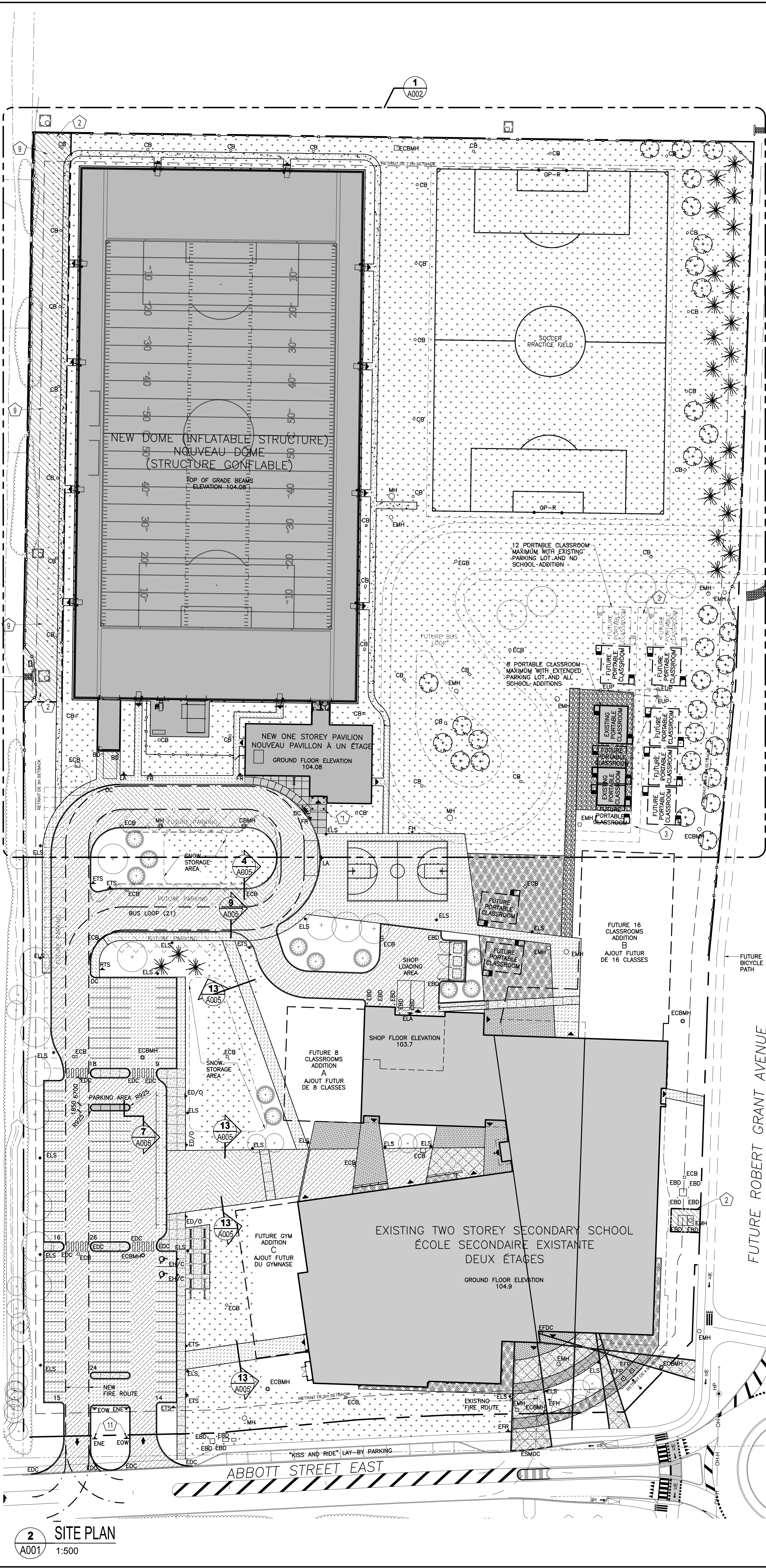
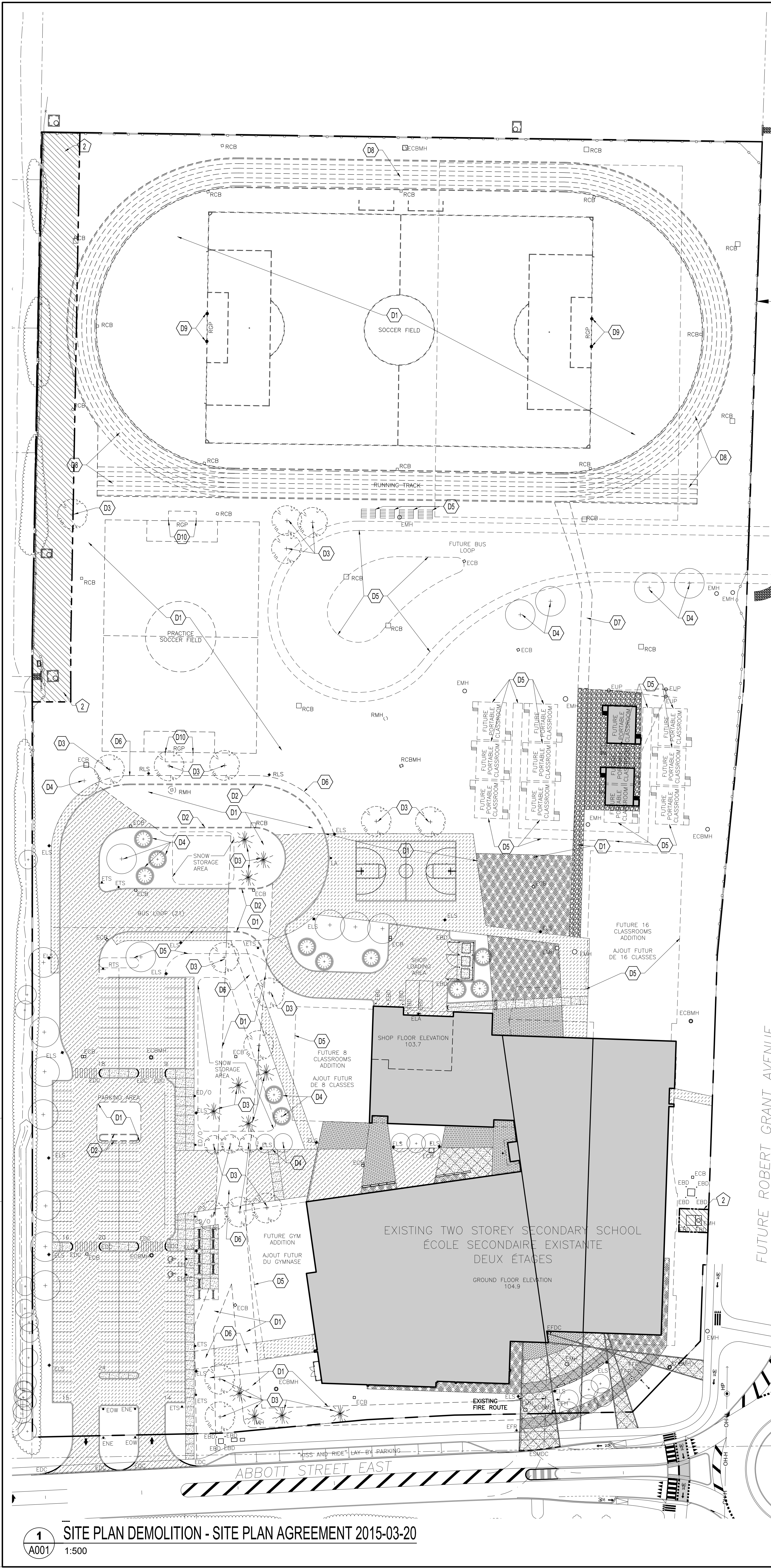




# EXISTING SCHOOL + 12 PORTABLES + FOOTBALL DOME

| SITE DATA                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                         |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| FOOTPRINT                                                                                                                                                                                                                                                       | EXISTING SCHOOL FOOTPRINT 7,151.6 m <sup>2</sup><br>FUTURE 12 PORTABLES FOOTPRINT 804.0 m <sup>2</sup><br>NEW FOOTBALL DOME FOOTPRINT 10,166.0 m <sup>2</sup><br>TOTAL FOOTPRINT 18,795.4 m <sup>2</sup>                                                                                |
| GROSS FLOOR AREA                                                                                                                                                                                                                                                | (AS PER CITY OF OTTAWA ZONING BY-LAW DEFINITION)<br>EXISTING SCHOOL GROSS FLOOR AREA 6,707.9 m <sup>2</sup><br>FUTURE 12 PORTABLES GROSS FLOOR AREA 804.0 m <sup>2</sup><br>NEW FOOTBALL DOME GROSS FLOOR AREA 9,927.8 m <sup>2</sup><br>TOTAL GROSS FLOOR AREA 17,460.1 m <sup>2</sup> |
| TOPOGRAPHICAL AND SURVEY INFORMATION PROVIDED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD. (613)727-0850 FAX (613)727-1079<br>Job No: 14062-13 CEDCE P128 CH GO T F2<br>LEGAL DESCRIPTION: PART OF LOT 28, CONVESSION 11 GEOGRAPHIC TOWNSHIP OF GOULBOURN CITY OF OTTAWA |                                                                                                                                                                                                                                                                                         |

