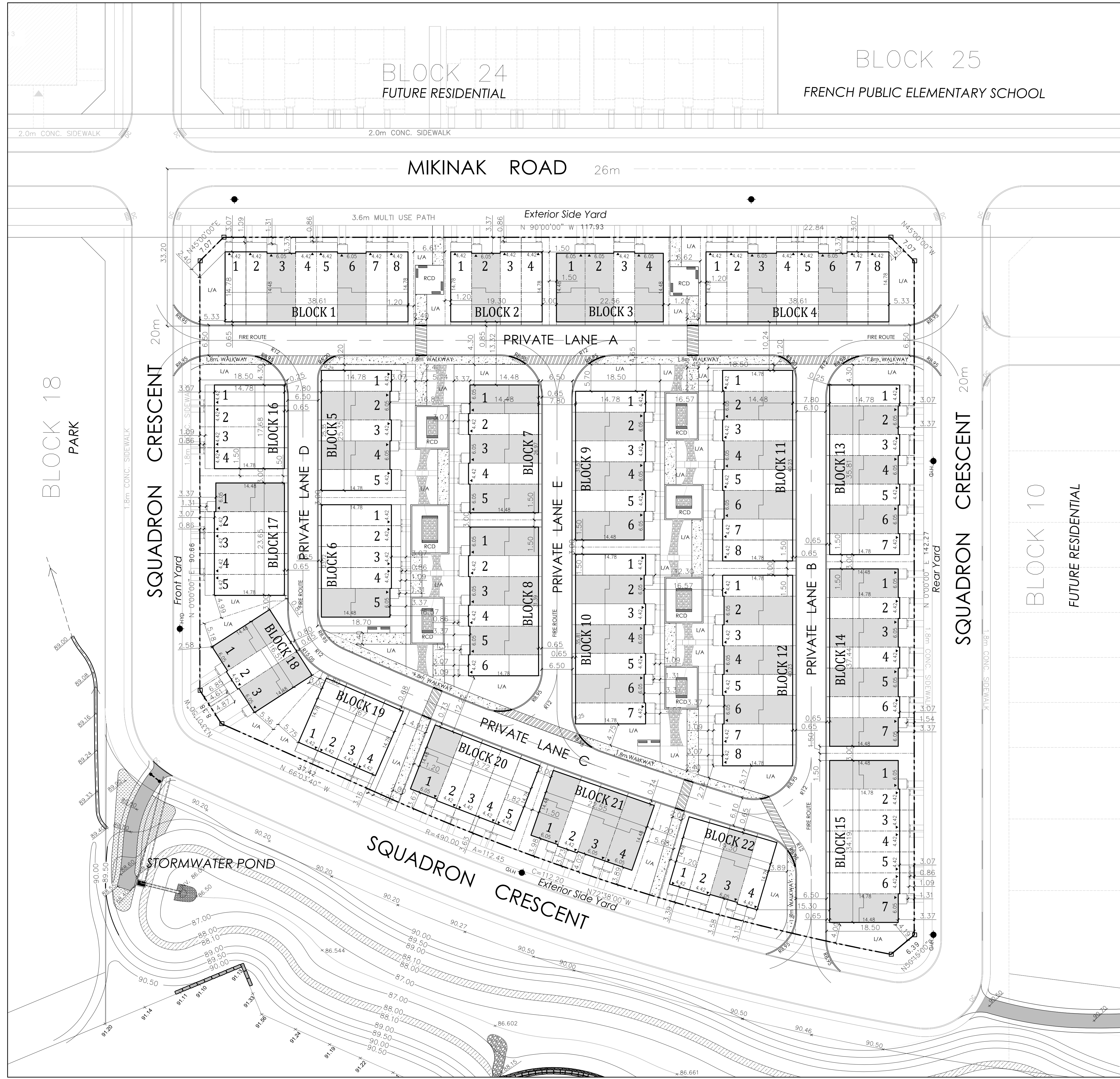




SITE STATISTICS AND DEVELOPMENT DATA

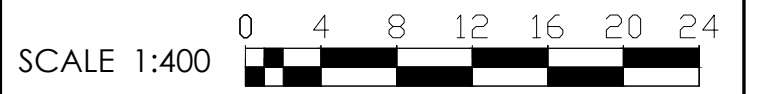
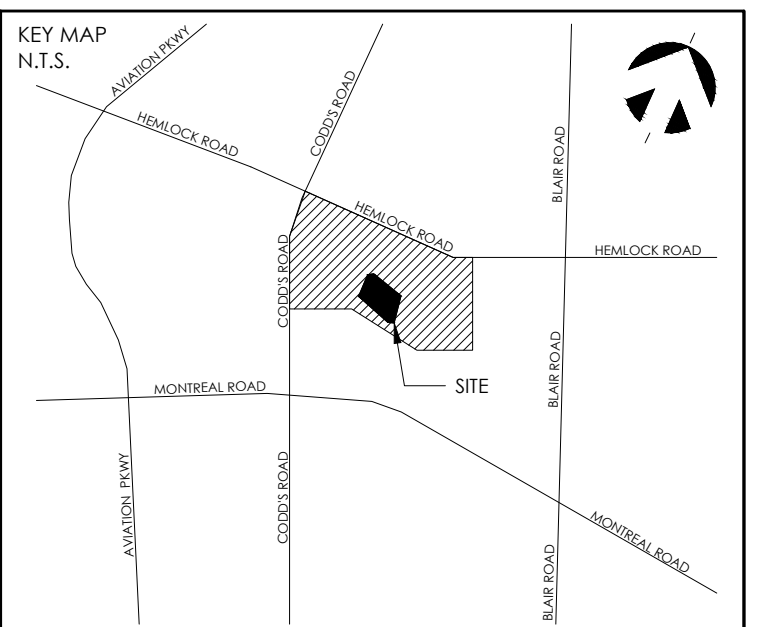
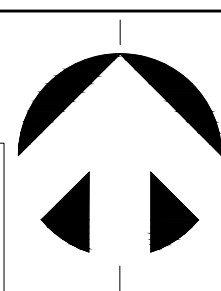
SITE AREA	19,588.24 m ²
PAVED AREA	3,571.26 m ² (18%)
LANDSCAPED AREA	6,594.91 m ² (34%)
TOTAL BUILDING COVERAGE	9,422.07 m ² (48%)
TOTAL GROSS FLOOR AREA	26,075.40 m ²
TYPE A (46 @ 241.8m ²)	11,122.80 m ²
TYPE B (78 @ 191.7m ²)	14,952.60 m ²
DENSITY (UPH)	63.3
ZONE CATEGORY	R5Y(2312)

DWELLING BLOCK	DWELLING TYPE	GROUND FLOOR AREA (m ²)	UNITS
BLOCK 1	REAR LANE TOWNS	567.04	8
BLOCK 2	REAR LANE TOWNS	583.52	4
BLOCK 3	REAR LANE TOWNS	327.88	4
BLOCK 4	REAR LANE TOWNS	567.04	8
BLOCK 5	REAR LANE TOWNS	371.04	5
BLOCK 6	REAR LANE TOWNS	348.85	5
BLOCK 7	REAR LANE TOWNS	393.23	5
BLOCK 8	REAR LANE TOWNS	458.56	6
BLOCK 9	REAR LANE TOWNS	458.56	6
BLOCK 10	REAR LANE TOWNS	523.90	7
BLOCK 11	REAR LANE TOWNS	589.23	8
BLOCK 12	REAR LANE TOWNS	589.23	8
BLOCK 13	REAR LANE TOWNS	523.90	7
BLOCK 14	REAR LANE TOWNS	546.09	7
BLOCK 15	REAR LANE TOWNS	501.71	7
BLOCK 16	REAR LANE TOWNS	261.33	4
BLOCK 17	REAR LANE TOWNS	348.85	5
BLOCK 18	REAR LANE TOWNS	240.37	3
BLOCK 19	REAR LANE TOWNS	261.49	4
BLOCK 20	REAR LANE TOWNS	348.85	5
BLOCK 21	REAR LANE TOWNS	327.88	4
BLOCK 22	REAR LANE TOWNS	283.52	4
TOTAL		124	

