

Existing Zone: Residential Fifth Density Subzone Q [282] Schedule 89A 89B-h1,h2		
Site and Building Statistics		
Site Area	4920 m ²	
Frontage	40.79 m (Albert) and 122.63 m (Slater)	
Lot Depth (Albert to Slater)	60.28 m	
Proposed Gross Floor Area	42310 sq m	
Proposed Residential Dwelling units	368	
Proposed Hotel Suites	136	
RSQ Zoning Requirements		Provided
(a) Minimum lot area	540 m ²	4920 m ²
(b) Minimum lot width	18 m	40.79 m (Albert)/122.63 m (Slater)
All setbacks and related performance standards are specified in Urban Exception 282 and on Schedules 89A and 89B.		
A new Schedule is proposed based on the performance standards in this application that will replace Schedules 89A & B and amend Exception 282 to reflect proposed development.		
Table 101 R12 High-rise residential for 366 dwelling units	Residents .5 per dwelling unit = 184	Total parking provided is 360 spaces.
Section/Table 102 Visitor	Visitors first 12 dwelling units = 0 Balance of 356 units: .1 per unit (35.6) to max. of 30 spaces required Total Required = 214	
Table 101 N44 Hotel for 136 suites	1 per every 2 guest units for up to 40 guest units = 20 spaces 1 per 12 guest units over 40 guest units (96 suites) = 8 spaces Total Required = 28	
Table 101 N79 Retail/Retail Food Store 2618 m ²	1.25 per 100 m ² of gross floor area = 33spaces 214+28+33 = 275 spaces	
Overall Parking Requirement		
Section/Table 103 - Maximum Number of Spaces near Rapid Transit Stations Residential (368 units)	1.5 per dwelling unit = 552 1.0 per 100 m ² = 26 552 + 26 = 578 spaces	Proposed parking of 360 spaces does not exceed maximum.
Retail (2618 m ²)	Overall Maximum	
Table 111A - Residential Bicycle Parking Space Rates Subsection (b)(i) (368 dwelling units)	.5 per dwelling unit = 184	Residential bicycle parking = 189 spaces in underground garage Non-Residential bicycle parking = 40
Hotel and Retail Store (9761 sq m)	1 per 250 m ² of gross floor area = 39	
Total Bicycle Parking Requirements		Overall Total provided = 224

PLAN OF SURVEY
GEOGRAPHIC TOWNSHIP OF CITY OF OTTAWA

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999936.

Bearings are MTM grid, derived from Can-Net 3.0 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N57°44'40"E and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinates are derived from Can-Net 3.0 Real Time Network GPS observations and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

. Point A Northing 5031142.75 Easting 366956.47
. Point B Northing 5031207.57 Easting 367059.18

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.

ELEVATION NOTES
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

- LEGEND:**
- MANHOLE, REFER TO CIVIL
 - DEPRESSED CURB
 - SIAMESE CONNECTION
 - FIRE HYDRANT, REFER TO CIVIL
 - BUILDING ENTRANCE
 - NEW BUILDING FOOTPRINT
 - EXISTING BUILDING FOOTPRINT
 - TO BE REMOVED
 - NEW BUILDING LINE ABOVE
 - PROPERTY LINE

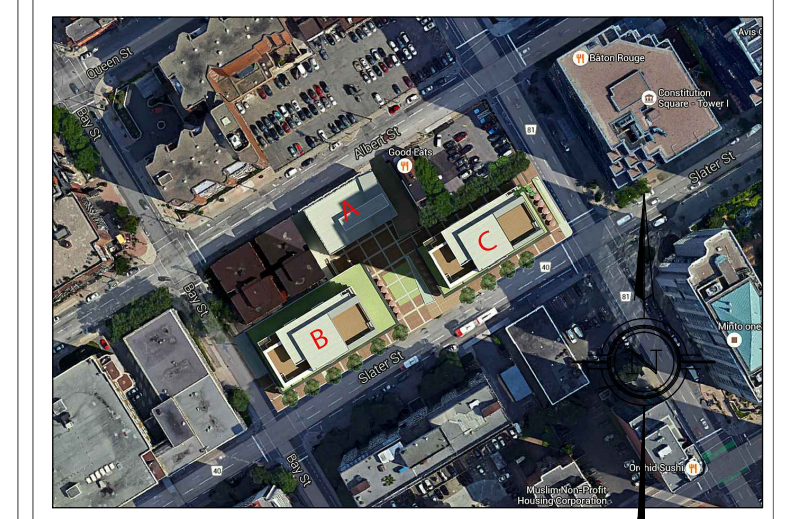
OTTAWA **383 SLATER ST** ONTARIO
400 ALBERT ST

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL CODES AND BYLAWS AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.

DO NOT SCALE DRAWINGS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. COPYRIGHT RESERVED.



CONTEXT PLAN

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04	ISSUED FOR SITE PLAN APPLICATION	05/20/17
03	ISSUED FOR REVIEW	02/10/17
02	ISSUED FOR REVIEW	11/28/16
01	ISSUED FOR REVIEW	06/10/16
NO.	REVISION	DATE

WOODMAN ARCHITECT ASSOCIATES LTD.
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CONSULTANTS:
STRUCTURAL -
MECHANICAL -
ELECTRICAL -

PROJECT
383 SLATER ST
400 ALBERT ST

DRAWING:
SITE PLAN

DATE	JUNE - 15, 2016
SCALE	1:150
DRAWN BY	J.C.
REVIEWED BY	A.G.
JOB NO.	1601
DRAWING NO.	SP.01