| CITY OF OTTAWA ZONING        |                                                 |
|------------------------------|-------------------------------------------------|
| REQUIRED                     | PROVIDED                                        |
| MINOR INSTITUTIONAL ZONE 11A |                                                 |
| LOT AREA                     | MIN. 400.0m <sup>2</sup> 60,101.4m <sup>2</sup> |
| LOT FRONTAGE                 | MIN. 15.0m 72.6m                                |
| LOT COVERAGE                 | MIN. 35% 31.3%                                  |
| BUILDING HEIGHT              | MAX. 15.0m (SCHOOL) 23.0m (DOME)                |
| FRONT YARD SETBACK           | MIN. 6.0m 7.5m                                  |
| REAR YARD SETBACK            | MIN. 7.5m 8.5m                                  |
| CORNER YARD SETBACK          | MIN. 3.0m 7.5m                                  |
| LANDSCAPING IN PARKING       | MIN. 15% 30.9%                                  |

| PARKING CALCULATIONS                           |                                                                                                                        |
|------------------------------------------------|------------------------------------------------------------------------------------------------------------------------|
| MOTOR VEHICLE PARKING : EXISTING SCHOOL + DOME |                                                                                                                        |
| REQUIRED                                       | 35 CLASSROOMS + 12 PORTABLES = 47 TOTAL                                                                                |
| USE                                            | No. CLASS SPACES PER SPACES REQ'D                                                                                      |
| MIDDLE SCHOOL                                  | 13 1.5/CLASS 19.5                                                                                                      |
| MIDDLE SCHOOL PORTABLES                        | 4 1.5/CLASS 6                                                                                                          |
| HIGH SCHOOL                                    | 22 3/CLASS 66                                                                                                          |
| HIGH SCHOOL PORTABLES                          | 8 3/CLASS 24                                                                                                           |
| ATHLETIC FACILITY                              | 1 SURFACE 4 SPACES                                                                                                     |
| TOTAL REQUIRED PARKING SPACES                  | 120 SPACES                                                                                                             |
| PROVIDED                                       | SPACES @ 5.2mD X 2.6mW 120 SPACES<br>BARRIER FREE SPACES @ 5.2mD X 3.67mW 2 SPACES<br>TOTAL SPACES PROVIDED 122 SPACES |

| PARKING CALCULATIONS                                      |                                                                                                                        |
|-----------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------|
| MOTOR VEHICLE PARKING : EXISTING SCHOOL + ADDITION + DOME |                                                                                                                        |
| REQUIRED                                                  | 59 CLASSROOMS + 8 PORTABLES = 64 TOTAL                                                                                 |
| USE                                                       | No. CLASS SPACES PER SPACES REQ'D                                                                                      |
| MIDDLE SCHOOL                                             | 20 1.5/CLASS 30                                                                                                        |
| MIDDLE SCHOOL PORTABLES                                   | 3 1.5/CLASS 4.5                                                                                                        |
| HIGH SCHOOL                                               | 39 3/CLASS 117                                                                                                         |
| HIGH SCHOOL PORTABLES                                     | 5 3/CLASS 15                                                                                                           |
| ATHLETIC FACILITY                                         | 1 SURFACE 4/SURFACE 4                                                                                                  |
| TOTAL REQUIRED PARKING SPACES                             | 171 SPACES                                                                                                             |
| PROVIDED                                                  | SPACES @ 5.2mD X 2.6mW 173 SPACES<br>BARRIER FREE SPACES @ 5.2mD X 3.67mW 2 SPACES<br>TOTAL SPACES PROVIDED 175 SPACES |

| GENERAL NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |  |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| 1. EXTENT OF CONTRACT IS LIMITED TO WITHIN PROPERTY EXCEPT WHERE SHOWN OTHERWISE.<br>2. ALL WORK OUTSIDE PROPERTY LINE TO BE CONSTRUCTED TO CITY OF OTTAWA CONSTRUCTION STANDARDS.<br>3. PARKING STALL SIZE: 5.2m x 3.67m + 520mm BARRIER FREE PARKING STALL: 3000mm x 5200mm<br>4. FOR LANDSCAPE/PLANTING DETAILS SEE DRAWING AS PREPARED BY JBLA.<br>5. FOR SITE GRADING INFORMATION SEE GRADING & DRAINAGE DRAWING AS PREPARED BY WSP.<br>6. FOR SITE SERVICES INFORMATION SEE SITE SERVICES DRAWING AS PREPARED BY WSP.<br>7. FOR SOIL INVESTIGATION REPORT REFER TO REPORT PREPARED BY ENV SERVICES, PROJECT NUMBER OT-20024239-AD.<br>8. SLOPES OF CONCRETE/PAVING AT DEPRESSION CURBS SHALL NOT EXCEED 5%.<br>9. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS TO THE ARCHITECT. CONTRACTOR TO COORDINATE WITH ALL DRAWINGS.<br>10. FOR SITE SURVEY INFORMATION, SEE TOPOLOGICAL SURVEY DRAWING PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD. |  |

| SITE PLAN NOTES |                                                                                                                                           |
|-----------------|-------------------------------------------------------------------------------------------------------------------------------------------|
| 1               | CANOPY OR 2nd FLOOR ABOVE.                                                                                                                |
| 2               | EXISTING EASEMENT.                                                                                                                        |
| 11              | NEW 30x30x10mm TRAFFIC SIGN ON EXISTING POST, WORKING TO BE CONFIRMED BY CLIENT.<br>REFER TO DRAWING A002 FOR ADDITIONAL SITE PLAN NOTES. |

| GENERAL DEMOLITION NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |  |
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| 1. EXTENT OF CONTRACT IS LIMITED WITHIN PROPERTY EXCEPT WHERE NOTED OTHERWISE.<br>2. FOR ADDITIONAL DEMOLITION INFORMATION REFER TO DEMOLITION DRAWINGS AND SPECIFICATIONS PREPARED BY ARCHITECTURAL, LANDSCAPING, STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL ENGINEERS DRAWINGS AND SPECIFICATIONS.<br>3. REFER TO LANDSCAPING DRAWINGS PREPARED BY JAMES B. LENNOX & ASSOCIATES FOR EXISTING LANDSCAPING REMOVAL.<br>4. LOCATION OF UTILITIES IS PROVIDED FOR INFORMATION ONLY. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND AND ABOVE GROUND UTILITIES. UTILITIES AS SHOWN ARE FOR INFORMATION ONLY.<br>5. CONTRACTOR TO EXAMINE THE SITE AND ASSESS ALL CONDITIONS WHICH MAY AFFECT THE WORK PRIOR TO SUBMITTING FINAL TENDER BID.<br>6. PRIOR TO DEMOLITION, PREPARE A WASTE AUDIT (WA) AND A WASTE REDUCTION WORKPLAN (WRW) AS REQUIRED BY SR'S REGULATION O. RES. 102/04. DURING DEMOLITION IMPLEMENT A MATERIAL SOURCE SEPARATION (MSSP) PROGRAM, AS REQUIRED BY THE SR'S REGULATION O. RES. 103/04.<br>7. CONTROL DUST AND NOISE TO MINIMIZE DUST PLUME AND REDUCE NOISE BEYOND DECONSTRUCTION CONSTRUCTION SITE. BY PROVIDING APPROPRIATE MITIGATION MEASURES (E.G. TEMPORARY ENCLOSURES, USE OF DUST AND NOISE SUPPRESSION DURING DECONSTRUCTION WORK). ADHERE TO ALL APPLICABLE CITY OF OTTAWA BY-LAWS AND PROVINCIAL REGULATION.<br>8. PROVIDE TEMPORARY CONSTRUCTION FENCING, BARRIERS, SIGNAGE, FLAGMEN AND OTHER FORMS OF PROTECTION AROUND THE PERIMETER OF THE DECONSTRUCTION SITE AS NECESSARY TO PROTECT THE WORKERS AND PUBLIC FROM INJURY DUE TO WORK PERFORMED. |  |

| SITE DEMOLITION NOTES |                                                                                                                                               |
|-----------------------|-----------------------------------------------------------------------------------------------------------------------------------------------|
| D1                    | REMOVE EXISTING ASPHALT PAVING (INCLUDING GRANULAR BASE), SAND AND EXISTING GRASS, TOPSOIL, AS INDICATED AND AS REQUIRED FOR NEW CONSTRUCTION |
| D2                    | REMOVE EXISTING CONCRETE CURB                                                                                                                 |
| D3                    | EXISTING TREE TO BE REMOVED, REFER TO LANDSCAPE                                                                                               |
| D4                    | EXISTING TREE TO REMAIN, PROVIDE TEMPORARY TREE PROTECTION FENCE AS PER DETAIL 22/A005, ALSO REFER TO LANDSCAPE DRAWING                       |
| D5                    | FUTURE ITEM SHOWN ON SITE PLAN CONTROL DRAWINGS                                                                                               |
| D6                    | REMOVE EXISTING ASPHALT SIDEWALK                                                                                                              |
| D7                    | REMOVE EXISTING CRUSHED STONE PATH                                                                                                            |
| D8                    | REMOVE EXISTING STONE DUST RUNNING TRACK AND EDGING                                                                                           |
| D9                    | REMOVE AND RELOCATE EXISTING GOAL POST, OUT GOAL POST FLUSH WITH TOP OF FOUNDATION, REMOVE FOUNDATION                                         |
| D10                   | REMOVE EXISTING GOAL POST, OUT GOAL POST FLUSH WITH TOP OF FOUNDATION AND TURN OVER TO OWNER, REMOVE FOUNDATION                               |

| LEGEND (CONT'D) |                                                                   |
|-----------------|-------------------------------------------------------------------|
|                 | EXISTING TREES TO BE REMOVED OR TRANSPLANTED (REFER TO LANDSCAPE) |
|                 | NEW TREES (REFER TO LANDSCAPE)                                    |

