

PLANNING RATIONALE REPORT

**1186 SHILLINGTON - SITE PLAN APPLICATION
CITY OF OTTAWA**

**PREPARED BY: P H ROBINSON CONSULTING
JULY 2019**

This report has been prepared on behalf of 10609625 Canada Inc., in support of a Site Plan Control Application for his lands at 1186 Shillington Avenue in the Carlington neighbourhood of Ottawa. The legal description of the property is Part of Lot 54, Registered Plan 252, City of Ottawa (see survey plan in Appendix).

The property is located on the south side of Shillington Avenue and is located opposite to Sproule Street which is a cul-de-sac (see Location Plan in Appendix). The surrounding land uses are primarily residential in nature with low rise apartments similar in scale and appearance to the subject property on the south side of Shillington. The property immediately to the west at 1196 Shillington is a 3 storey plus basement low rise rental apartment building with approximately 40 units and 40 surface parking spaces. The property to the west of that is a 20 unit condominium apartment building.

To the east of the subject property is 1180 Shillington which is set back from the road and is a 30 unit 3 storey rental building owned by Ottawa Community Housing. The access driveway to 1180 Shillington is located on the east side of the subject property which results in a distance of about 23 m from the building at 1186 Shillington to the building at 1176 Shillington. The building at 1180 Shillington is located to the rear of the subject property. To the east of 1180 Shillington is a building at 1176 Shillington which is similar in scale and unit count to the existing situation on the subject property.

The subject lands have 19.30 metres of frontage (63.3') on the south side of Shillington Avenue and a depth of 36.57 metres (120') and with a total lot area of 706 m² (7600 ft²). Full sized copies of the survey plan are being filed as part of the site plan application.

The intent of this application is to allow for an additional floor to be added to the building so that the building would consist of 3 floors plus a basement level. The additional floor would contain 8 efficient studio apartment units and would be slightly wider than the existing roof size on the east and west sides of the building but the north (front) and south (rear) sides of the new addition will match the existing walls of the building in those locations.

The units range in size from 216 ft² (20 m²) to 254 ft² (24 m²) in size and they are all bachelor units that will be added to the property through modular construction that will occur off site. This will result in a minimal amount of on site disruption to the existing residents and surrounding properties and will allow for the additional units to be added easily in any season..

The maximum building height of the project is 10.54 m (34.5 ft). The basement

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level, the existing ground floor and 2nd floor contain 4 standard size units per floor and the proposal is to have 8 efficient studio units on the 3rd floor above grade and that upper level will have a slightly larger floorplate than the floors below.

The project calls for 5 parking spaces in total which will all be located to the rear of the building and this number of parking spaces closely meets the zoning requirements for the area in terms of required resident and visitor parking. The parking requirements call for 5 resident parking spaces and 1 visitor parking space. These 5 parking spaces are all located along the rear lot line in an area currently used for the surface parking for the property.

The site is restricted from providing additional parking due to the presence of a Right of Way along the entirety of the west property line with a width of 4.37 m which is in favour of the lands to the south and it is not possible to remove this Right of Way.

However, it is important to note that where the Right of Way is located along the rear lot line (south west corner of the property) there is an opportunity to allow another parking space in that south west corner as the Right of Way is not used and is fenced off and the property owner who the Right of Way is in favour of has a dedicated vehicular access to Shillington Avenue between 1186 and 1176 Shillington. The rear lot line has enough width to allow for 7 parking spaces that are zoning compliant.

The property is within 150 m of both northbound and southbound stops for OC Transpo bus route 14. This route provides a service of a bus every 15 minutes on weekdays and the bus connects this community both with downtown Ottawa and the St Laurent Shopping Centre. This bus route will reduce the demand for the provided parking spaces on this property.

Landscaped areas along the east property line and in front of the building provide the majority of the landscaped areas for the property and reflect the location of current (pre-construction) landscaped areas.

There will be new siding on the facades of the existing levels of the building that will be updated to ensure a consistent appearance of the entire building as a result of adding an additional floor to the building. Much of the current brick facade will be replaced through the course of this additional development.

