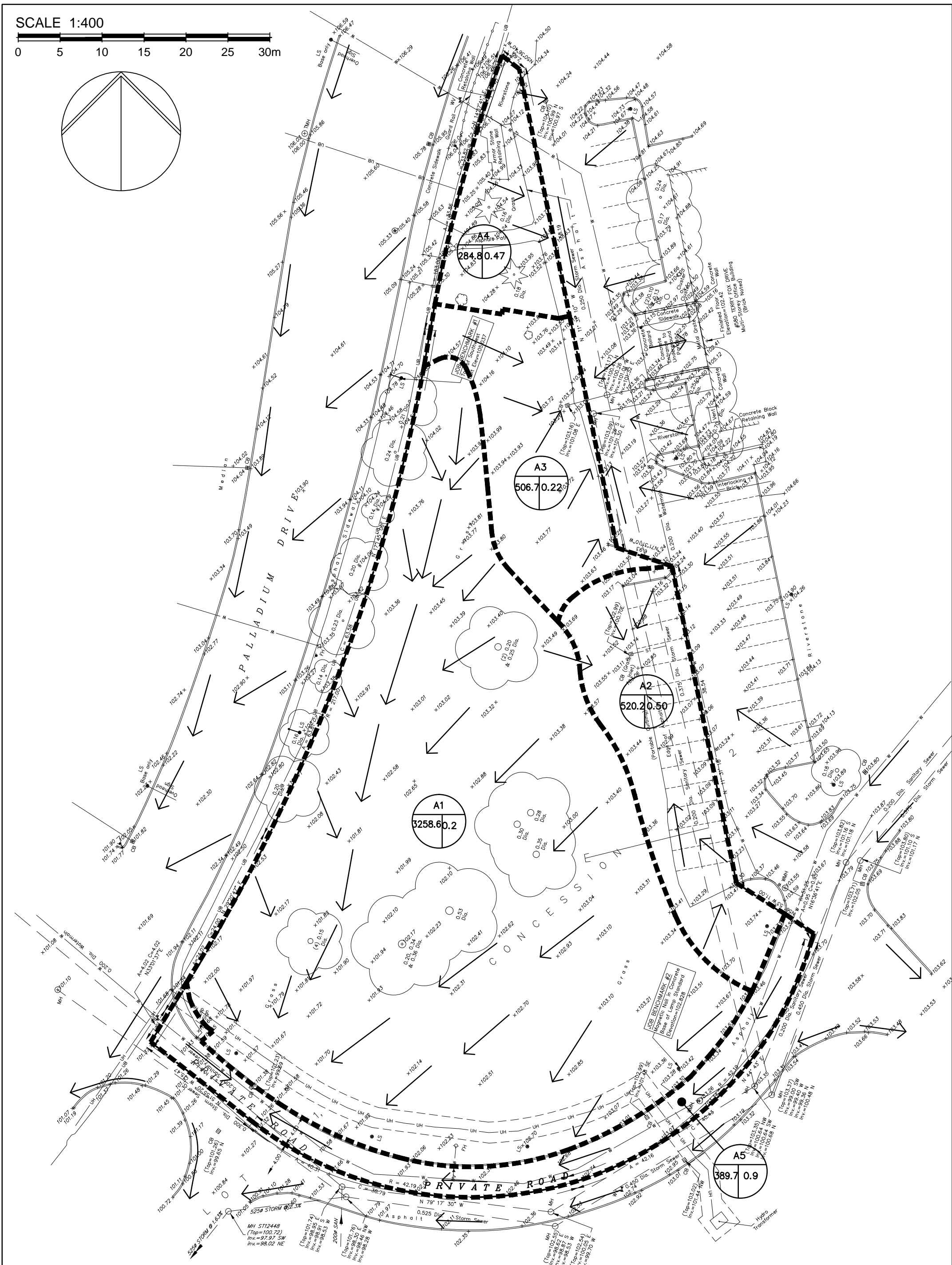


POST-DEVELOPMENT DRAINAGE

POST DEVELOPMENT DRAINAGE DATA						
AREA I.D.	TOTAL AREA (sq.m.)	RUNOFF COEFF. C _{Syr.}	A x C (5YR)	RUNOFF COEFF. C _{100Yr.}	A x C (100YR)	COMMENT
A1	614.1	0.90	552.7	1.00	614.1	CONTROLLED AT ST102
A2	97.0	0.9	87.3	1.00	87.3	CONTROLLED AT ST102
A3	94.2	0.9	84.8	1.00	84.8	CONTROLLED AT ST102
A4	291.1	0.30	87.3	0.36	104.8	CONTROLLED AT ST102
A5	504.8	0.2	101.0	0.25	126.2	CONTROLLED AT ST102
A6	390.8	0.9	351.7	1.00	390.8	CONTROLLED AT ST102
A7	679.8	0.9	611.8	1.00	679.8	CONTROLLED AT ST102
A8	952.1	0.9	856.9	1.00	952.1	CONTROLLED AT ST102
A9	155.0	0.25	38.8	0.31	48.0	CONTROLLED AT ST102
A10	58.4	0.25	14.6	0.31	18.1	UNCONTROLLED
A11	61.7	0.25	15.4	0.31	19.1	UNCONTROLLED
A12	54.5	0.9	49.1	1.00	54.5	UNCONTROLLED
A13	157.2	0.25	39.3	0.31	48.7	UNCONTROLLED
A14	66.1	0.9	59.5	1.00	66.1	UNCONTROLLED
A15	108.7	0.25	27.2	0.31	33.7	UNCONTROLLED
A1X	284.8	0.43	122.5	0.50	142.4	
TOTAL * DRAINAGE DESIGN AREA	4570.3	0.68	3099.9	0.76	3470.5	
A2X	389.7	0.9	350.7	1.00	389.7	EXISTING UNCONTROLLED AND UNCHANGED
TOTAL SITE	4960.0					