# EXISTING SCHOOL + ADDITIONS + 8 PORTABLES + FOOTBALL DOME

| SITE DATA                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                       |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| FOOTPRINT                                                                                                                                                                                                                                                       | SCHOOL W/ ADDITIONS FOOTPRINT 9,703.1 m <sup>2</sup><br>8 PORTABLES FOOTPRINT 823.6 m <sup>2</sup><br>FOOTBALL DOME FOOTPRINT 10,166.0 m <sup>2</sup><br>TOTAL FOOTPRINT 21,032.1 m <sup>2</sup>                                                      |
| GROSS FLOOR AREA                                                                                                                                                                                                                                                | (AS PER CITY OF OTTAWA ZONING BY-LAW DEFINITION)<br>SCHOOL W/ ADDITIONS GFA 9,703.1 m <sup>2</sup><br>8 PORTABLES GFA 823.6 m <sup>2</sup><br>FOOTBALL DOME GROSS FLOOR AREA 9,927.8 m <sup>2</sup><br>TOTAL GROSS FLOOR AREA 20,586.9 m <sup>2</sup> |
| TOPOGRAPHICAL AND SURVEY INFORMATION PROVIDED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD. (613)727-0850 FAX (613)727-1079<br>Job No: 14062-13 CEDCE P128 CH GO T F2<br>LEGAL DESCRIPTION: PART OF LOT 28, CONVESSION 11 GEOGRAPHIC TOWNSHIP OF GOULBOURN CITY OF OTTAWA |                                                                                                                                                                                                                                                       |

| CITY OF OTTAWA ZONING        |                                                 |
|------------------------------|-------------------------------------------------|
| REQUIRED                     | PROVIDED                                        |
| MINOR INSTITUTIONAL ZONE 11A |                                                 |
| LOT AREA                     | MIN. 400.0m <sup>2</sup> 60,101.4m <sup>2</sup> |
| LOT FRONTAGE                 | MIN. 15.0m 72.6m                                |
| LOT COVERAGE                 | MIN. 35% 31.3%                                  |
| BUILDING HEIGHT              | MAX. 15.0m (SCHOOL) 23.0m (DOME)                |
| FRONT YARD SETBACK           | MIN. 6.0m 7.5m                                  |
| REAR YARD SETBACK            | MIN. 7.5m 8.5m                                  |
| CORNER YARD SETBACK          | MIN. 3.0m 7.5m                                  |
| LANDSCAPING IN PARKING       | MIN. 15% 42.5%                                  |

| PARKING CALCULATIONS                                      |                                                                                                                        |
|-----------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------|
| MOTOR VEHICLE PARKING : EXISTING SCHOOL + ADDITION + DOME |                                                                                                                        |
| REQUIRED                                                  | 59 CLASSROOMS + 8 PORTABLES = 64 TOTAL                                                                                 |
| USE                                                       | No. CLASS SPACES PER SPACES REQ'D                                                                                      |
| MIDDLE SCHOOL                                             | 20 1.5/CLASS 30                                                                                                        |
| MIDDLE SCHOOL PORTABLES                                   | 3 1.5/CLASS 4.5                                                                                                        |
| HIGH SCHOOL                                               | 39 3/CLASS 117                                                                                                         |
| HIGH SCHOOL PORTABLES                                     | 5 3/CLASS 15                                                                                                           |
| ATHLETIC FACILITY                                         | 1 SURFACE 4/SURFACE 4                                                                                                  |
| TOTAL REQUIRED PARKING SPACES                             | 171 SPACES                                                                                                             |
| PROVIDED                                                  | SPACES @ 5.2mD X 2.6mW 173 SPACES<br>BARRIER FREE SPACES @ 5.2mD X 3.67mW 2 SPACES<br>TOTAL SPACES PROVIDED 175 SPACES |

| PARKING CALCULATIONS                                      |                                                                                                                        |
|-----------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------|
| MOTOR VEHICLE PARKING : EXISTING SCHOOL + ADDITION + DOME |                                                                                                                        |
| REQUIRED                                                  | 59 CLASSROOMS + 8 PORTABLES = 64 TOTAL                                                                                 |
| USE                                                       | No. CLASS SPACES PER SPACES REQ'D                                                                                      |
| MIDDLE SCHOOL                                             | 20 1.5/CLASS 30                                                                                                        |
| MIDDLE SCHOOL PORTABLES                                   | 3 1.5/CLASS 4.5                                                                                                        |
| HIGH SCHOOL                                               | 39 3/CLASS 117                                                                                                         |
| HIGH SCHOOL PORTABLES                                     | 5 3/CLASS 15                                                                                                           |
| ATHLETIC FACILITY                                         | 1 SURFACE 4/SURFACE 4                                                                                                  |
| TOTAL REQUIRED PARKING SPACES                             | 171 SPACES                                                                                                             |
| PROVIDED                                                  | SPACES @ 5.2mD X 2.6mW 173 SPACES<br>BARRIER FREE SPACES @ 5.2mD X 3.67mW 2 SPACES<br>TOTAL SPACES PROVIDED 175 SPACES |

| GENERAL NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |  |
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| SITE PLAN NOTES |                                                                                                                                           |
|-----------------|-------------------------------------------------------------------------------------------------------------------------------------------|
| 1               | CANOPY OR 2nd FLOOR ABOVE.                                                                                                                |
| 2               | EXISTING EASEMENT.                                                                                                                        |
| 11              | NEW 30x30x10mm TRAFFIC SIGN ON EXISTING POST, WORKING TO BE CONFIRMED BY CLIENT.<br>REFER TO DRAWING A002 FOR ADDITIONAL SITE PLAN NOTES. |

| GENERAL DEMOLITION NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |  |
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| SITE DEMOLITION NOTES |                                                                                                                                               |
|-----------------------|-----------------------------------------------------------------------------------------------------------------------------------------------|
| D1                    | REMOVE EXISTING ASPHALT PAVING (INCLUDING GRANULAR BASE), SAND AND EXISTING GRASS, TOPSOIL, AS INDICATED AND AS REQUIRED FOR NEW CONSTRUCTION |
| D2                    | REMOVE EXISTING CONCRETE CURB                                                                                                                 |
| D3                    | EXISTING TREE TO BE REMOVED, REFER TO LANDSCAPE                                                                                               |
| D4                    | EXISTING TREE TO REMAIN, PROVIDE TEMPORARY TREE PROTECTION FENCE AS PER DETAIL 22/A005, ALSO REFER TO LANDSCAPE DRAWING                       |
| D5                    | FUTURE ITEM SHOWN ON SITE PLAN CONTROL DRAWINGS                                                                                               |
| D6                    | REMOVE EXISTING ASPHALT SIDEWALK                                                                                                              |
| D7                    | REMOVE EXISTING CRUSHED STONE PATH                                                                                                            |
| D8                    | REMOVE EXISTING STONE DUST RUNNING TRACK AND EDGING                                                                                           |
| D9                    | REMOVE AND RELOCATE EXISTING GOAL POST, OUT GOAL POST FLUSH WITH TOP OF FOUNDATION, REMOVE FOUNDATION                                         |
| D10                   | REMOVE EXISTING GOAL POST, OUT GOAL POST FLUSH WITH TOP OF FOUNDATION AND TURN OVER TO OWNER, REMOVE FOUNDATION                               |

| LEGEND (CONT'D) |                                                                   |
|-----------------|-------------------------------------------------------------------|
|                 | EXISTING TREES TO BE REMOVED OR TRANSPLANTED (REFER TO LANDSCAPE) |
|                 | NEW TREES (REFER TO LANDSCAPE)                                    |

CONSEIL DES ÉCOLES CATHOLIQUES DU CENTRE-EST  
Le meilleur conseil qu'on puisse vous donner

APPROVED ☐ REFUSED ☐

THIS DAY OF 20

DERRICK MOODIE  
MANAGER, DEVELOPMENT REVIEW - WEST,  
PLANNING, INFRASTRUCTURE & ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

4 0 2018/06/08 REISSUED FOR SITE PLAN CONTROL

3 0 2018/04/07 ISSUED FOR BUILDING PERMIT

2 1 2018/03/08 REISSUED FOR SITE PLAN CONTROL

2 0 2018/02/05 ISSUED FOR SITE PLAN CONTROL

1 0 2017/11/08 ISSUED FOR INFORMATION (DOME/TURF TENDER)

LES IDÉES, CONCEPTS, DISPOSITIONS, ET PLANS MONTRÉS OU REPRÉSENTÉS PAR CE Dessin Appartiennent À EDWARD J. CUHACI AND ASSOCIATES ARCHITECTS INC. ET ONT ÉTÉ CRÉÉS, ET DÉVELOPPÉS POUR ÊTRE UTILISÉS DANS LE CADRE DU PRÉSENT PROJET. ILS NE DOIVENT PAS ÊTRE UTILISÉS À D'AUTRES FINS NI COMMUNIQUÉS À QUI QUE CE SOIT SANS LA PERMISSION ÉCRITE DE EDWARD J. CUHACI AND ASSOCIATES ARCHITECTS INC.