SECTION	ZONE PROVISION - PLANNED UNIT DEVELOPMENT	REQUIRED	PROPOSED
162A (Table) (iv)	MIN. LOT WIDTH (m)	N/A	N/A
162A (Table) (v)	MIN. LOT AREA (m ²)	1,400 m ²	19,588 m ²
162A (Table) (vi)	MAX. BUILDING HEIGHT (m)	11 m	14.05 m
162A (Table) (vii)	MIN. FRONT YARD SETBACK (m)	3 m	2.58 m
162A (Table) (viii)	MIN. CORNER SIDE YARD SETBACK (m)	3 m	3.07 m
162A (Table) (ix)	MIN. REAR YARD SETBACK (m)	6 m	3.07 m
162A (Table) (x)	MIN. INTERIOR YARD SETBACK (m)	1.2 m	N/A
101 (Table)	RESIDENT PARKING - TYPE A (46 @ 0.75/unit)	34.5	69
	TYPE B (78 @ 0.75/unit)	58.5	78
102 (Table)	VISITOR PARKING (124 @ 0.1/unit)	12.4	0
131 (Table) (1)	MIN. WIDTH OF PRIVATE WAY	6 m	6.5 m
131 (Table) (2)	SETBACK OF ANY WALL OF A MIN. RES. BUILDING TO PRIVATE WAY	1.8 m	0.25 m
131 (Table) (3)	MIN. SETBACK OF GARAGE DOOR TO PRIVATE WAY	5.2 m	0.25 m

SECTION	ZONE PROVISION - TOWNHOUSE	REQUIRED	PROPOSED
164(1)	MIN. LOT WIDTH (m) - TYPE A TOWNHOUSE	6 m	6.05 m
	TYPE B TOWNHOUSE	6 m	4.42 m
164(1)	MIN. LOT AREA (m ²) - TYPE A	150 m ²	111.93 m ²
	TYPE B	150 m ²	81.76 m ²
164(1)	MAX. BUILDING HEIGHT (m)	11 m	14.05 m
164(1)	MIN. FRONT YARD SETBACK (m)	3 m	2.58 m
164(1)	MIN. CORNER SIDE YARD SETBACK (m)	3 m	4 m
164(1)	MIN. REAR YARD SETBACK (m)	6 m	0.25 m
164(1)	MIN. INTERIOR YARD SETBACK (m)	1.2 m	1.2 m
101 (Table)	RESIDENT PARKING - TYPE A	0.75/unit	1.5/unit
	TYPE B	0.75/unit	1/unit
102 (Table)	VISITOR PARKING	0.1/unit	0

SECTION	ADDITIONAL PROVISIONS	REQUIRED	PROPOSED
57(2)	Corner sight triangle	TBD	5 x 5 m
	Permitted projections into req. yards		
65(2)	Eaves, eave-troughs, gutters	1 m	TBD
65(3)	Sills, belt courses, cornices, parapets, pilasters	0.6 m	TBD
65(4)	Canopies, awnings	1.8 m	TBD
65(5)	Fire escapes, open stairways, stoop	>0.6m to lot line	0.86 m
65(6)	Covered or uncovered balcony, porch, deck	2 m	2 m
65(7)	Bay window	1 m	TBD
65(8)	Air conditioner condenser, heat pump	1 m	TBD
100(3)(b)	Min. shared driveway width	3 m	N/A
106(1)(a)	Min. perpendicular parking space size	2.6 x 5.2 m	N/A
106(1)(b)	Min. parallel parking space size	2.6 x 6.7 m	N/A
107(1)(a)(i)	Min. driveway width to parking lot	6.7 m	N/A
107 (Table)	Min. aisle width to spaces	6.7 m	N/A
107(2)	Min. driveway width to garage	2.6 m	2.6 m
109(3)(b)	Max. walkway width permitted in yard	1.8 m	1.8 m
110(1)	Min. % of parking lot area landscaped	15%	N/A
110 (Table)	Min. landscape buffer width parking lot to lot line	1.5 m	N/A
110(3)(b)	Min. waste collection setback to lot line	3 m	N/A



