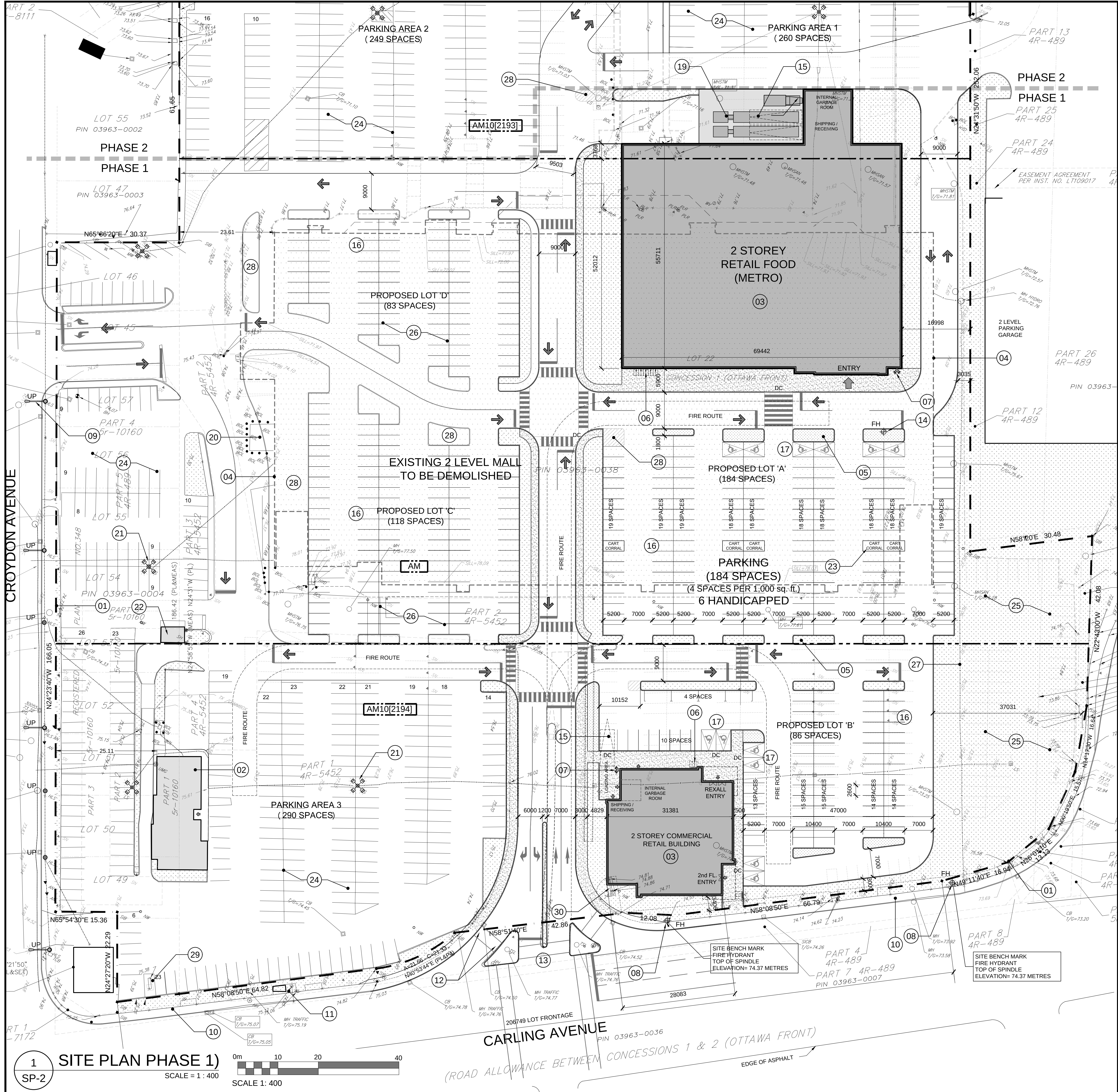




| DRAWING NOTES |                                                                                                                      |
|---------------|----------------------------------------------------------------------------------------------------------------------|
| 1             | PROPERTY LINE                                                                                                        |
| 2             | EXISTING COMMERCIAL BUILDING                                                                                         |
| 3             | PROPOSED COMMERCIAL BUILDING                                                                                         |
| 4             | EXISTING 2 LEVEL COMMERCIAL MALL TO BE REMOVED                                                                       |
| 5             | LANDSCAPE ISLAND WITH 150mm BARRIER CURB                                                                             |
| 6             | BICYCLE PARKING SPACES (0.6 x 1.8M) WITH RACK                                                                        |
| 7             | SIAMSE CONNECTION                                                                                                    |
| 8             | EXISTING FIRE HYDRANT                                                                                                |
| 9             | EXISTING UTILITY POLE - SOME WITH LIGHTS                                                                             |
| 10            | EXISTING CONCRETE SIDEWALK WITH STREET CURB                                                                          |
| 11            | EXISTING BUS STOP                                                                                                    |
| 12            | TWIS TO BE LOCATED AND INSTALLED AS PER CITY REQUIREMENTS                                                            |
| 13            | EXISTING CONTROLLED INTERSECTION TO REMAIN                                                                           |
| 14            | FIRE HYDRANT                                                                                                         |
| 15            | LOADING SPACE                                                                                                        |
| 16            | STANDARD PARKING SPACE (2.6 X 5.2 M)                                                                                 |
| 17            | BARRIER FREE PARKING SPACE (3.66 X 5.2 M)                                                                            |
| 18            | DEPRESSED CURB AND WALK                                                                                              |
| 19            | COVERED GARBAGE / LOADING BAYS                                                                                       |
| 20            | EXISTING BUILDING UTILITIES TO BE REMOVED                                                                            |
| 21            | EXISTING LIGHT STANDARD TO REMAIN                                                                                    |
| 22            | EXISTING GARBAGE ENCLOSURE                                                                                           |
| 23            | CART CORRAL                                                                                                          |
| 24            | EXISTING ASPHALT PARKING LOT TO REMAIN                                                                               |
| 25            | EXISTING ASPHALT PARKING LOT TO BE RE-GRADE AS REQUIRED. REPLACE WITH SOFT LANDSCAPING TILL FINAL PHASE IS DEVELOPED |
| 26            | TEMPORARY PARKING AREA - RE-GRADE AS REQUIRED TILL FINAL PHASE IS DEVELOPED                                          |
| 27            | REMOVE EX. UNDERGROUND UTILITIES. SEE CIVIL                                                                          |
| 28            | PAINTED ISLAND                                                                                                       |
| 29            | EXISTING COMMERCIAL SIGN TO REMAIN                                                                                   |
| 30            | EXISTING COMMERCIAL SIGN TO BE REMOVED                                                                               |

| SITE PLAN SYMBOLS |                             |
|-------------------|-----------------------------|
|                   | BUILDING OUTLINE            |
|                   | CONCRETE WALK               |
|                   | SOFT LANDSCAPING            |
|                   | BIKE RACK                   |
|                   | TWO WAY VEHICLE CIRCULATION |
|                   | MAIN ENTRANCE               |
|                   | SERVICE DOOR / FIRE EXIT    |
|                   | PROPERTY LINE               |
|                   | CHANGE IN ZONING            |
|                   | PARKING LOT LIGHTING        |

| PROJECT INFORMATION                                                                                                                                                                                      |                                                                          |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------|
| ZONING                                                                                                                                                                                                   | AM10(2193) - AM10(2194) - AM                                             |
| SITE AREA                                                                                                                                                                                                | 65,502 sq. m. (705,057) sq. ft.                                          |
| BUILDING HEIGHT                                                                                                                                                                                          | VARIES WITH MAXIMUM 30.0 M                                               |
| PROJECT STATISTICS                                                                                                                                                                                       |                                                                          |
| BUILDING HEIGHT                                                                                                                                                                                          | 11.5 M                                                                   |
| BUILDING FRONTAGE                                                                                                                                                                                        | 8.49%                                                                    |
| PARKING LOT LANDSCAPE AREA                                                                                                                                                                               | 13.70%                                                                   |
| LOADING SPACE - COMMERCIAL RETAIL FOOD                                                                                                                                                                   | 2                                                                        |
| LOADING SPACE - COMMERCIAL RETAIL                                                                                                                                                                        | 1                                                                        |
| GLAZING ALONG THE FRONTAGE                                                                                                                                                                               | 52%                                                                      |