L'ARCHITECTE DÉCLINE TOUTE RESPONSABILITÉ DÉCOULANT DE PROBLÈMES FAISANT SUITE AU NON RESPECT DES PLANS ET DEVIS OU DE L'INTENTION DU CONCEPT QU'ILS TRANSMETTES, OU DE TOUTES PROBLÈMES POUVANT RÉSULTER DU DÉFAUT DE TIERS D'OBTENIR OU DE SUIVRE LES INSTRUCTIONS DE L'ARCHITECTE RELATIVEMENT AUX ERREURS, OMISSIONS, INCOHÉRENCES, AMBIGUITÉS OU CONTRADICTIONS ALLEGUÉS.

L'ENTREPRENEUR DOIT VÉRIFIER TOUTES LES DIMENSIONS SUR PLACE ET INFORMER L'ARCHITECTE DE TOUT ÉCART AVANT LE DÉBUT DES TRAVAUX. NE PAS MESURER LES DESSINS À L'ÉCHELLE.

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF EDWARD J. CUHACI AND ASSOCIATES INC. AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF EDWARD J. CUHACI AND ASSOCIATES INC.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS

TRUE NORTH PLAN NORTH

ONTARIO ASSOCIATION OF ARCHITECTS  
1915  
L1915

EDWARD J. CUHACI & ASSOCIATES ARCHITECTS INC.  
1111 St. Lawrence, Suite 101, Ottawa, Ontario, K1P 1G1  
Tel: (613) 238-5888 Fax: (613) 238-7135 E-mail: info@edwardjcuhi.com

PROJET TITULAIRE DU PROJET  
ÉCOLE SECONDAIRE CATHOLIQUE PAUL-DESMARAIS - DOME  
5315 ABBOTT STREET  
OTTAWA, ON

CONSEIL DES ÉCOLES CATHOLIQUES DU CENTRE-EST  
4000, RUE LABELLE, OTTAWA, ON K1J 1A1

DRAWING TITULAIRE DU DESSIN  
SITE PLAN

SCALE: 1:500 PROJ: 1714 ISSUE: REV: 4 0

DRAWN BY: S.R. DRAWING/DESIGN

CHECKED BY: J.J.

DATE: JULY 2017 ACAD FILE/DESSIN: 1714-A001.DWG

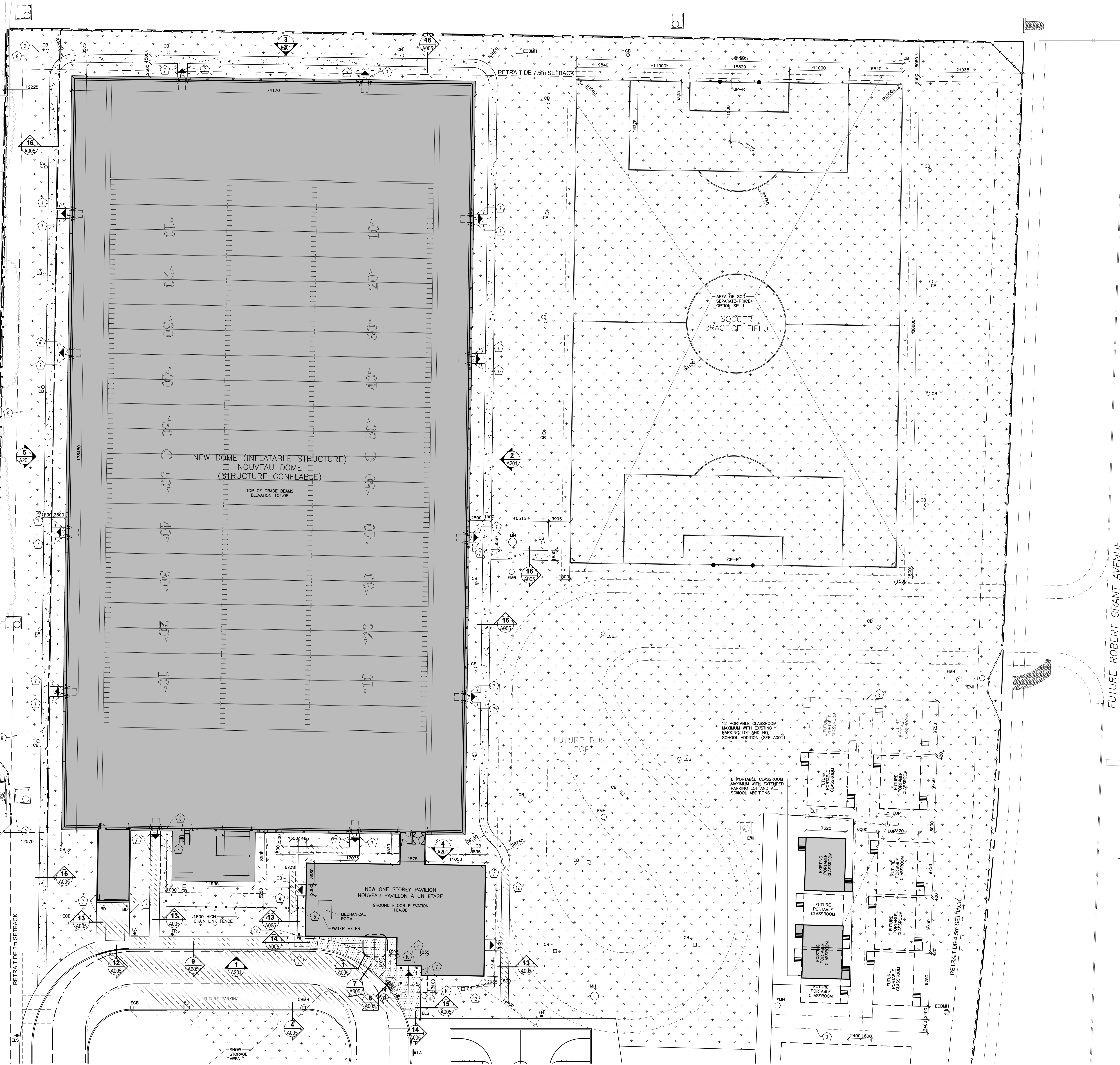
**A001**



Print Date: 09/02/2018 10:01:18 AM Time: 1:28:17 PM Plot By: JAL/DAW  
Plot Stamp For LSC Use Only  
Page Status: -----  
Printer: 2005 to PDF (2/3)

**1**  
A002

**ENLARGED SITE PLAN**  
1:250



#### LEGEND

- Barrier Free Parking
- Building Entrance/Exit
- EBD Existing Bollard to Remain
- BD New Bollard, Refer to Detail 5/A005
- Curb
- EDC Existing Depressed Curb to Remain
- DC New Depressed Curb
- ESMDC SEM-Mountable Depressed Curb
- Existing Chain Link Fence to Remain
- New Vinyl Coated Chain Link Fence
- Road Center Line
- Fire Route
- Set Back Line
- Property Lot Line
- Easement Boundary
- FR Fire Route Sign (Every 25 Metres)
- EFR Existing Fire Route Sign to Remain
- EH/C Existing Handicapped Parking Sign to Remain
- ED/O Existing Drop-Off Sign to Remain
- EW Existing One Way Sign to Remain
- ENE Existing No Entry Sign to Remain
- ELA Existing Loading Area Sign to Remain
- LA New Loading Area Sign
- ETS Existing Misc. Traffic Sign to Remain
- RTS Relocate Existing Misc. Traffic Sign
- GP-R Relocated Existing Goal Posts See Detail 11/A005
- ELS Existing Light Standard to Remain
- SIB Iron Bar (Refer to Survey)
- EFDC Existing Fire Department Connection to Remain
- FDC New Fire Department Connection (Refer to Mechanical)
- EFH Existing Fire Hydrant to Remain
- PH New Fire Hydrant (Refer to Civil)
- EMH Existing Man Hole to Remain
- MH New Man Hole (Refer to Civil)
- ECB Existing Catch Basin to Remain
- CB New Catch Basin (Refer to Civil)
- EFP Existing Flag Pole to Remain
- Existing to Remain
- Type 1 Asphalt - Heavy Duty (Refer to Spec.)
- Type 2 Asphalt - Light Duty (Refer to Spec.)
- Concrete Walk
- Crushed Stone Pathway
- New Grass (Refer to Landscape)

#### SITE PLAN NOTES

- Canopy or 2nd floor above.
- Existing easement.
- Future crushed stone pathway.
- New 1500mm wide gate in chain link fence. Refer to detail 2/A005.
- Chain link fence cantilevered end section. Refer to detail 3/A005.
- Curb ramp with flared sides and detectable hazard indicator, constructed to City of Ottawa Detail SC7. Pedestrian curb ramp with boulevard. See detail 18/A005 and specifications.
- Align with building foundation.
- Automatic door operator bollard, refer to detail 6/A005.
- Existing berm in easement.
- Extent of 100mm paving insulation. See detail 6/A220.
- New traffic sign on existing post, working to be confirmed by owner.
- Foundation insulation and perimeter drainage see detail 6/A232.



