

LOT 20
JUNCTION GORE
GEOGRAPHIC TOWNSHIP OF GLOUCESTER
P. I. N. 04148 - 0243

LILY XU, MCIP, RPP
(A) MANAGER, DEVELOPMENT REVIEW - SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
By Lily Xu at 4:18 pm, Dec 10, 2019

0 5 10 15 m
SCALE

LEGEND

---	PROPERTY LINE	○	(M) MANHOLE, REFER TO CIVIL DRAWINGS
---	ZONING SETBACKS	□	(CB) CATCH BASIN, REFER TO CIVIL DRAWINGS
↑	ENTRANCE	●	(LS) LIGHT STANDARD
↑	EXIT	+	ELEVATION MARKER

PROJECT INFORMATION	PROJECT TEAM
LEGAL DESCRIPTION: BLOCK BLK A, PL 623, ST OT13726 OTTAWA / GLOUCESTER PIN # 041480218	PROJECT NAME: 1545 BANK STREET APARTMENT BUILDING OWNER: FES GROUP / 1073889 CANADA INC. 979 SODDY AVENUE OTTAWA, ONTARIO, K2A 2E3
ZONING: AM1 (1913) RESIDENTIAL UNITS: 140 RETAIL UNITS: 3	ARCHITECT: CHMIEL ARCHITECTS 109 BANK STREET, SUITE 200, OTTAWA, ONTARIO, K1P 5N5 PLANNER & CIVIL: NOVATECH 240 MICHAEL COWPLAND DR., SUITE 200, OTTAWA, ONTARIO, K2M 1P6 MECHANICAL & ELECTRICAL: S&A ENGINEERS 1800 CARLING AVE, SUITE 530 OTTAWA, ONTARIO, K2E 7J5 SURVEYOR: FARLEY, SMITH & DENIS SURVEYING LTD 190 COLONNADE ROAD, SUITE 10 OTTAWA, ONTARIO, K2E 7J5 LANDSCAPE: JAMES B. LENNOX & ASSOCIATES INC. 3332 CARLING AVE OTTAWA, ONTARIO K2H 5A8

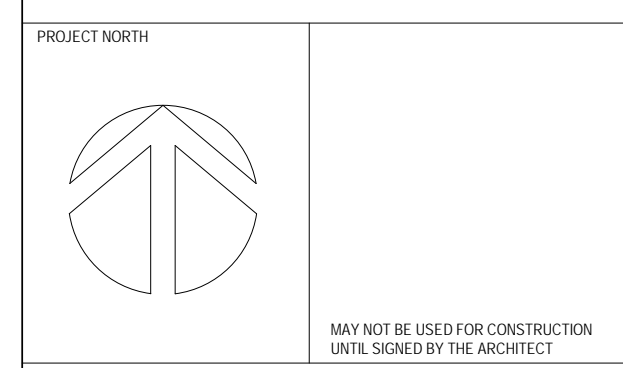
Zoning Information: AM1(1913) Zone City of Ottawa Consolidated Zoning By-law 2008-250		
Proposed Mixed-Use Building		
Zone Provisions	Required	Proposed
Arterial Mainstreet Zone & Subzones (Sections 185-186)		
Minimum Lot Area (m ²)	No minimum	2161.4
Minimum Lot Width (m)	No minimum	48.7 m (Frontage)
Minimum Front Yard and Corner Side Yard Setback (m)	No minimum	0.018 m (abutting Evans Blvd) 4.07 m (abutting Bank Street)
Minimum Interior Side Yard Setback (m)	No minimum	8.62 m (abutting 1211 Willowsdale) 0.321 m (abutting 1207 Evans) and 0.054m at Level 2 Balcony
Minimum Rear Yard Setback (m)	No minimum	6.15 m (abutting 1525 Bank)
Maximum Building Height (m)	25	25
For AM, AM1, AM4 and AM5 zones on specific street segment: Bank Street from VIA Rail right-of-way to Walkley Road		
Maximum Floor Space Index	3.5	3.2
For AM, AM1, AM4 and AM5 zones on specific street segment: Bank Street from VIA Rail right-of-way to Walkley Road	(if 80% or more of the required parking is provided below grade) Allowable: 7,564.9 m ²	6937.3 m ²
Maximum Floor Space Index (for Non-residential Uses)	1.75 (50% of the maximum permitted floor space index) Allowable: 3,782.4 m ²	0.141 304.8 m ²
Parking Requirements (Section 100-114)		
Minimum Parking Space Rates (Area Y)		
Dwelling Units in a Mixed-use Building (in excess of 12)	57	57
Non-Residential Uses (where gross floor area is less than 500m ²)	No minimum	0 Retail 1 GFA = 93.6 m ² Retail 2 GFA = 101.4 m ² Retail 3 GFA = 101.4 m ²
Minimum Visitor Parking Space Rate		
Dwelling Units in a Mixed-use Building (in excess of 12)	13	13
Parking Space Requirements		
Maximum Reduced Size Parking Spaces	40% of required spaces = 28 spaces	27
Aisle and Driveway Provisions		
Minimum Width of a Double Traffic Lane	6	6
Minimum Bicycle Parking Space Rates		
Dwelling Unit in the same Building as a Non-residential Use	0.5 per dwelling unit = 70 spaces	70
Amenity Area (Section 137)		
Minimum Total Amenity Area (m ²)	6m ² per dwelling unit = 840	1011.4
Mixed Use Building, with 9 or more Dwelling Units		
Minimum Communal Amenity Area (m ²)	50% of the required total amenity area = 420	917.3
Mixed Use Building, with 9 or more Dwelling Units		
Accessible Parking (ADDA, Section 3.1)		
Minimum Number of Accessible Spaces	3 (1-Type A, 2-Type B)	3 (1-Type A, 2-Type B)
Total Number of Parking Spaces (51-75)		

