



STAMP

REV DATE ISSUE

NOTE:  
 1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CSV ARCHITECTS.  
 2. THE DRAWINGS, PRESENTATIONS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE TO BE USED ONLY FOR THE PROJECT AND EXTENSIONS TO OTHER PROJECTS OR ON EXTENSIONS TO THIS PROJECT ARE AT THE WRITTEN CONSENT OF CSV ARCHITECTS.  
 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.  
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE MUNICIPAL REGULATIONS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

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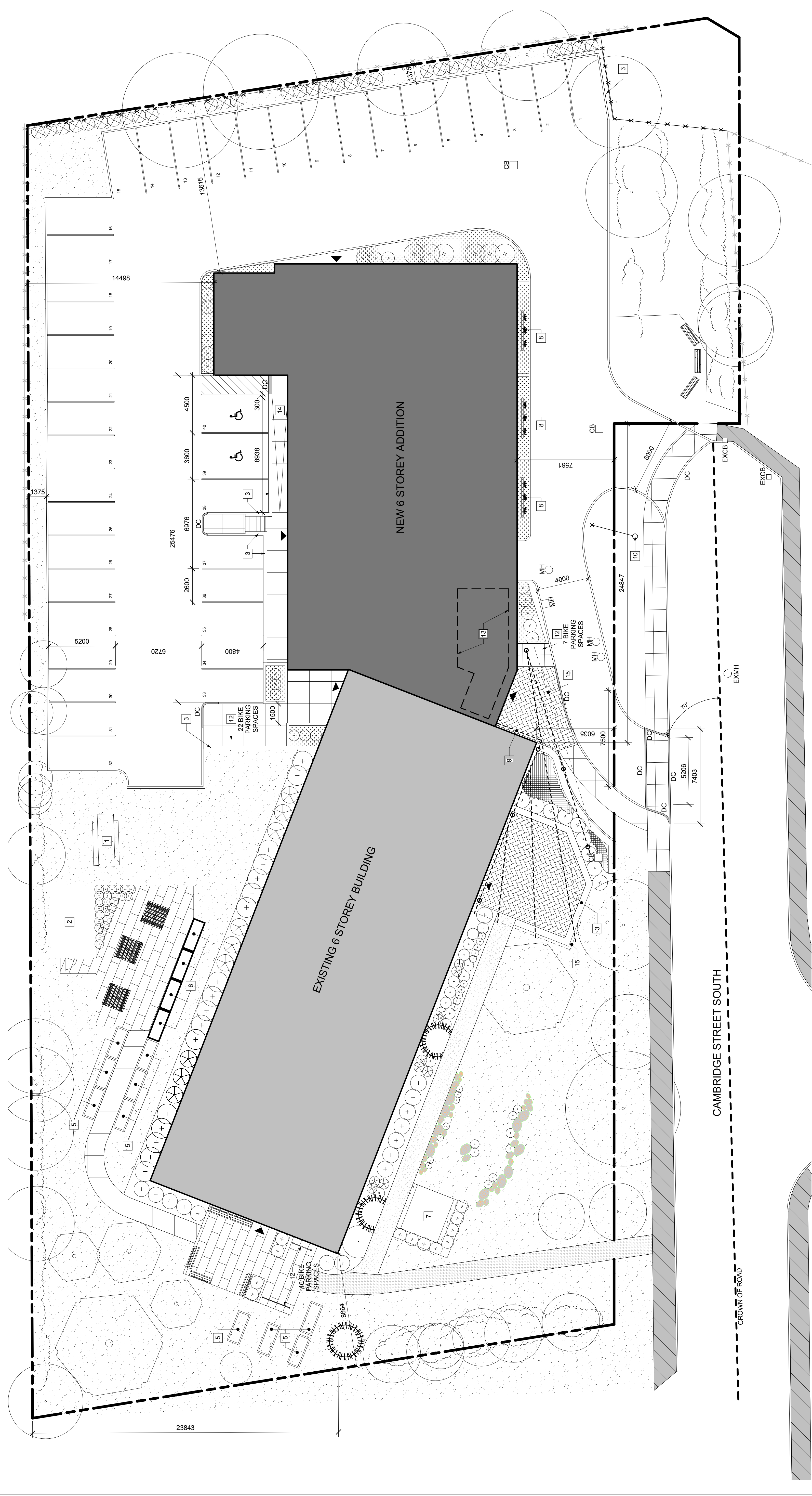
**SITE PLAN**

TITLE

PROJECT NO: 2014-1170  
 DRAWN: MC  
 APPROVED: RG  
 SCALE: As indicated  
 FIRST ISSUE: 06/15/17

DRAWING NO.

