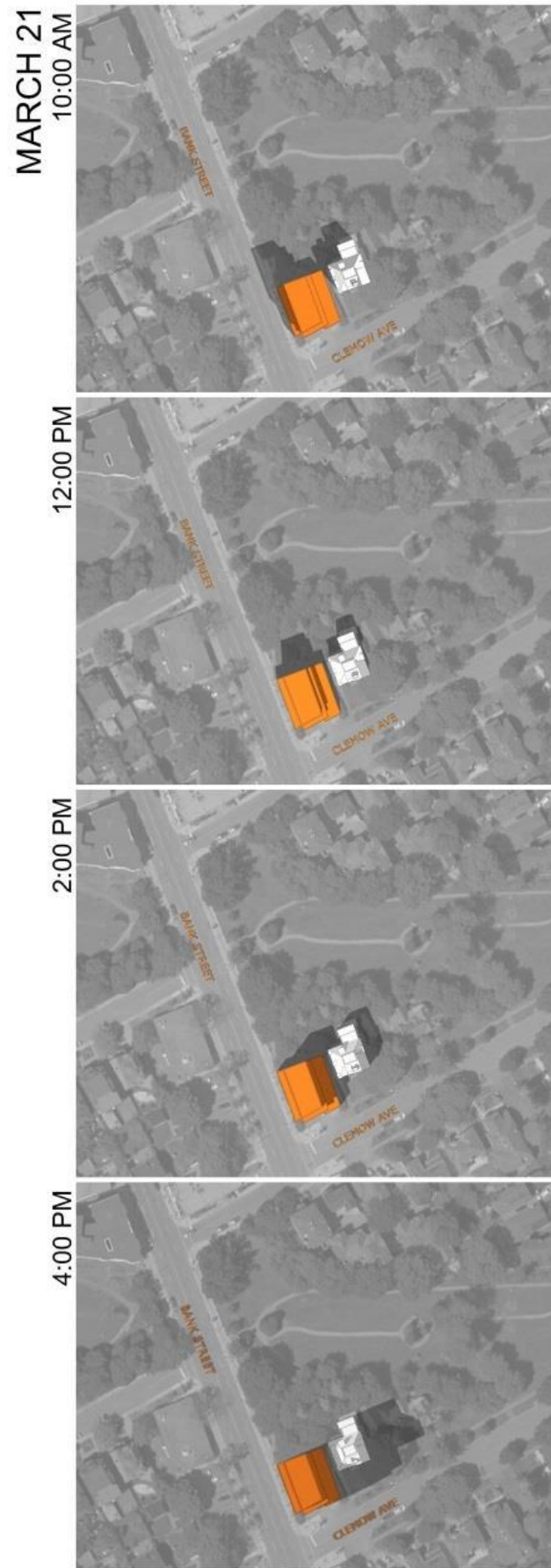
AS OF RIGHT - VIEW FROM CLEMOW



PROPOSED - VIEW FROM CLEMOW

667 BANK STREET, OTTAWA





# SHADOW STUDIES

667 BANK STREET, OTTAWA, ONTARIO

PROJECT No. 1414

AS OF RIGHT

OCTOBER, 2017

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