Details of the floor plans and architectural appearance of the building are provided in the Appendix Section of the report.

Zoning

Under Zoning By-law 2008-250 the subject lands are zoned R4N (Residential Fourth Density Zone) .

This is a zone which permits low rise apartment units, townhouse units, triplex units and other forms of residential office uses .

The following are the key R4N zone provisions and how the proposed development compares with the zoning provisions.

| | REQUIREMENT | PROVIDED |
|---------------------------------------------|--------------------|-----------------|
| Minimum front yard setback | 6 m | 7.66 m |
| Minimum interior side yard (Beyond 21 m) | 1.5 m, (6 m) | 1.82m,(1.82m) |
| Minimum rear yard | 10.97 m | 13.24 m |
| Minimum Building Height | 11 m | 10.55 m |
| Parking | 6 spaces | 5 spaces |

The front yard and rear yard setbacks are not changing through this proposed additional development.

The location of the building meets the majority of the current zoning regulations in effect and a Minor Variance application will be filed with the City during the technical review of the Site Plan Application. Expected variances would be for the interior side yard setback requirement at the point beyond 21 m from the front lot line, the total number of parking spaces provided on the lands that don't include the Right of Way and the location of the amenity areas provided. As the Site Plan application proceeds the exact nature of the variances that will be required will be documented and the Minor Variance application will not proceed until the Site Plan application is in its final stages.

It should be noted that the existing building currently does not meet this increased side yard setback requirement at the point beyond 21 m from the front lot line. As well, on the east side of the lot the adjacent lands are comprised of the access driveway to the apartment building located behind the subject property and on the west side, the building is currently 4.24 m from the side lot line and the adjacent lands to the west are comprised the driveway and angled parking for the 4 storey apartment building to the west. (see photos in Appendix section to show the existing situation)

As a result, the impact of this additional development will be minimal due to the

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relatively large structural setbacks between adjacent buildings to this project and the fact that the maximum building height is not being exceeded.

Official Plan Designation – City of Ottawa Official Plan

The site is designated General Urban Area in the Urban Policy Plan of the City of Ottawa Official Plan. A description of how the proposal meets the key policies in this section are listed in *italics*.

As per **Section 3.6.1.3** of the Official Plan

Building height in the General Urban Area will continue to be predominantly Low-Rise. Within this range, changes in building form, height and density will be evaluated based upon compatibility with the existing context and the planned function of the area. Secondary plans or zoning that currently permit building heights greater than four Storeys will remain in effect.

The proposed changes to the site will be add 1 floor of residential units above the existing 2 storey + basement rental building and will not change the building form and will allow for changes to building height and density but not footprint and will be at a height less than or equal to nearby apartment buildings on the south side of Shillington Avenue. The proposed building is not in excess of 4 storeys.

As per **Section 3.6.1.5** of the Official Plan.

When considering a proposal for residential intensification through infill or redevelopment in the General Urban Area, the City will:

Recognize the importance of new development relating to existing community character so that it enhances and builds upon desirable established patterns and built form;

The established building pattern along this side of Shillington Avenue is of apartment buildings of the scale or higher in building height than the proposed additional development will allow for. Nearby buildings on the south side of Shillington Avenue are 3 and 4 storeys in height and the surrounding area has a number of low rise apartment buildings of similar scale.

Section 2.5.1 of the Official Plan 'Urban Design and Compatibility' provides directions for new development.

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The Compatibility section is particularly relevant for this application. The City's Growth Management strategy is to concentrate additional growth within existing urban areas over the next 20 years and this small scale intensification of this property is in conformity with that strategy.

The City's Compatibility policies promote development that 'is not necessarily the same as or similar to existing buildings in the vicinity, nonetheless enhances an established community and coexists with existing development without causing undue adverse impact on surrounding properties. It 'fits well' within its physical context and 'works well' among those functions that surround it.'