**A.100**



**LEGAL DESCRIPTION**  
 LOTS 22, 23, 24, 25, 26, 27  
 Registered Plan 28  
 RP-4R1962

ZONING INFORMATION		RSB	PROVIDED
AREA ON SCHEME 1:		AREA A	34
AREA ON SCHEME 1A:		AREA A	34
<b>ZONING INTENT</b>			
MINIMUM LOT AREA	1500	PROVIDED	1072.5 sqm
MINIMUM LOT WIDTH	4500	PROVIDED	4500
MINIMUM LOT DEPTH	14.5m	PROVIDED	14.5m
MINIMUM REAR YARD SETBACK	7.5m	PROVIDED	7.5m
MINIMUM FRONT YARD SETBACK	8.0m	PROVIDED	8.0m
MINIMUM SIDE YARD SETBACK	8.0m	PROVIDED	8.0m
MINIMUM HEIGHT	14.0m	PROVIDED	14.0m
MINIMUM AREA	10000	PROVIDED	10000
<b>AMENITY AREA</b>			
INTERIOR (3000)			
EXTERIOR (6000)			
TOTAL			11000
LANDSCAPED AREA		30%	3300

PARKING		REQUIRED	PROVIDED
<b>MINIMUM REQUIREMENTS</b>			
RESIDENTIAL TENANT SPACES (10 SPACES PER FLOOR 12 UNITS)	30		34
<b>VEHICLE SPACES</b>			
VEHICLE SPACES (14 UNITS)	12		6
VEHICLE SPACES (14 UNITS)	12		6
VEHICLE SPACES (14 UNITS)	12		6
<b>ACCESSIBLE PARKING</b>			
ACCESSIBLE PARKING (ON SPACE IN LOTS WITH 20-99 SPACES)	2		2
ACCESSIBLE PARKING (ON SPACE IN LOTS WITH 100-199 SPACES)	2		2
ACCESSIBLE PARKING (ON SPACE IN LOTS WITH 200-999 SPACES)	4		4
ACCESSIBLE PARKING (ON SPACE IN LOTS WITH 1000-9999 SPACES)	6		6

- SITE PLAN GENERAL NOTES**
- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING RECORDS AND FIELD SURVEY.
  - DO NOT SCALE THIS DRAWING.
  - REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR DISCREPANCIES.
  - CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT.
  - UNSATURATED AREAS AND ITEMS SHALL BE REMOVED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT.
  - CONTRACTOR TO PLAY OUT PLANTING CONSTRUCTION PRIOR TO APPROVAL OF EXCAVATION AND BEFORE ANY CONSTRUCTION.
  - DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT AND ISSUED FOR CONSTRUCTION.
  - THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED.
  - INDIVIDUAL UTILITY COMPANIES MUST BE CONTACTED FOR CONFIRMATION OF UTILITY DEPTHS, SIZE AND LOCATION PRIOR TO DIGGING.
  - THIS DRAWING IS AN INSTRUMENT OF SERVICE AND REQUIRES THE PERMISSION OF THE ARCHITECT FOR USE.
  - SNOW TO BE REMOVED FROM SITE.

- LEGEND**
- EXISTING BUILDING
  - NEW 6 STOREY ADDITION
  - EXISTING CONCRETE SIDEWALK TO REMAIN
  - NEW CONCRETE SIDEWALK
  - NEW UNIT PAVERS
  - NEW PERMEABLE PAVERS
  - NEW ASPHALT PATH
  - NEW STONE DUST PATH
  - PROPERTY LINE
  - BUILDING ENTRY POINT
  - EXISTING FENCE TO REMAIN
  - NEW FENCE
  - EXISTING VEGETATION TO REMAIN
  - DROPPED CURB
  - EXISTING CATCH BASIN TO REMAIN
  - NEW CATCH BASIN PER CIVIL
  - EXISTING MANHOLE TO REMAIN
  - NEW MANHOLE PER CIVIL
  - NEW ACCESSIBLE RAISED PLANTERS
  - PLANTING PER LANDSCAPE DRAWINGS
  - STANDPIPE
  - EXISTING HYDRO POLE AND GUIDE WIRE TO REMAIN
  - NEW FEATURE TREE
  - NEW BIKE RACKS
  - NUMBER OF SPACES AS INDICATED ON DRAWING
  - INTERIOR SITE WATER CISTERN
  - PEDESTRIAN RAMP SLOPED AT 1:12 MAXIMUM
  - EXTENT OF NEW CANOPY STRUCTURE

- SITE PLAN NOTES:**
- EXISTING GENERATOR ON CONCRETE PAD
  - NEW SHED
  - NEW RETAINING WALL
  - NEW PLANTING BED
  - NEW RAISED PLANTER
  - NEW ACCESSIBLE RAISED PLANTERS
  - NEW GAZEBO
  - PLANTING PER LANDSCAPE DRAWINGS
  - STANDPIPE
  - EXISTING HYDRO POLE AND GUIDE WIRE TO REMAIN
  - NEW FEATURE TREE
  - NEW BIKE RACKS
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