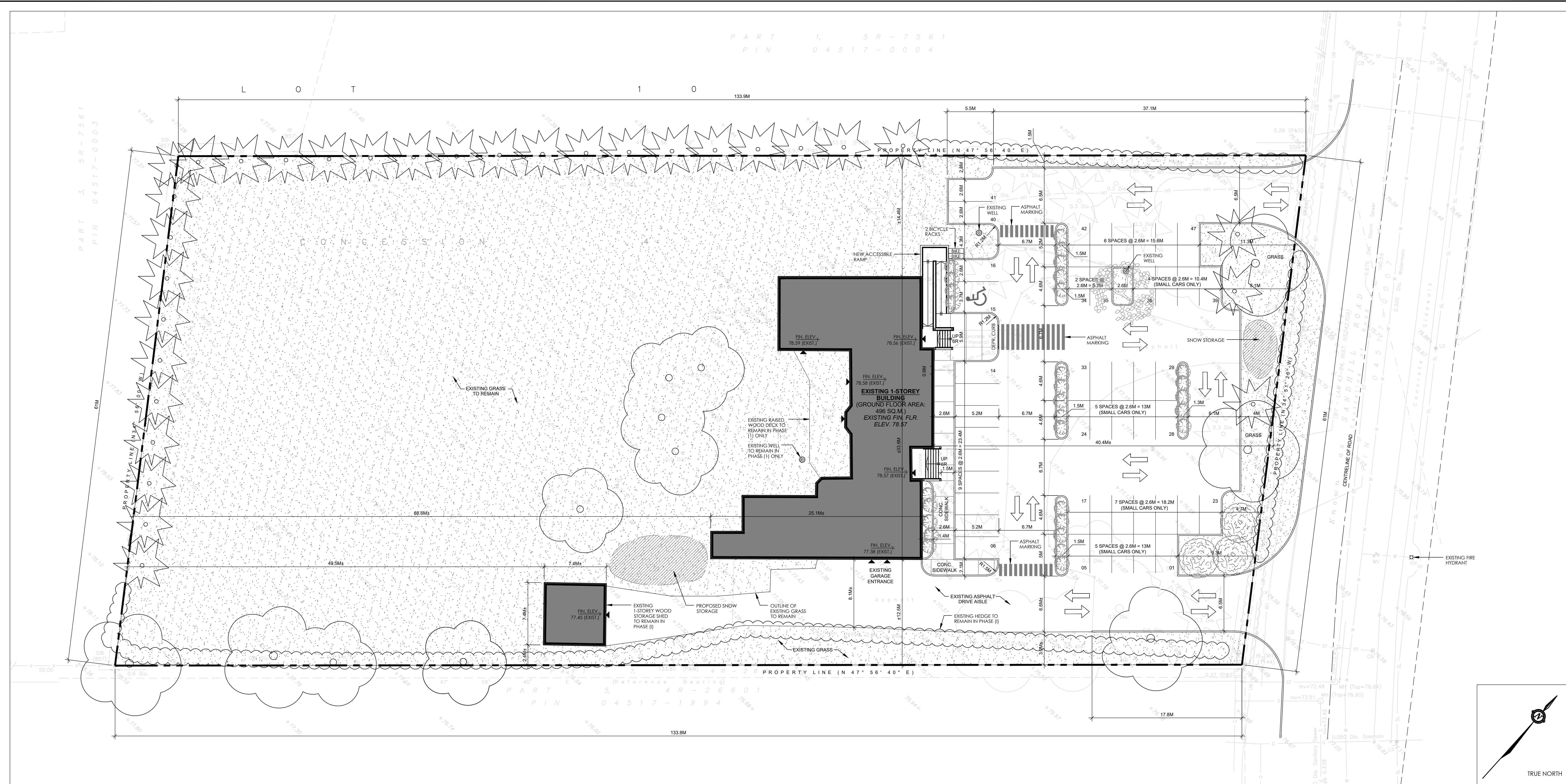


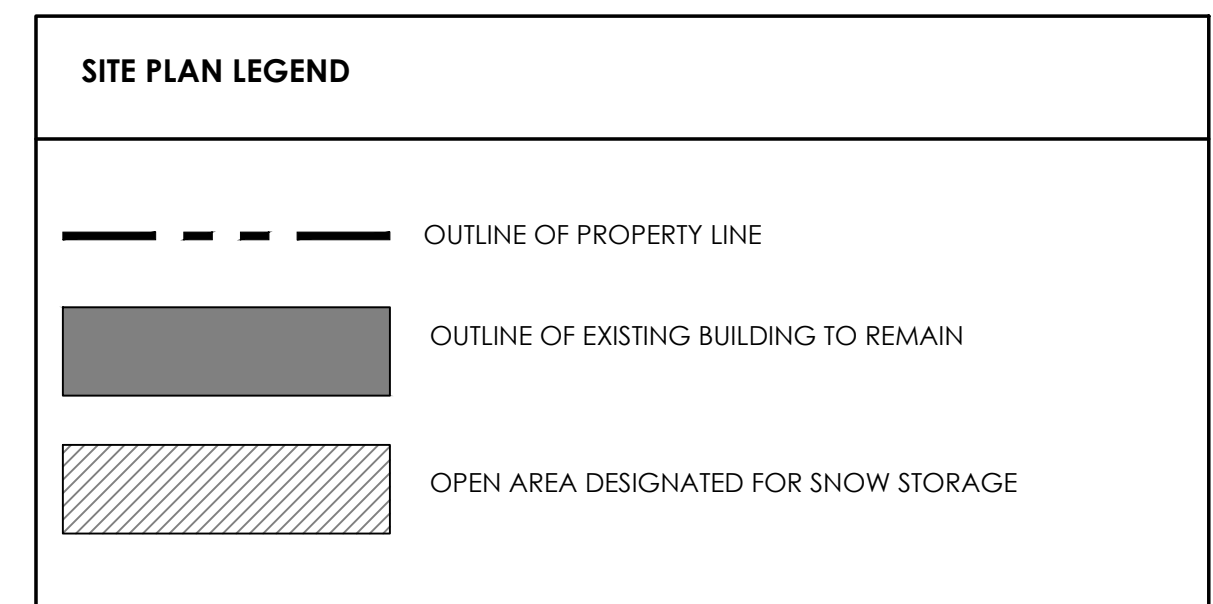
PART 1, SR-7561
P.I.N. 04517-0004



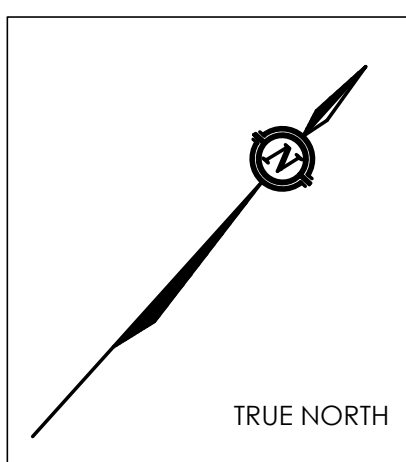
- GENERAL NOTES**
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
 - CONTRACTOR MUST COMPLY WITH ALL CODES AND BYLAWS AND OTHER REGULATIONS BY AUTHORITIES HAVING JURISDICTION OVER THE WORK.
 - DO NOT SCALE THIS DRAWING.
 - THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS SEALED/SIGNED BY THE ARCHITECT.
 - COPYRIGHT OF THIS DRAWING IS RESERVED.