GROSS FLOOR AREAS & AMENITY AREAS			
Level	City GFA	Amenity Area	Communal Amenity Area
Level 1	613.7 m ²	0.0 m ²	0.0 m ²
Level 1	0.0 m ²	19.1 m ²	0.0 m ²
Level 1	0.0 m ²	0.0 m ²	779.8 m ²
Level 2	900.9 m ²	0.0 m ²	0.0 m ²
Level 2	0.0 m ²	37.5 m ²	0.0 m ²
Level 3	900.9 m ²	0.0 m ²	0.0 m ²
Level 3	0.0 m ²	37.4 m ²	0.0 m ²
Level 4	898.5 m ²	0.0 m ²	0.0 m ²
Level 5	908.0 m ²	0.0 m ²	0.0 m ²
Level 6	910.2 m ²	0.0 m ²	0.0 m ²
Level 7	905.3 m ²	0.0 m ²	0.0 m ²
Level 8	899.7 m ²	0.0 m ²	0.0 m ²
Lower Roof	0.0 m ²	0.0 m ²	137.5 m ²
Grand total	6937.3 m ²	94.1 m ²	917.3 m ²

NOTE: THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED OR USED WITHOUT THE EXPRESSED CONSENT OF THE ARCHITECT. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

DO NOT SCALE THE DRAWINGS

RELEASE / REVISION RECORD		
No.	Description	Date
1	Issued for Site Plan Control	18-10-18
2	Issued for Presentation	19-03-20
3	Issued for Coordination	19-04-12
4	Re-issued for Site Plan Control	19-04-26
5	Re-issued for Site Plan Control	19-05-15
6	Re-issued for Site Plan Control	19-07-25
7	Re-issued for Site Plan Control	19-08-26
8	Re-issued for Site Plan Control	19-10-04
9	Issued for Coordination	19-10-08
10	Re-issued for Site Plan Control	19-11-06



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1545 Bank Street Apartment

PROJECT NO.	18-1673	DRAWN	RK/EC
SCALE	As indicated	CHECKED	RAC
DRAWING TITLE	SITE PLAN		

DRAWING NO.

1 SITE PLAN
SP-01 SCALE 1 : 150

SP-01

#16230