

AREA OF SITE: #6092.7 sq.m.

GROSS FLOOR AREA PROPOSED: #2728 sq.m.

GROUND FLOOR / G.F.A.: #0 sq.m.

ASSISTED LIVING G.F.A. (2nd - 3rd FL.): #2491 sq.m.

DWELLING UNITS G.F.A. (4th - 6th FL.): #4778 sq.m.

PRIVATE AMENITY AREA (G.F.A.): #203 sq.m.

COMMUNAL AMENITY AREA (G.F.A.): #1560 sq.m.

MED. HEALTH OR PERS. SERV. (G.F.A.): #91 sq.m.

SITE COVERAGE: #36.4 %

LANDSCAPED AREA (EXCL. PARKING): #47.8 %

PROVISION: 32 INTERIOR, 15 EXTERIOR

NUMBER OF FLOORS & BUILDING HEIGHT: 6 FLOORS + MECH. ±20.00m

DWELLING UNITS: #146

FOR EXISTING SITE CONDITIONS. SEE SURVEY PLAN BY ANNIS O'SULLIVAN VOLLEBEKK LTD. SUBMITTED SEPARATELY.

FOR NEW GRADES AND SITE SERVICES. SEE CIVIL ENGINEERING PLAN BY BI GROUP, SUBMITTED SEPARATELY.

FOR PROPOSED VEGETATION AND LANDSCAPE INFORMATION. SEE LANDSCAPE ARCHITECTURE PLAN BY JAMES B. LENNOX & ASSOCIATES SUBMITTED SEPARATELY.

CITY OF OTTAWA ZONING BY-LAW (GM13 H20)

PROVISION	REQUIREMENT	PROPOSED
Minimum front yard	3.00 metres	10.00 metres
Minimum corner side yard	3.00 metres	4.28 metres
Minimum side yard (residential)	5.00 metres	N/A
Minimum side yard (other)	0.00 metres	6.80 metres
Minimum rear yard (residential)	7.50 metres	12.74 metres
Minimum landscaped area (resid.)	3.00 metres	3.00 metres
Height limit (maximum)	20.00 metres	17.60 metres
Floor space index (maximum)	2.00	0.93

ZONING BY-LAW PARKING REQUIREMENT FOR RETIREMENT HOME

REQUIREMENT	PROPOSED
0.25 per unit	0.25 x 146 = 37
1 per 100 m ² of G.F.A. used for medical or personal services	91 m ² = 1
	38 interior

ZONING BY-LAW BICYCLES PARKING REQUIREMENT FOR RETIREMENT HOME

REQUIREMENT	PROPOSED
0.25 per unit	0.25 x 146 = 37
	22 int. + 15 ext.

NOTES GÉNÉRALES / General Notes

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- Veuillez aviser l'architecte de toute dimension erreur et/ou divergences entre ces documents et ceux des autres professionnels. / The architect must be notified of all errors, omissions and discrepancies between these documents and those of other professionals.
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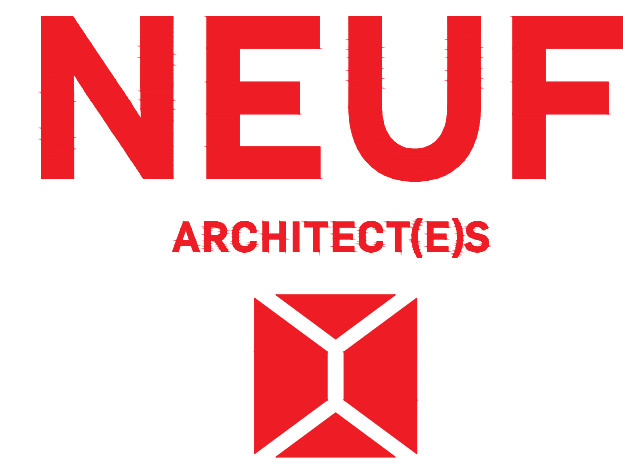
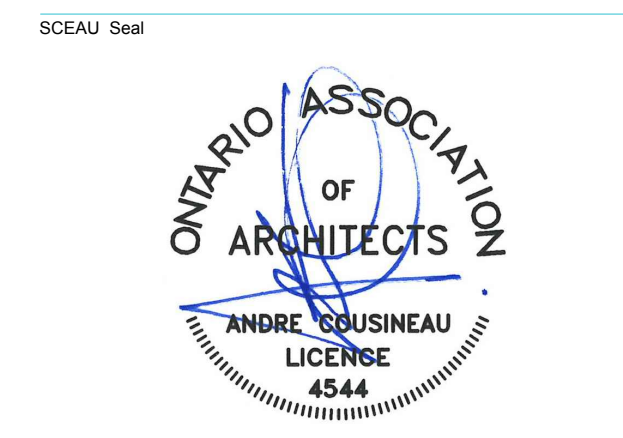
ARCHITECTURE DE PAYSAGE / Landscape architect
James B. Lennox & Associates
 361, Hinton Avenue South, Ottawa ON K1Y 1A6
 T 613 722 5168 jbla.ca

ARPENTEUR / Surveyor
Annis O'Sullivan Vollebekk Ltd.
 14, Concession Gate, Suite 500, Nepean ON K2E 7S6
 T 613 277 0850 nspean@aovltd.com

GÉOTECHNIQUE / Geotechnical
Golder Associates
 1931, Robertson Road, Ottawa ON K2H 5B7
 T 613 932 9600 golder.ca

CIVIL / Civil
IBI Group
 400-333, Preston Street, Ottawa ON K1S 5N4
 T 613 225 1311 ibigroup.com

ARCHITECTES / Architect
NEUF architect(e)s SENCRL
 630, boul. René-Lévesque O., Suite 400, Montréal QC H3B 1S6
 T 514 447 1117 NEUFarchitectes.com



OUVRAGE / Project
Trim & Innes Retirement Community

EMPLACEMENT / Location
 Orleans, ON

NO. PROJET / NO. PROJECT
 11360

NO.	REVISION	DATE (aa.mm.jj)
A	Coordination	2017.02.15
B	Coordination	2017.02.23
1	Site Plan Application	2017.03.24

DESSIN PAR / Drawn by
 PV

VÉRIFIÉ PAR / Checked by
 LH

DATE (aa.mm.jj)
 17.02.06

ÉCHELLE / Scale
 1:200

TITRE DU DESSIN / Drawing Title
Site Plan at Ground Floor Level

REVISION / Revision
1

NO. DESSIN / Dwg Number
A101

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