

ZONE INFORMATION

ZONE DESIGNATION:
AM10 ZONE - ARTERIAL MAINSTREET ZONE,
HEIGHT LIMIT OF 30m

PLANNED UNIT DEVELOPMENT REQUIREMENTS:
MIN.LOT WIDTH REQUIRED: N/A

MIN.LOT AREA (sq.m.) REQUIRED: N/A
EXISTING LOT AREA: 11,431.25 SM

MAX.BUILDING HEIGHT: 30m
PROPOSED NORTH WING ADDITION: 10.4m
EXISTING SOUTH WING: 10.4m
(AVE.GRADE TO 4TH FLOOR U/S OF CEILING)

MIN. FRONT YARD SETBACK: 3m
EXISTING FRONT YARD: 20.22m

MIN. REAR YARD SETBACK: 7.5m
EXISTING REAR YARD: 22.9m

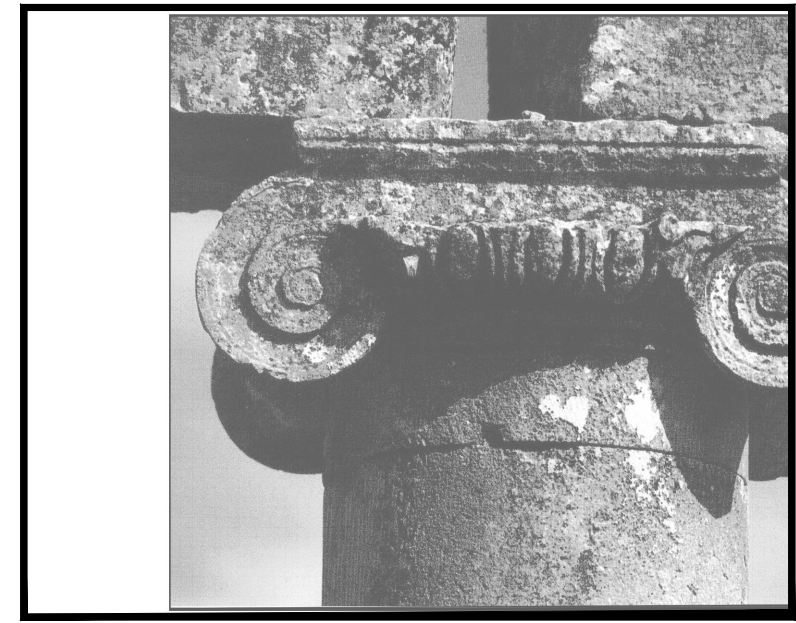
MIN. INTERIOR YARD SETBACK: NO MIN.
EXISTING INTERIOR SETBACK: 3.4m/21.9m VARIES

PARKING REQUIREMENTS:
- MIN.RESIDENTIAL PARKING REQUIRED:
0.5 STALLS/UNIT
- MIN.VISITORS PARKING REQUIRED:
0.2 STALLS/UNIT

REQUIRED PARKING:
- REQUIRED RESIDENTIAL PARKING:
113 UNITS x 0.5 STALLS/UNIT=56.5 STALLS
- REQUIRED VISITORS PARKING:
113 UNITS x 0.2 STALLS/UNIT=22.6 STALLS
TOTAL REQUIRED: 79.1 STALLS

PROVIDED PARKING:
- NEW: 32 PARKING STALLS
- EXISTING: 108 PARKING STALLS
- TOTAL: 140 PARKING STALLS

BICYCLE PARKING:
REQUIRED: 7 BICYCLE PARKING
PROVIDED BICYCLE PARKING:
- 7 STALLS



ANGELO MATTIA SPADOLA
ARCHITECT
200-1645 RUSSELL ROAD, OTTAWA, ONTARIO K1G 4G5
TEL 613 228 7190

NO.	REVISIONS	DATE
1	ISSUED FOR COORDINATION	01-27-19
2	ISSUED FOR SITE PLAN APPLICATION	08-26-19
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

NOTE:
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT FOR HIS WRITTEN PERMISSION BEFORE PROCEEDING WITH WORK.
NOT FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT.

CONSULTANTS:
STRUCTURAL: EXP
MECHANICAL: EXP
ELECTRICAL: EXP
LANDSCAPE: STANTEC
CIVIL: EXP

PROJECT:
BEST WESTERN PLUS
ADDITION

LOCATION:
1274 CARLING AVE.
OTTAWA, ONTARIO

DWG TITLE:
SITE PLAN

DATE: 2018-08-22
SCALE: 1:20
FILE NAME: PROJECT #: 000

DESIGNED BY: AMS
DRAWN BY: JV
APPROVED BY: AMS

DRAWING NO: SP-1
OF

ONTARIO ASSOCIATION
OF ARCHITECTS
ANGELO M. SPADOLA
LICENCE 4339