LEGEND	
	CONCRETE SIDEWALK
	CROSSWALK
	RIVERSTONE
	CURB
	DEPRESSED CURB
	PROJECTION (BALCONY/PORCH)
	PROJECTION (STAIRS)
	FIRE HYDRANT
	DWELLING ENTRANCE
	UNIT NUMBER
	LANDSCAPED AREA
	RAISED CONCRETE DECK
	BENCH
	TYPE A TOWNHOUSE (6.05m)
	TYPE B TOWNHOUSE (4.42m)
	PROPOSED LOT BOUNDARY
	BLOCK BOUNDARY
	BLOCK (Mew) BOUNDARY

DATE	REVISION	BY
Aug 10, 2017	Issue for Site Plan Control Submission	SP
Aug 3, 2017	Issue for Canada Lands Company review	SP
July 28, 2017	Draft for review	SP

- GENERAL NOTES
- DO NOT SCALE DRAWINGS FOR PRINT.
 - THIS DRAWING IS THE EXCLUSIVE PROPERTY OF KORSIAK URBAN PLANNING AND MATTAMY HOMES. COPYRIGHT RESERVED.
 - SITE PLAN PREPARED IN ACCORDANCE WITH PLAN 4M-1581 AND PLAN 4R-30196. PREPARED BY ANNIS O'SULLIVAN, VOLLEBEKK LTD.
 - TOWNHOUSE DWELLING UNITS ARE DESIGNED TO ACCOMMODATE CURBSIDE GARBAGE PICK-UP.
 - MEWS ARE INTENDED FOR PUBLIC ACCESS.
 - ONE (1) TYPE A (3.4 x 5.2 m) AND 1 TYPE B (2.4 x 5.2 m) BARRIER-FREE PARKING SPACE ARE PROVIDED ADJACENT TO A 1.5 m WIDE AISLE.
 - WALKWAYS AND CURBS TO BE TIED INTO PUBLIC ROW WHERE APPLICABLE.

PROJECT TEAM

SITE PLAN DESIGN: KORSIAK Urban Planning	LANDSCAPE ARCHITECTURE: NAK design strategies	MECHANICAL/ELECTRICAL: L.R.J.
PLANNING: Stantec	TRANSPORTATION: NOVATECH	ENVIRONMENTAL: VALCOUSTICS
ARCHITECTURE: Q4A	NOISE: VALCOUSTICS	
CIVIL ENGINEER: DSEL	GEOTECHNICAL & STRUCTURAL: paker group	

mattamyHOMES

WATERIDGE VILLAGE: PHASE 1B
335 ST. LAURENT BLVD.

PART OF LOTS 21, 22 AND 23
CONCESSION 1 (OTTAWA FRONT)
GEOGRAPHIC TOWNSHIP OF GLOUCESTER
AND BLOCKS 118-124, 126 AND 127
REGISTERED PLAN 4M-1559
CITY OF OTTAWA

TITLE:	BLOCK 15 SITE PLAN	
DATE:	August 10, 2017	DRAWN BY: SP
JOB NO.:	Mattamy - Wateridge	CHECKED BY: CR
		DRAWING NO. A1