APPROVED ☐ REFUSED ☐  
THIS DAY OF 20

DERRICK MOODIE  
MANAGER, DEVELOPMENT REVIEW - WEST,  
PLANNING, INFRASTRUCTURE & ECONOMIC  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

| NO. | REV. | DATE       | ISSUE                        |
|-----|------|------------|------------------------------|
| 4   | 0    | 2018/04/04 | ISSUED FOR SITE PLAN CONTROL |
| 3   | 0    | 2018/04/07 | ISSUED FOR BUILDING PERMIT   |
| 2   | 1    | 2018/03/06 | ISSUED FOR SITE PLAN CONTROL |
| 2   | 0    | 2018/02/06 | ISSUED FOR SITE PLAN CONTROL |
| 1   | 0    | 2017/07/24 | ISSUED FOR INFORMATION       |

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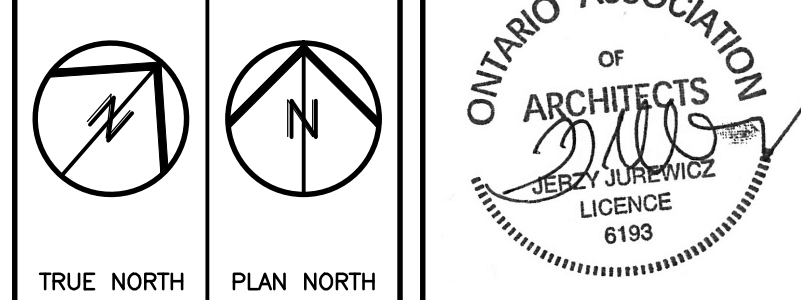
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CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS



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1111 Glenora Dr. Suite 100, Ottawa, Ontario, K1H 9H7  
Tel: (613) 236-1944 Fax: (613) 236-1718 E-mail: info@ejc.com

PROJET/TITLE/TITRE DU PROJET  
ÉCOLE SECONDAIRE CATHOLIQUE  
PAUL-DESMARAIS - DÔME  
5315 ABBOTT STREET  
OTTAWA, ON

CONSEIL DES ÉCOLES CATHOLIQUES  
DU CENTRE-EST  
4000, RUE LABELLE, OTTAWA, ON K1J 1A1

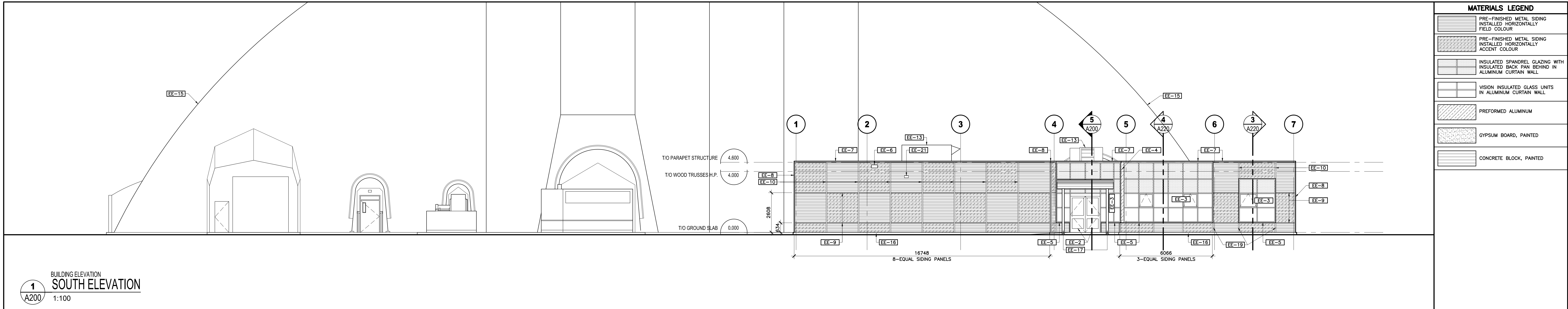
DRAWING/TITLE/TITRE DU DESSIN

**ENLARGED SITE PLAN**

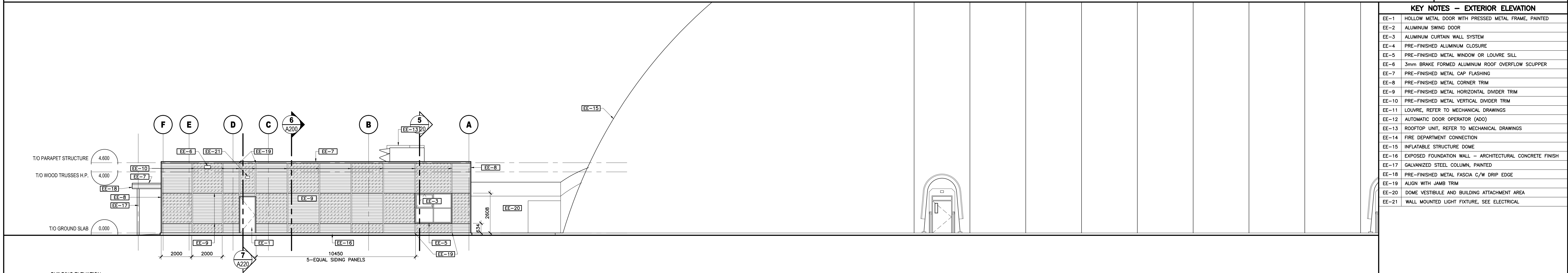
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| DRAWN BY<br>Dessiné PAR   | S.R.      | DRAWING/DESSIN   |               | 4         | 0        |
| CHECKED BY<br>Vérifié PAR | J.J.      |                  |               |           |          |
| DATE                      | JULY 2017 | ACAD FILE/FICHER | 1714-A002.DWG |           |          |