| GROSS BUILDING - AREAS                                                                                                                                                                                   |                                                                          |
| (CITY OF OTTAWA'S DEFINITION)                                                                                                                                                                            |                                                                          |
| EXISTING AREAS                                                                                                                                                                                           |                                                                          |
| MALL - LEASABLE RETAIL                                                                                                                                                                                   | 23,203.7 sq. m. (249,763) sq. ft.                                        |
| MALL - OFFICE                                                                                                                                                                                            | 2,366.5 sq. m. (27,628) sq. ft.                                          |
| BLDG. 2 - WENDY'S                                                                                                                                                                                        | 339.7 sq. m. (3,657) sq. ft.                                             |
| BLDG. 3 - PIZZA PIZZA                                                                                                                                                                                    | 325.2 sq. m. (3,500) sq. ft.                                             |
| TOTAL AREA                                                                                                                                                                                               | 26,435.1 sq. m. (284,545) sq. ft.                                        |
| PHASE 1 AREAS                                                                                                                                                                                            |                                                                          |
| BLDG. 1 - METRO - ESTIMATE                                                                                                                                                                               | 2,630.0 sq. m. (28,310) sq. ft.                                          |
| BLDG. 2 - GROUND FL. COMMERCIAL RETAIL                                                                                                                                                                   | 753.0 sq. m. (8,105) sq. ft.                                             |
| BLDG. 2 - SECOND FL. COMMERCIAL RETAIL                                                                                                                                                                   | 899.7 sq. m. (9,710) sq. ft.                                             |
| BLDG. 3 - EXISTING WENDY'S                                                                                                                                                                               | 339.7 sq. m. (3,657) sq. ft.                                             |
| TOTAL AREA                                                                                                                                                                                               | 4,532.4 sq. m. (48,788) sq. ft.                                          |
| LOT COVERAGE                                                                                                                                                                                             |                                                                          |
| PAVED SURFACE =                                                                                                                                                                                          | 50,932 sq. m. 77.76%                                                     |
| BUILDING FOOTPRINT =                                                                                                                                                                                     | 5,554 sq. m. 8.49%                                                       |
| LANDSCAPE OPEN SPACE =                                                                                                                                                                                   | 9,016 sq. m. 13.75%                                                      |
| TOTAL =                                                                                                                                                                                                  | 65,502 sq. m. 100.0%                                                     |
| CAR PARKING                                                                                                                                                                                              |                                                                          |
| EXISTING SITE                                                                                                                                                                                            | 1,050                                                                    |
| EXISTING TOTAL ON SITE (June 2018)                                                                                                                                                                       | 1,050                                                                    |
| CAR PARKING TOTAL SITE - PHASE 1                                                                                                                                                                         |                                                                          |
| REQUIRED BY ZONING BY-LAW                                                                                                                                                                                |                                                                          |
| METRO                                                                                                                                                                                                    | 2,630.0 sq. m. (28,310) sq. ft. - AREA 'Z' NOT REQUIRED 0                |
| RETAIL - REXALL                                                                                                                                                                                          | 753.0 sq. m. (8,105) sq. ft. - AREA 'Z' NOT REQUIRED 0                   |
| RETAIL - MOORES                                                                                                                                                                                          | 899.7 sq. m. (9,710) sq. ft. - AREA 'Z' NOT REQUIRED 0                   |
| WENDY'S                                                                                                                                                                                                  | 339.7 sq. m. (3,657) sq. ft. - AREA 'Z' NOT REQUIRED 0                   |
| TOTAL                                                                                                                                                                                                    | 0                                                                        |
| PROVIDED                                                                                                                                                                                                 |                                                                          |