1 PROPOSED SITE PLAN - PHASE (1)
A1.0 SCALE 1:200

ZONING DATA (BASED ON ZONING BY-LAW 2008-250)			
MUNICIPAL ADDRESS: 351 SANDHILL ROAD, OTTAWA, ONTARIO, CANADA			
LEGAL DESCRIPTION: PIN #: 045170006, PART OF LOT 10, CONCESSION 4, GEOGRAPHIC TOWNSHIP OF MARCH/CITY OF OTTAWA			
PROPOSED ZONING DESIGNATION: MINOR INSTITUTIONAL ZONE (I1) - AREA C SUBURBAN			
LOT AREA: 8,103.80 SQ. M. (2.0 ACRES)			
LOT DEVELOPMENT BREAKDOWN: EXISTING BLDG. FOOTPRINT: 496 SQ. M. (6.1%) EXISTING STORAGE SHED AREA: 55 SQ. M. (0.68%) GRASS/LANDSCAPING: 5,489 SQ.M.M. (67.7%) CONC. SIDEWALKS: 114 SQ. M. (1.41%) ASPHALT: 1,949.80 SQ. M. (24.11%)			
BUILDING FOOTPRINT: • NEW BUILDING: 0 SQ. M. • EXISTING MODIFIED BUILDING: 496 SQ. M. • GROSS BUILDING AREA: 496 SQ. M.			
LOT COVERAGE: (1,605/8,103.80) X 100 = 6.1%			
EXISTING BUILDING USE FLOOR AREA BREAKDOWN: • BASEMENT LEVEL: - STORAGE AND BUILDING SERVICES ONLY • FIRST FLOOR LEVEL: - OPEN PRAYER HALLS: 194 SQ. M. - SWIMMING POOL, WASHROOMS, ETC.: N/A			
I1 ZONING PROVISIONS	ZONING MECHANISM	REQUIRED	PROVIDED
LOT		15M (min.)	61M (PER THE SURVEY PLAN)
LOT WIDTH		400 SQ. M. (min.)	8,174.65 SQ. M. (PER THE SURVEY PLAN)
SETBACKS			
FRONT YARD SETBACK		7.5M (min.)	40.4M
REAR YARD SETBACK		7.5M (min.)	68.6M
SIDE YARD SETBACK		7.5M (min.)	12.5M
BUILDING HEIGHT		15M	16M
PARKING			
PLACE OF WORSHIP (EXIST. BLDG.)		N66: 10/100 SQ. M. (194/100 X 10) = 19.4	47
		TOTAL REQUIRED: 19.4	
SMALL CAR PERMITTED		40% (7.76 SPACES)	59.57% (28 SPACES)
DISABLED PARKING SPACES		1	1
BICYCLE PARKING		1/1,500 SQ. M. GFA EXISTING BUILDING GFA: 496 SQ. M. TOTAL GFA: 496 SQ. M.	2
		1 REQUIRED BICYCLE PARKING SPACES	



- NOTES**
- EXISTING SITE INFORMATION INCLUDING LOT LINES, GRADES, TOPOGRAPHY, VEGETATION ETC., SHOWN ON THIS DRAWING FOR COORDINATION PURPOSES ONLY AND ARE BASED ON THE TOPOGRAPHIC SURVEY PLAN PREPARED BY FAIRHALL WOLFART & WOODLAND, ONTARIO LAND SURVEYOR, DATED DECEMBER 2016.
 - REFER TO THE LANDSCAPE PLAN FOR EXISTING & PROPOSED TREES AND VEGETATION.



00	ISSUED FOR RE-ZONING/SITE PLAN CONTROL APPLICATION	2017/08/30
NO.	ISSUE	DATE (YYYYMMDD)
REVISIONS		

ORIENTATION

PROJECT NORTH

SEAL
ONARIO ASSOCIATION
OF ARCHITECTS
AHMED AREF
LICENCE 7786

A+ architecture

A+ Architecture Inc.
555 LEGGET DRIVE
TOWER A, SUITE 304
KANATA, ON K2K 2X3
+1 613 699 6860
info@aplus-arch.com
www.aplus-arch.com

CLIENT

KANATA MUSLIM ASSOCIATION

PROJECT

KMA MOSQUE AND COMMUNITY CENTER
351 SANDHILL ROAD
KANATA, ON K2K 1X7

DRAWING TITLE

PROPOSED SITE PLAN - PHASE (1)

DRAWN BY	C.G.M	DRAWING NO.	
REVIEWED BY	A.A.		A1.0
START DATE	2016/11/23		
PROJECT NO.	16010	REVISION NO.	00