

KEY PLAN
NOT TO SCALE



SITE INFORMATION :

SITE AREA : 24,281.3 m² = 2.42 ha (5.99 A)
 ZONING : R4F [1892] H [13.5]

LOT WIDTH (MIN.):	- PLANNED UNIT DEVELOPMENT - TOWNHOUSE, SEMI-DETACHED	REQUIRED : N/A 6.0 m	PROVIDED : 191.73 m 6.10 m
LOT AREA (MIN.):	- PLANNED UNIT DEVELOPMENT - TOWNHOUSE, SEMI-DETACHED	1,400.00 m ² 165.00 m ² [1892]	24,281.30 m ² 167.75 m ²
BUILDING HEIGHT (MAX.):		11.0 m	11.0 m
FRONT YARD (MIN.):	- PLANNED UNIT DEVELOPMENT - TOWNHOUSE, SEMI-DETACHED	3.0 m 3.0 m	N/A 4.5 m
REAR YARD (MIN.):	- PLANNED UNIT DEVELOPMENT - TOWNHOUSE, SEMI-DETACHED	2.8 m [1892] 6.0 m [1892]	3.0 m 6.0 m
INTERIOR SIDE YARD (MIN.):	- PLANNED UNIT DEVELOPMENT - TOWNHOUSE, SEMI-DETACHED	1.2 m 1.5 m [1892]	4.6 m 1.5 m
ACCESSORY BUILDING SIZE (MAX.):		250.00 m ²	186.00 m ²
LANDSCAPED AREA OF LOT (MIN.):		30 %	54.3 % (13,192.2m ²)
TOTAL AMENITY AREA REQUIRED :	- APARTMENT LOW RISE - 6.0m x137 = 822.0 m ²		- PRIVATE AMENITY AREA - BALCONIES & PATIOS) 6.5m x137 = 8,905.0 m ²
COMMUNAL AMENITY AREA REQ'D. (MIN.):	50% of 822 m ² = 411.0 m ²		- COMMUNAL AMENITY AREA - TOTAL AMENITY AREA PROVIDED : 1,740.0 m ²

STREET BACK TO BACK TOWNHOMES

BLOCK No. :	BUILDING AREA:	GROSS FLOOR AREA:	No. UNITS:
BLOCK 1 = BACK TO BACK TOWNHOMES	425.0 m ²	1,026.6 m ²	8 UNITS
BLOCK 2 = BACK TO BACK TOWNHOMES	425.0 m ²	1,026.6 m ²	8 UNITS
BLOCK 3 = BACK TO BACK TOWNHOMES	523.0 m ²	1,281.1 m ²	10 UNITS
BLOCK 4 = BACK TO BACK TOWNHOMES	425.0 m ²	1,026.6 m ²	8 UNITS
BLOCK 5 = BACK TO BACK TOWNHOMES	425.0 m ²	1,026.6 m ²	8 UNITS
TOTAL =	2,223.0 m ²	5,385.1 m ²	42 UNITS

TERRACE FLATS & BACK TO BACK TERRACE HOMES

BLOCK No. :	BUILDING AREA:	GROSS FLOOR AREA:	No. UNITS:
BLOCK 1 = TERRACE FLATS	412.0 m ²	1,219.0 m ²	12 UNITS
BLOCK 2 = TERRACE FLATS	412.0 m ²	1,219.0 m ²	12 UNITS
BLOCK 3 = TERRACE FLATS	412.0 m ²	1,219.0 m ²	12 UNITS
BLOCK 4 = TERRACE FLATS	412.0 m ²	1,219.0 m ²	12 UNITS
BLOCK 5 = BACK TO BACK TERRACE HOMES	243.0 m ²	916.5 m ²	8 UNITS
BLOCK 6 = BACK TO BACK TERRACE HOMES	342.3 m ²	1,375.0 m ²	12 UNITS
BLOCK 7 = BACK TO BACK TERRACE HOMES	342.3 m ²	1,375.0 m ²	12 UNITS
BLOCK 8 = BACK TO BACK TERRACE HOMES	342.3 m ²	1,375.0 m ²	12 UNITS
BLOCK 9 = TERRACE FLATS	312.4 m ²	926.5 m ²	9 UNITS
BLOCK 10 = BACK TO BACK TERRACE HOMES	342.3 m ²	1,375.0 m ²	12 UNITS
BLOCK 11 = BACK TO BACK TERRACE HOMES	342.3 m ²	1,375.0 m ²	12 UNITS
BLOCK 12 = BACK TO BACK TERRACE HOMES	342.3 m ²	1,375.0 m ²	12 UNITS
BICYCLE / GARBAGE =	186.0 m ²	186.0 m ²	12 UNITS
TOTAL =	4,443.2 m ²	15,155.0 m ²	137 UNITS

STREET BACK TO BACK TOWNHOMES = 42 UNITS
TERRACE HOMES = 57 UNITS
BACK TO BACK TERRACE HOMES = 80 UNITS
TOTAL = 179 UNITS

TERRACE FLATS PARKING :
 PARKING REQUIRED : 1.2 Spaces / (137) d.u. + 0.2 / (137) d.u. [Visitor] = 164.4 + 27.4 = 191.8 Spaces
 PARKING PROVIDED : 165 Spaces + 27 Visitor Spaces = 192 Spaces

BICYCLE PARKING REQUIRED : 137 [0.5 / (137) d.u.] = 68.5 Spaces
BICYCLE PARKING PROVIDED : 43 Interior Spaces + 28 Exterior Spaces = 71 Spaces

SNOW STORAGE : SNOW STORAGE WILL BE OFF SITE.