POST DEVELOPMENT RUNOFF DISTRIBUTION				
LOCATION	AREA (sq.m.)	A x C (5YR)	% TOTAL A x C (5YR)	COMMENT
TO SOUTH BOUNDARY (EXIST. STORM SEWER)	3778.9	2772.3	89.4%	ALL CONTROLLED RELEASE (AREA A1 TO A9 INCL.)
TO EAST BOUNDARY (EXIST. STORM SEWER)	791.4	327.6	10.6%	ALL UNCONTROLLED RELEASE (AREA A10 TO A15 INCL. PLUS A1X)
TOTAL * DRAINAGE DESIGN AREA	4570.3	3099.9	100.0%	

* TOTAL DRAINAGE DESIGN AREA = (TOTAL SITE) - (EXISTING PRIVATE ROAD/A2X)



EXISTING DRAINAGE

EXISTING DRAINAGE DATA			
AREA I.D.	TOTAL AREA (sq.m.)	RUNOFF COEFF. C _{Syr.}	A x C (5YR)
A1	3258.6	0.20	651.7
A2	520.2	0.50	260.1
A3	506.7	0.22	111.5
A4	284.8	0.47	133.9
A5	389.7	0.90	350.7
TOTAL SITE	4960.0	0.304	1507.9

EXISTING RUNOFF DISTRIBUTION				
LOCATION	AREA (sq.m.)	A x C (5YR)	% TOTAL A x C (5YR)	COMMENT
TO SOUTH SITE BOUNDARY STORM SEWER	3648.3	1002.4	66%	AREAS A1, A5
TO EAST SITE BOUNDARY STORM SEWER	1311.7	505.5	34%	AREAS A2, A3, A4
TOTAL SITE	4960.0	1507.9	100.0%	
EXISTING RUNOFF DISTRIBUTION FROM PROPOSED AREA OF DEVELOPMENT				
TO SOUTH SITE BOUNDARY STORM SEWER	3258.6	651.7	56%	AREA A1
TO EAST SITE BOUNDARY STORM SEWER	1311.7	505.5	44%	AREAS A2, A3, A4
TOTAL * DRAINAGE DESIGN AREA	4570.3	1157.2	100.0%	

* TOTAL DRAINAGE DESIGN AREA = (TOTAL SITE) - (EXISTING PRIVATE ROAD/A2X)



KEY PLAN

N.T.S.

LEGEND

AREA I.D.#
50 0.9
AREA (sq.m.)
DIRECTION OF SURFACE DRAINAGE RUNOFF
DIRECTION OF EMERGENCY OVERLAND FLOW DURING MAJOR STORM > 1:100 YR.

APPROVED ☐ REFUSED ☐
THIS ____ DAY OF _____, 20____
DERRICK MOODIE, ACTING MANAGER
DEVELOPMENT REVIEW, SUBURBAN SERVICES

CAUTION:
THE EXACT LOCATION OF UNDERGROUND AND OVERHEAD UTILITIES IS APPROXIMATE ONLY AND MAY BE INCOMPLETE. THE CONTRACTOR IS RESPONSIBLE TO CONTACT ALL MUNICIPAL AUTHORITIES AND UTILITY COMPANIES TO DETERMINE EXACT LOCATION OF ALL SEWERS, WATERMAINS, GAS, ELECTRICAL AND COMMUNICATIONS, CABLE TV AND OTHER UNDERGROUND INSTALLATIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROTECTION AGAINST DAMAGE OF ALL EXISTING INSTALLATIONS AND IS LIABLE FOR ALL COST SHOULD DAMAGE OCCUR.

7	NOV/16	3 rd SUBMISSION SITE PLAN (DRAFT)
6	19 APR/16	2 nd SUBMISSION SITE PLAN
5	31 MAR/16	FOR CLIENT REVIEW
4	14 MAR/16	FOR CLIENT REVIEW
3	4 MAR/16	CLIENT REVIEW
2	29 OCT/15	SITE PLAN APPLICATION
1	19 OCT/15	FOR CLIENT REVIEW
0	11 SEPT/15	FOR CLIENT REVIEW
no.	date	revision

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owner
301 PALLADIUM LTD.
4015 CARLING AVENUE, SUITE 201
KANATA, ON, K2K 2A3

project
PROPOSED COMMERCIAL BUILDING
301 PALLADIUM DRIVE
KANATA ONTARIO

drawing title
STORM DRAINAGE AREA PLAN
drawn
MarCAD
date
SEPT 2015
scale
AS NOTED
project
EA 14-288
drawing no.
SDA-3
revision no. 7

D07-12-15-0147