**A002**

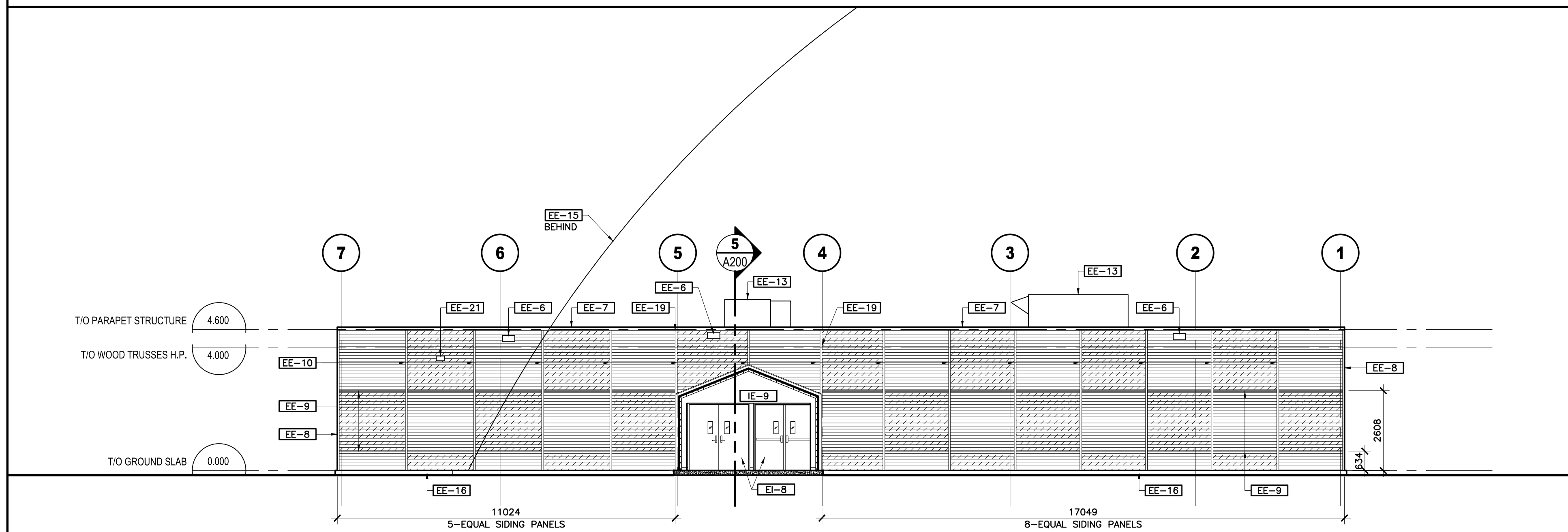




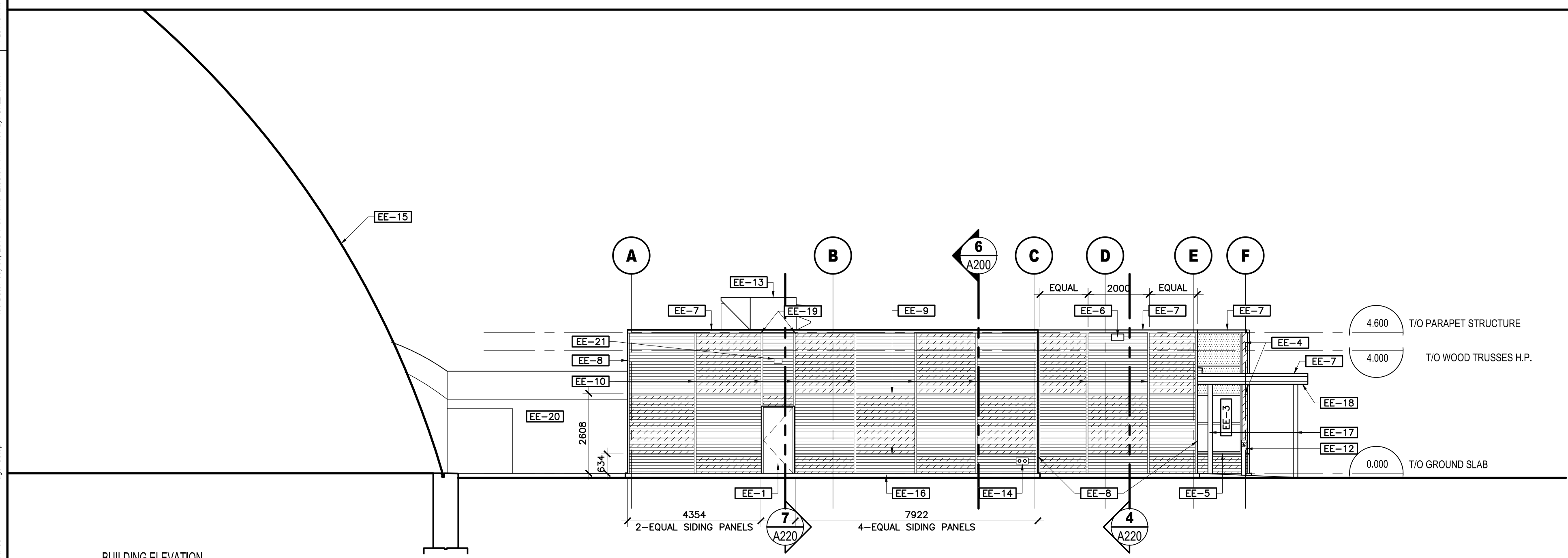
**1**  
A200  
BUILDING ELEVATION  
SOUTH ELEVATION  
1:100



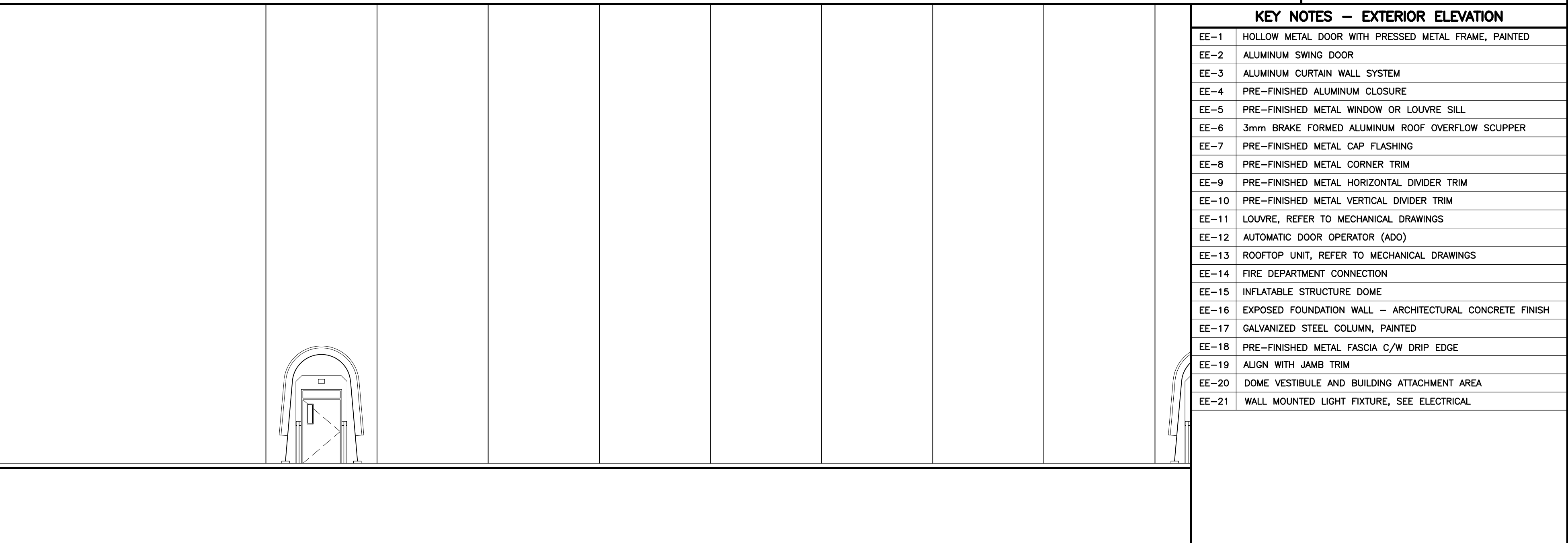
**2**  
A200  
BUILDING ELEVATION  
EAST ELEVATION  
1:100



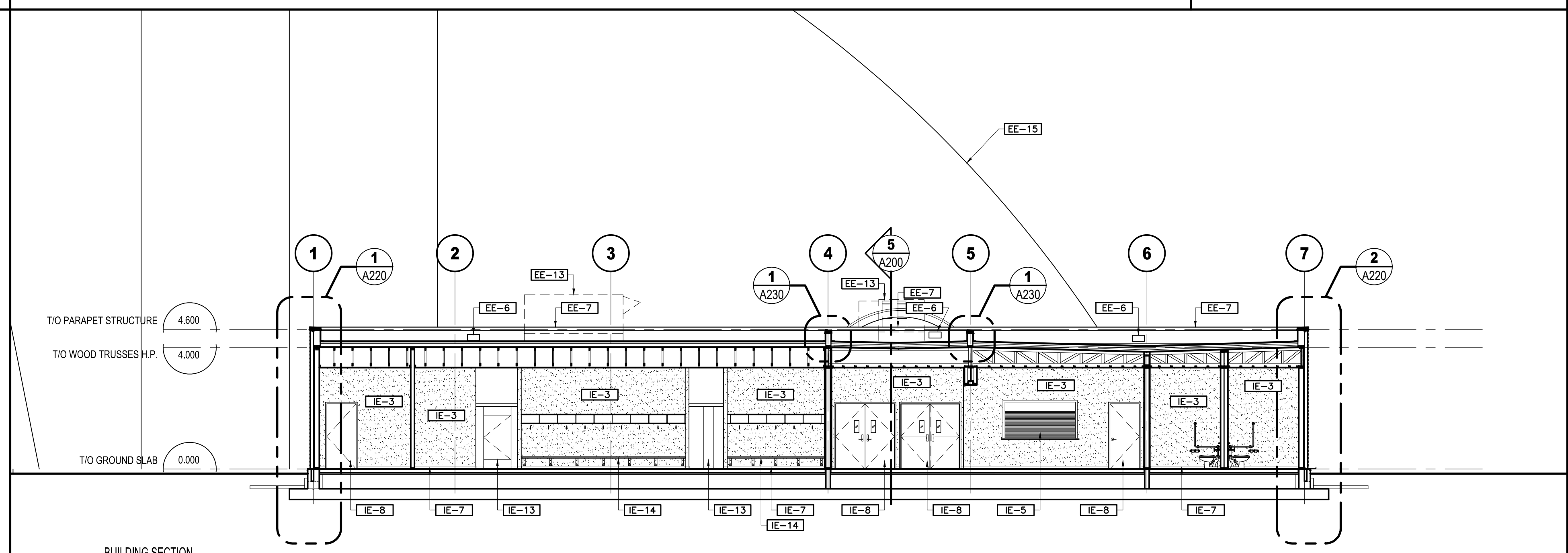
**3**  
A200  
BUILDING ELEVATION  
NORTH ELEVATION - PAVILION  
1:100



**4**  
A200  
BUILDING ELEVATION  
WEST ELEVATION - PAVILION  
1:100



**5**  
A200  
BUILDING SECTION  
BUILDING SECTION - WEST  
1:100



**6**  
A200  
BUILDING SECTION  
BUILDING SECTION - NORTH  
1:100

| MATERIALS LEGEND |                                                                                          |
|------------------|------------------------------------------------------------------------------------------|
|                  | PRE-FINISHED METAL SIDING<br>INSTALLED HORIZONTALLY<br>FIELD COLOUR                      |
|                  | PRE-FINISHED METAL SIDING<br>INSTALLED HORIZONTALLY<br>ACCENT COLOUR                     |
|                  | INSULATED SPANDREL GLAZING WITH<br>INSULATED BACK PAN BEHIND IN<br>ALUMINUM CURTAIN WALL |
|                  | VISION INSULATED GLASS UNITS<br>IN ALUMINUM CURTAIN WALL                                 |
|                  | PREFORMED ALUMINUM                                                                       |
|                  | GYPSUM BOARD, PAINTED                                                                    |
|                  | CONCRETE BLOCK, PAINTED                                                                  |