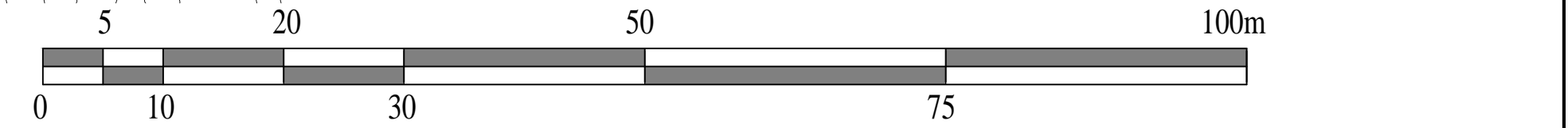
EXTERIOR BICYCLE STORAGE
 4 SPACES

- LEGEND:**
- D.C. - DEPRESSED CURB
 - ⊕ - WALL MOUNT LIGHT FIXTURE
 - ⊠ - TRANSFORMER
 - ⊙ - FIRE HYDRANT

NOTE:
 - SITE PLAN TO BE READ IN CONJUNCTION WITH :
 - SITE SERVICING PLAN PREPARED BY DAVID SCHAEFFER ENGINEERING LIMITED.
 - LANDSCAPING PLAN PREPARED BY JAMES B. LENNOX and ASSOCIATES.
 - BOUNDARIES DERIVED FROM: PLAN 4M-889.
 - PLAN PREPARED BY ANIS O'SULLIVAN VOLLEBEK LTD.
 - DATED AUG. 13, 2003.

APPROVED REFUSED
 THIS _____ DAY OF _____, 20__

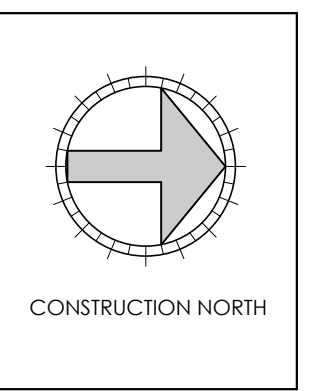
DON HERWEYER, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW - SOUTH
 PLANNING, INFRASTRUCTURE AND ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



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GENERAL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
- ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
- ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS.
- THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.
- THIS REPRODUCTION SHALL NOT BE ALTERED.



No.	DATE	DESCRIPTION	INIT.
10.	10/05/12	TRAFFIC CALMING MEASURES	SM
9.	02/03/12	PER CITY COMMENTS	SM
8.	02/11/11	REV. AS PER JBL LANDSCAPING PLAN	SM
7.	25/08/11	BUS STOP INFO ADDED	SM
6.	18/08/11	PER CITY COMMENTS	SM
5.	24/03/11	ACCESSORY BLDG., PARKING ADDED	SM
4.	08/02/11	FOR RICHCRAFT REVIEW	SM
3.	21/01/11	REVISED SITE LAYOUT	SM
2.	08/01/10	PARKING ADDED, REV. AMENITY BLDG.	SM
1.	03/12/09	FOR REVIEW	SM

No.	DATE	DESCRIPTION	INIT.
20.	22/12/16	RELOCATED ACCESSORY BUILDING	SM
19.	09/11/16	MODEL TYPES, ADDED TERRACE FLATS	SM
18.	05/10/16	REVISED MODEL TYPES	SM
17.	30/09/14	REVISED RETAINING WALL LOCATIONS	SM
16.	29/11/13	REVISED FOR BIKE RACK SPACING	SM
15.	08/05/13	REVISED FOR DEPRESSED CURBS	SM
14.	08/02/13	PER CITY COMMENTS / HYDRANTS	SM
13.	17/12/12	PER CITY COMMENTS & MARK-UPS	PA
12.	20/09/12	BUS SHELTER RELOCATED / TREES	SM
11.	28/08/12	FENCES ADDED	JB

No.	DATE	DESCRIPTION	INIT.
30.			
29.			
28.			
27.			
26.			
25.			
24.			
23.	25/07/17	AS PER CITY COMMENTS	SM
22.	14/07/17	AS PER CONSULTANTS	SM
21.	11/07/17	RELOCATED ACCESSORY BUILDING	SM

SEAL

PROJECT 179 UNIT - MOUNTSHANNON
 TERRACE & TOWNHOMES
 146 MOUNTSHANNON DRIVE
 OTTAWA, (NEPEAN), ONT.

CLIENT **RICHCRAFT**
 Group Of Companies

DATE	SCALE	SHEET No.
NOV., 2009.	1:500	SP-1
DRAWN BY: SBM	CHECKED: MDB	

D07-12-17-0050