| EXISTING AREA '1'                                                                                                                                                                                        | 260                                                                      |
| EXISTING AREA '2'                                                                                                                                                                                        | 249                                                                      |
| EXISTING AREA '3'                                                                                                                                                                                        | 290                                                                      |
| PROPOSED LOT 'A'                                                                                                                                                                                         | 184                                                                      |
| PROPOSED LOT 'B'                                                                                                                                                                                         | 86                                                                       |
| PROPOSED LOT 'C'                                                                                                                                                                                         | 118                                                                      |
| PROPOSED LOT 'D'                                                                                                                                                                                         | 83                                                                       |
| TOTAL                                                                                                                                                                                                    | 1,270                                                                    |
| BICYCLE PARKING                                                                                                                                                                                          |                                                                          |
| REQUIRED                                                                                                                                                                                                 |                                                                          |
| METRO                                                                                                                                                                                                    | 2,630.0 sq. m. (28,310) sq. ft. - 1.0 PER 250m <sup>2</sup> OF G.F.A. 10 |
| RETAIL - REXALL                                                                                                                                                                                          | 753.0 sq. m. (8,105) sq. ft. - 1.0 PER 250m <sup>2</sup> OF G.F.A. 3     |
| RETAIL - MOORES                                                                                                                                                                                          | 899.7 sq. m. (9,710) sq. ft. - 1.0 PER 250m <sup>2</sup> OF G.F.A. 3     |
| WENDY'S                                                                                                                                                                                                  | 339.7 sq. m. (3,657) sq. ft. - 1.0 PER 250m <sup>2</sup> OF G.F.A. 1     |
| TOTAL                                                                                                                                                                                                    | 17                                                                       |
| PROVIDED                                                                                                                                                                                                 |                                                                          |
| METRO                                                                                                                                                                                                    | 10                                                                       |
| RETAIL - REXALL                                                                                                                                                                                          | 4                                                                        |
| RETAIL - MOORES                                                                                                                                                                                          | 4                                                                        |
| WENDY'S                                                                                                                                                                                                  | 4                                                                        |
| TOTAL                                                                                                                                                                                                    | 22                                                                       |
| LEGAL DESCRIPTION                                                                                                                                                                                        |                                                                          |
| TOPOGRAPHIC PLAN OF LOTS 45, 46, 50 TO 57 INCLUSIVE AND PART OF LOT 49                                                                                                                                   |                                                                          |
| REGISTERED PLAN NO. 348 AND PART OF LOT 48, REGISTERED PLAN NO. 311 AND PART OF LOTS 22 & 23                                                                                                             |                                                                          |
| CONCESSION 1 (OTTAWA FRONT) (GEOGRAPHIC TOWNSHIP OF NEPEAN) CITY OF OTTAWA                                                                                                                               |                                                                          |
| SURVEYOR                                                                                                                                                                                                 |                                                                          |
| <b>Stantec</b><br>1331 Clyde Avenue, Suite 400<br>Ottawa ON K2C 3G4<br>Phone: (613) 724-4096<br>Cell: (613) 762-7068<br>E-Mail: BWebster@stantec.com                                                     |                                                                          |
| LANDSCAPE ARCHITECT                                                                                                                                                                                      |                                                                          |
| <b>James B. Lennox &amp; Associates Inc.</b><br>Landscape Architects<br>3332 Carling Ave.<br>Ottawa, Ontario K2H 5A8<br>Tel: 613-722-5168<br>Fax: 1-866-343-3942<br>Email: JL@jbla.ca                    |                                                                          |