| KEY NOTES -- EXTERIOR ELEVATION |                                                          |
|---------------------------------|----------------------------------------------------------|
| EE-1                            | HOLLOW METAL DOOR WITH PRESSED METAL FRAME, PAINTED      |
| EE-2                            | ALUMINUM SWING DOOR                                      |
| EE-3                            | ALUMINUM CURTAIN WALL SYSTEM                             |
| EE-4                            | PRE-FINISHED ALUMINUM CLOSURE                            |
| EE-5                            | PRE-FINISHED METAL WINDOW OR LOUVER SILL                 |
| EE-6                            | 3mm BRAKE FORMED ALUMINUM ROOF OVERFLOW SCUPPER          |
| EE-7                            | PRE-FINISHED METAL CAP FLASHING                          |
| EE-8                            | PRE-FINISHED METAL CORNER TRIM                           |
| EE-9                            | PRE-FINISHED METAL HORIZONTAL DIVIDER TRIM               |
| EE-10                           | PRE-FINISHED METAL VERTICAL DIVIDER TRIM                 |
| EE-11                           | LOUVER, REFER TO MECHANICAL DRAWINGS                     |
| EE-12                           | AUTOMATIC DOOR OPERATOR (ADO)                            |
| EE-13                           | ROOFTOP UNIT, REFER TO MECHANICAL DRAWINGS               |
| EE-14                           | FIRE DEPARTMENT CONNECTION                               |
| EE-15                           | INFLATABLE STRUCTURE DOME                                |
| EE-16                           | EXPOSED FOUNDATION WALL -- ARCHITECTURAL CONCRETE FINISH |
| EE-17                           | GALVANIZED STEEL COLUMN, PAINTED                         |
| EE-18                           | PRE-FINISHED METAL FASCIA C/W DRIP EDGE                  |
| EE-19                           | ALIGN WITH JAMB TRIM                                     |
| EE-20                           | DOME VESTIBULE AND BUILDING ATTACHMENT AREA              |
| EE-21                           | WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL               |

| KEY NOTES -- INTERIOR ELEVATION |                                               |
|---------------------------------|-----------------------------------------------|
| IE-1                            | NOT USED                                      |
| IE-2                            | WOOD DOOR WITH PRESSED METAL FRAME            |
| IE-3                            | GYPSUM BOARD, PAINTED                         |
| IE-4                            | CONCRETE BLOCK, PAINTED                       |
| IE-5                            | OVERHEAD COILING COUNTER SHUTTER              |
| IE-6                            | EXPOSED STRUCTURAL STEEL COLUMN, PAINT FINISH |
| IE-7                            | 100 RUBBER WALL BASE                          |
| IE-8                            | HOLLOW METAL DOOR WITH PRESSED METAL FRAME    |
| IE-9                            | DOME VESTIBULE AND BUILDING ATTACHMENT AREA   |
| IE-10                           | CURTAIN WALL WINDOW                           |
| IE-11                           | AUTOMATIC DOOR OPERATOR (ADO)                 |
| IE-12                           | WATER FOUNTAIN                                |
| IE-13                           | TOILET / SHOWER PARTITION                     |
| IE-14                           | MILLWORK CHANCE ROOM BENCH                    |

CONSEIL DES  
ÉCOLES CATHOLIQUES  
DU CENTRE-EST  
*Le meilleur conseil  
qu'on puisse vous donner*

APPROVED ☐ REFUSED ☐

THIS DAY OF , 20

DERRICK MOODIE  
MANAGER, DEVELOPMENT REVIEW - WEST,  
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DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

|   |   |            |                                |
|---|---|------------|--------------------------------|
| 3 | 0 | 2016/05/06 | REISSUED FOR SITE PLAN CONTROL |
| 2 | 0 | 2016/04/27 | ISSUED FOR BUILDING PERMIT     |
| 1 | 0 | 2016/04/06 | ISSUED FOR SITE PLAN CONTROL   |

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EDWARD J. CUHACI AND ASSOCIATES ARCHITECTS INC. ET  
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PAS ÊTRE UTILISÉS À D'AUTRES FINS NI COMMUNIQUÉS À  
AUTRUI QUE CE SOT SANS LA PERMISSION ÉCRITE DE  
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PLANS ET DEVIS OU DE L'INTENTION DU CONCEPT  
QU'ILS TRANSMETTENT, OU DE TOUTES PROBLÈMES POUVANT  
RÉSULTER DU DÉFAUT DE TIERS D'OBTENIR OU DE SUIVRE  
LES INSTRUCTIONS DE L'ARCHITECTE RELATIVEMENT AUX  
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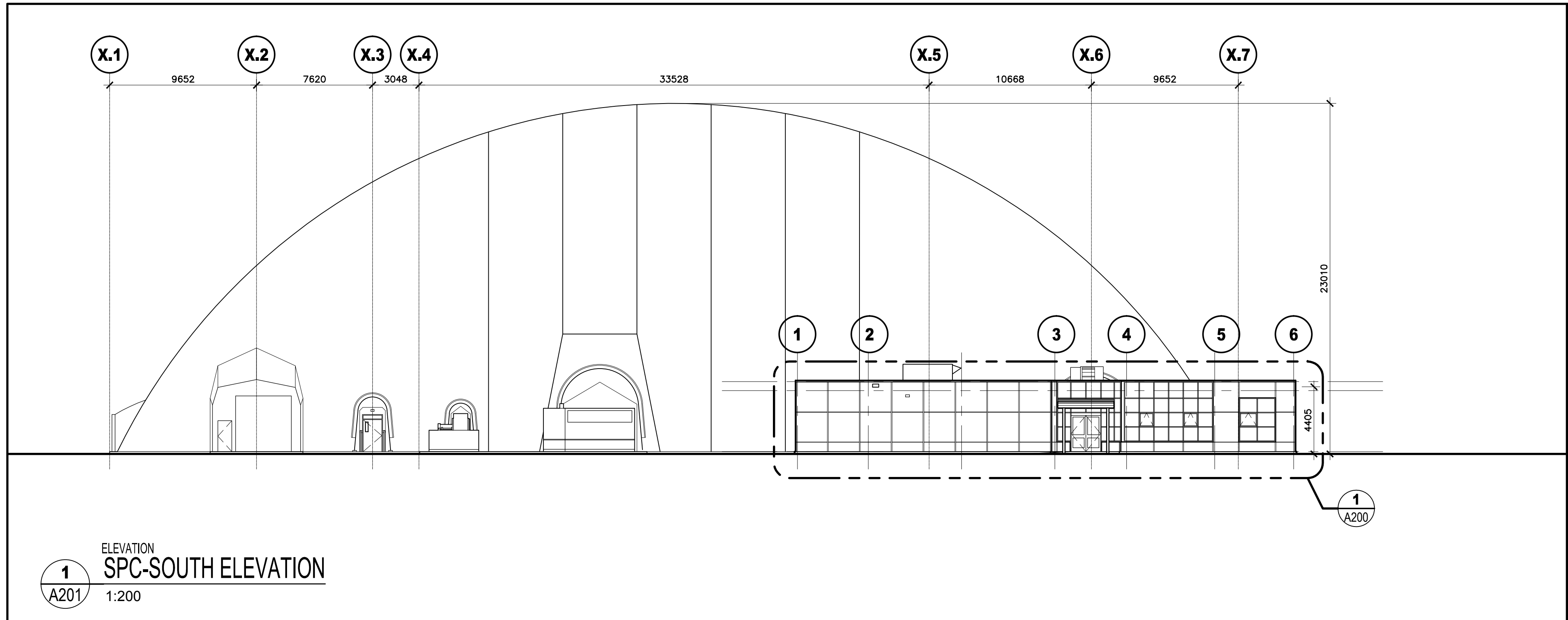
PROJECT TITLE/TITRE DU PROJET  
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PAUL-DESMARAIS - DOME  
5315 ABBOTT STREET  
OTTAWA, ON

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4000, RUE LABELLE, OTTAWA, ON K1J 1A1

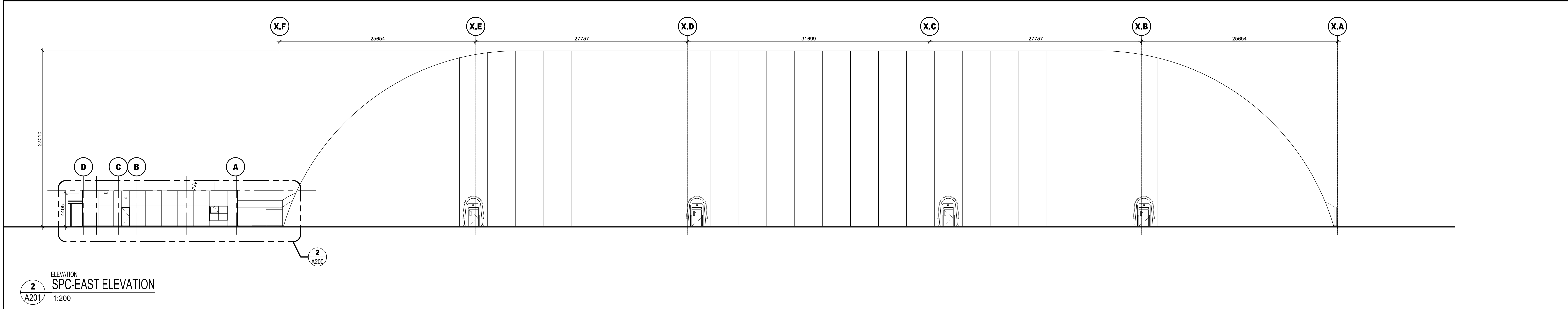
DRAWING TITLE/TITRE DU DESSIN  
ELEVATIONS  
BUILDING SECTIONS

|                           |             |                     |               |                       |   |   |
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| DRAWN BY<br>Dessiné par   | S.R.        | DRAWING/DESSIN      |               |                       |   |   |
| CHECKED BY<br>Vérifié par | J.J.        |                     |               |                       |   |   |
| DATE                      | AUGUST 2017 | ACAD FILE/FICHIER   | 1714-A200.DWG |                       |   |   |