| CIVIL ENGINEER                                                                                                                                                                                           |                                                                          |
| <b>David Schaeffer Engineering Ltd.</b><br>120 Iber Road, Unit 203<br>Stittsville, ON K2S 1E9<br>Tel: (613) 836-0856<br>Fax: (613) 836-7183<br>Email: rfrees@DSEL.ca                                     |                                                                          |
| PROJECT DEVELOPER                                                                                                                                                                                        |                                                                          |
| <b>RioCan</b><br><b>Real Estate Investment Trust</b><br>2300 Yonge Street, Suite 500,<br>Toronto Ontario M4P 1E4<br>Tel: 416-866-3033; 1-800-465-2733<br>Fax: 416-866-3020<br>E-Mail: Ctruong@riocan.com |                                                                          |
| URBAN PLANNER                                                                                                                                                                                            |                                                                          |
| <b>FoTenn Consultants Inc.</b><br>223 McLeod Street<br>Ottawa, ON Canada, K2P 0Z8<br>Tel: (613) 730-5709<br>Fax: (613) 730-1136<br>E-Mail: morris@fotenn.com                                             |                                                                          |

| IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT. |                                                                               |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|
| ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.                                                                                             |                                                                               |
| THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.                                                                                  |                                                                               |
| DO NOT SCALE DRAWINGS.                                                                                                                                        |                                                                               |
| COPYRIGHT RESERVED.                                                                                                                                           |                                                                               |
| NOTATION SYMBOLS:                                                                                                                                             |                                                                               |
|                                                                                                                                                               | INDICATES DRAWING NOTES, LISTED ON EACH SHEET.                                |
|                                                                                                                                                               | INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.                |
|                                                                                                                                                               | INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES. |
|                                                                                                                                                               | INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.       |
|                                                                                                                                                               | DETAIL NUMBER                                                                 |
|                                                                                                                                                               | TITLE                                                                         |
|                                                                                                                                                               | DETAIL REFERENCE PAGE                                                         |
|                                                                                                                                                               | DETAIL CROSS REFERENCE PAGE                                                   |

|                                                                                                                                                               |              |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|
| ARCHITECT SEAL:                                                                                                                                               | NORTH ARROW: |
|                                                                                                                                                               |              |
| SEAL DATE: STAMP DATE                                                                                                                                         |              |
| CLIENT:                                                                                                                                                       |              |
| <b>RIO CAN</b><br>REAL ESTATE INVESTMENT TRUST                                                                                                                |              |
| ARCHITECT:                                                                                                                                                    |              |
| <b>rla / architecture</b><br>roderick lahey architect inc.<br>56 beech street, ottawa, ontario K1S 3J6<br>t: 613.724.9932 f: 613.724.1209 rla@architecture.ca |              |
| PROJECT TITLE:                                                                                                                                                |              |
| LINCOLN FIELDS<br>2525 CARLING AVENUE                                                                                                                         |              |
| OTTAWA ONTARIO                                                                                                                                                |              |
| SHEET TITLE:                                                                                                                                                  |              |
| SITE PLAN<br>PHASE #1                                                                                                                                         |              |
| DRAWN:                                                                                                                                                        | CHECKED:     |
| RV                                                                                                                                                            | RV           |
| SCALE:                                                                                                                                                        | SHEET NO.    |
| 1:400                                                                                                                                                         |              |
| PROJECT NO:                                                                                                                                                   |              |
| 1803                                                                                                                                                          |              |