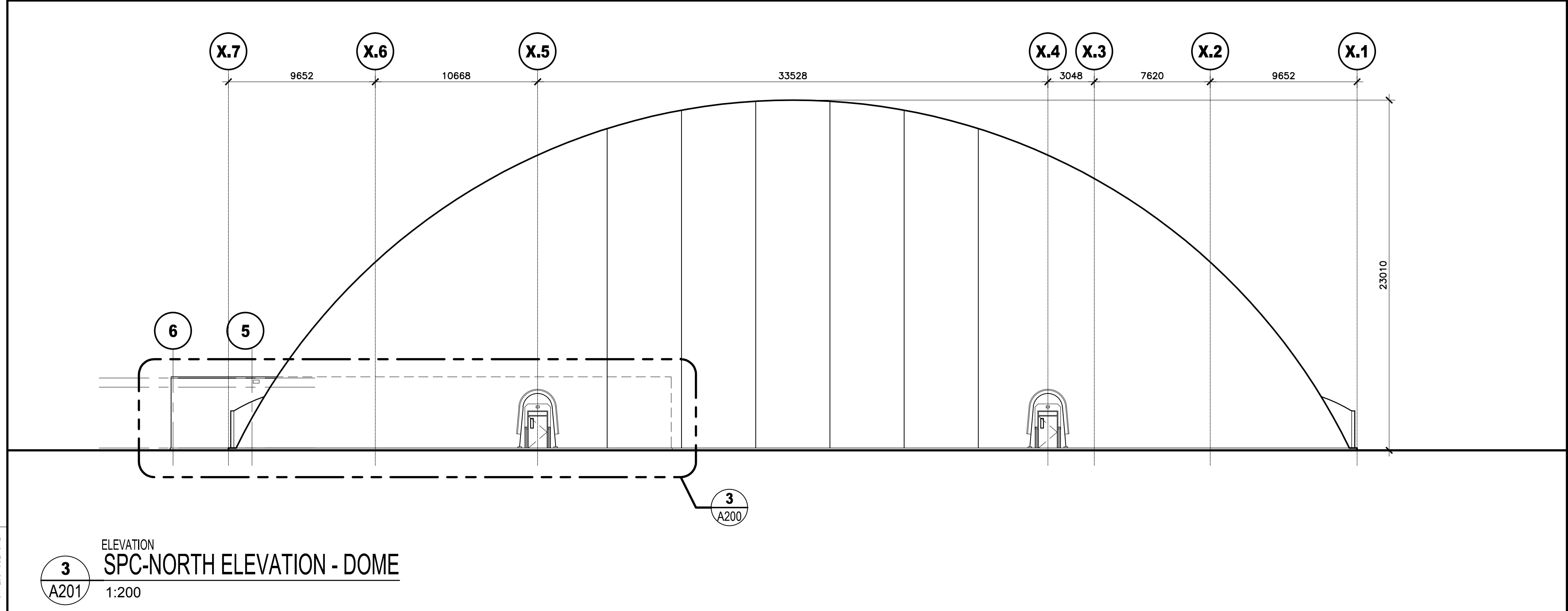




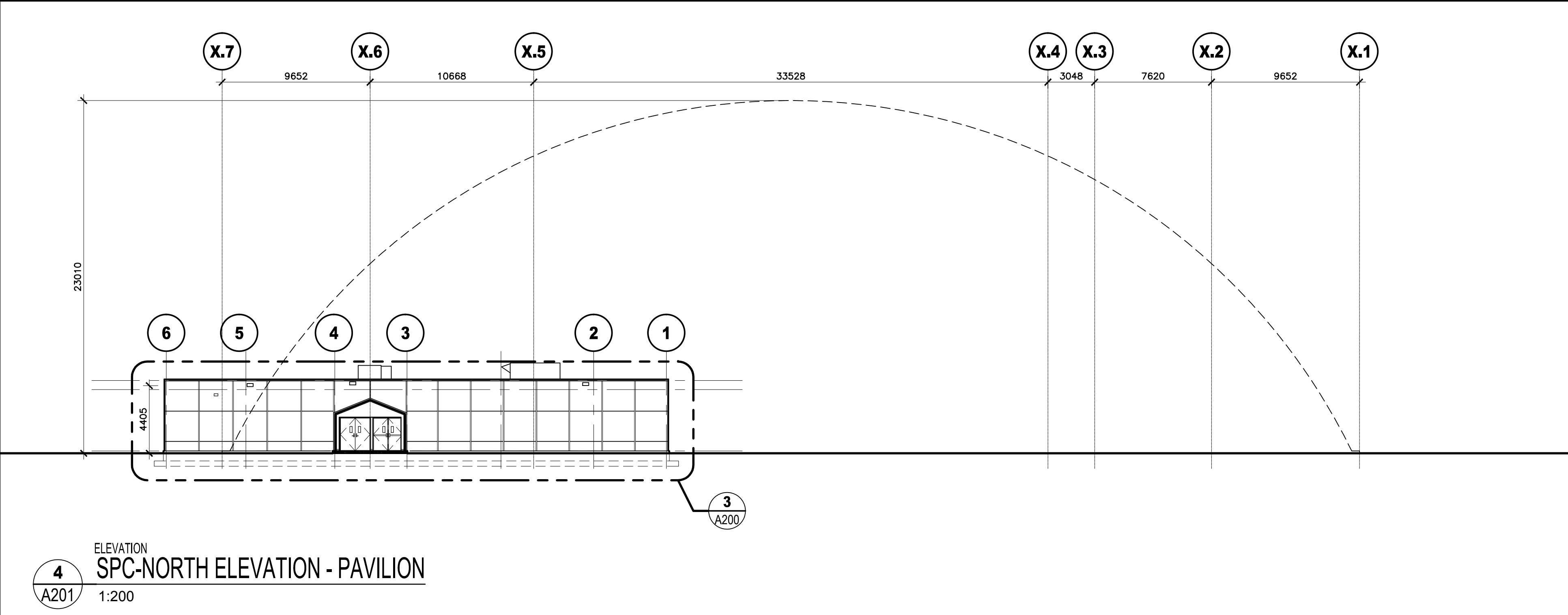
ELEVATION  
**1**  
SPC-SOUTH ELEVATION  
A201 1:200



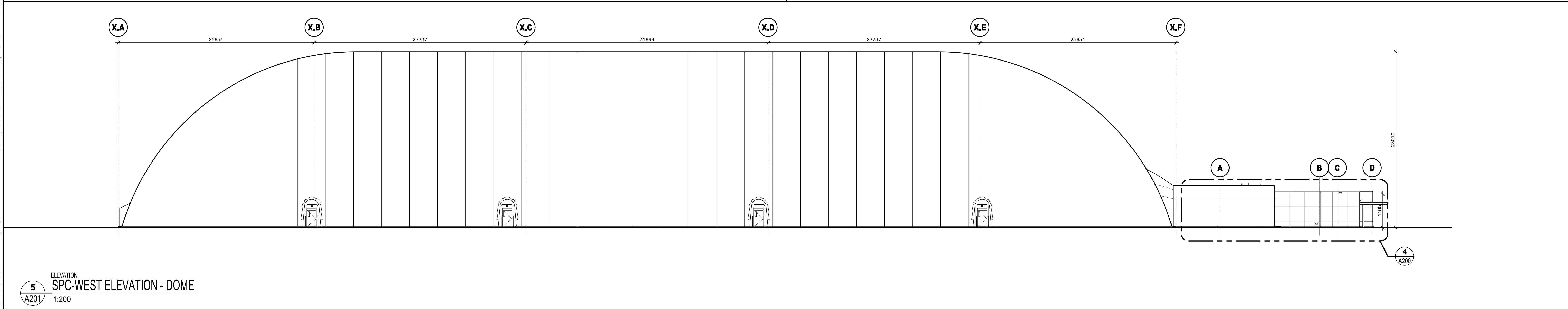
ELEVATION  
**2**  
SPC-EAST ELEVATION  
A201 1:200



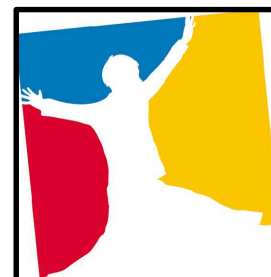
ELEVATION  
**3**  
SPC-NORTH ELEVATION - DOME  
A201 1:200



ELEVATION  
**4**  
SPC-NORTH ELEVATION - PAVILION  
A201 1:200



ELEVATION  
**5**  
SPC-WEST ELEVATION - DOME  
A201 1:200



**CONSEIL DES  
ÉCOLES CATHOLIQUES  
DU CENTRE-EST**  
*Le meilleur conseil  
qu'on puisse vous donner*

APPROVED ☐ REFUSED ☐

THIS DAY OF , 20

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MANAGER, DEVELOPMENT REVIEW - WEST,  
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DRAWING TITLE/TITRE DU DESSIN  
**DOME ELEVATIONS**

| SCALE | PROJ. NO. | ISSUE NO. |
|-------|-----------|-----------|
| 1:200 | 1714      | 3         |

| DRAWN BY | DRAWING/DESSIN |
|----------|----------------|
| S.R.     | <b>A201</b>    |

| CHECKED BY | DATE           |
|------------|----------------|
| J.J.       | SEPTEMBER 2017 |

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D07-12-18-0026 PLAN #17627