The proposed additional development on the property will add 1 floor to an existing 2 floor + basement low rise apartment building along a segment of Shillington Avenue which currently contains a number of similar buildings in terms of height and overall building type. It maintains the existing front yard setback and the building location on the property will not create undue impacts on the single family houses on the north side of Shillington Avenue which are located approximately 30 m away.

The proposed building is not exactly the same as other nearby multi-residential buildings but it is compatible with them and does not cause any adverse impacts on them.

Section 4.11 of the Official Plan, 'Urban Design and Compatibility' provides policies for individual properties that are subject to development or redevelopment.

Key policies within this section include:

4.11.2.1 Traffic. Roads should adequately serve the development with sufficient capacity to accommodate the anticipated traffic generated.

Shillington Avenue, is 2 lanes wide with an area for parallel parking alongside the curb and the anticipated increase in dwelling units from 12 units to 20 units is not anticipated to result in any traffic issues due to the relatively low impact this increase will have on the overall traffic movement along the street

4.11.2.2 Vehicular Access. The location and orientation of vehicle access and egress should address matters such as the impact of noise, headlight glare and loss of privacy on development adjacent or immediately opposite.

All of the proposed parking is at the rear of the site and it is intended to retain the

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existing driveway on the west side. This driveway is next to the driveway access for the property immediately to the west so the distance of the subject driveway to the next building to the west is 18 m and this location is not opposite of the living space of any buildings on the north side of Shillington Avenue. The property opposite has a large hedge providing additional screening.

4.11.2.3 Parking -Requirements: The development should have adequate on-site parking to minimize the potential for spillover parking on adjacent areas.

The proposed number of parking spaces closely matches the zoning requirements based on 20 units in total and the 5 spaces that can be provided without any restrictions. As indicated previously in this report, 6 parking spaces are technically required and at least 6 spaces can be provided on site however one of those spaces would be located on a Right of Way that is not being used.

4.11.2.4 Outdoor amenity areas - The development should respect the privacy of outdoor amenity areas of adjacent residential units and minimize any undesirable impacts through the siting and design of the buildings and the use of screening, lighting, landscaping or other mitigative design measures

The development will not overlook amenity areas of adjacent properties.

4.11.2 6 Lighting: The potential for light spill over or glare from any lighting source onto adjacent light-sensitive areas should be avoided or mitigated;

Lighting - exterior lighting will be directed to avoid spillover onto adjacent properties

The proposed use of the property as a rental residential development complies with the Official Plan designation for the property.

Conclusions

The proposed development of additional rental apartment units for this property is consistent with the current zoning and Official Plan policies for the lands.

The site represents a development that will allow for:

- a well designed addition to an existing building that will be located along a road with existing apartment buildings that have a greater number of units or floors, that will enhance the area and will provide some additional rental apartment units on the property
- parking that serves the proposed uses coupled with nearby transit routes

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Urban Planning, Consulting and Project Management

- a development that meets the majority of the current zoning regulations
- buffering through setbacks to adjacent properties.
- a development of the property that will contribute to the overall intensification and redevelopment of this section of Shillington through a sensitive development.

Through the site plan process there are a number of key engineering studies and drawings required in support of the development. These studies show that the site can be serviced through some upgraded servicing connections to existing infrastructure within the Shillington Right of Way that have the capacity to facilitate this development proposal.

The overall site drainage and grading has been designed based on current City guidelines.

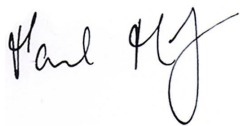
Landscaping will be provided in the front yard and the east side yard of the property and some limited landscaping in the rear yard of the property. The areas on the property of landscaping roughly match the limits of the existing landscaped areas which are shown on the site plan and the survey plan.

It is our opinion that the proposed development is consistent with the City of Ottawa Official Plan and Zoning By-law policies and regulations. It is being proposed at an appropriate scale of development and will enhance this section of Shillington Avenue.

At a later stage in the review of this Site Plan Application , a Minor Variance application will be filed to seek variances for the project.

Should you have any questions or require anything further, please do not hesitate to contact the undersigned at (613) 599 9216 or via email at probinson@probinsonconsulting.com

P H Robinson Consulting



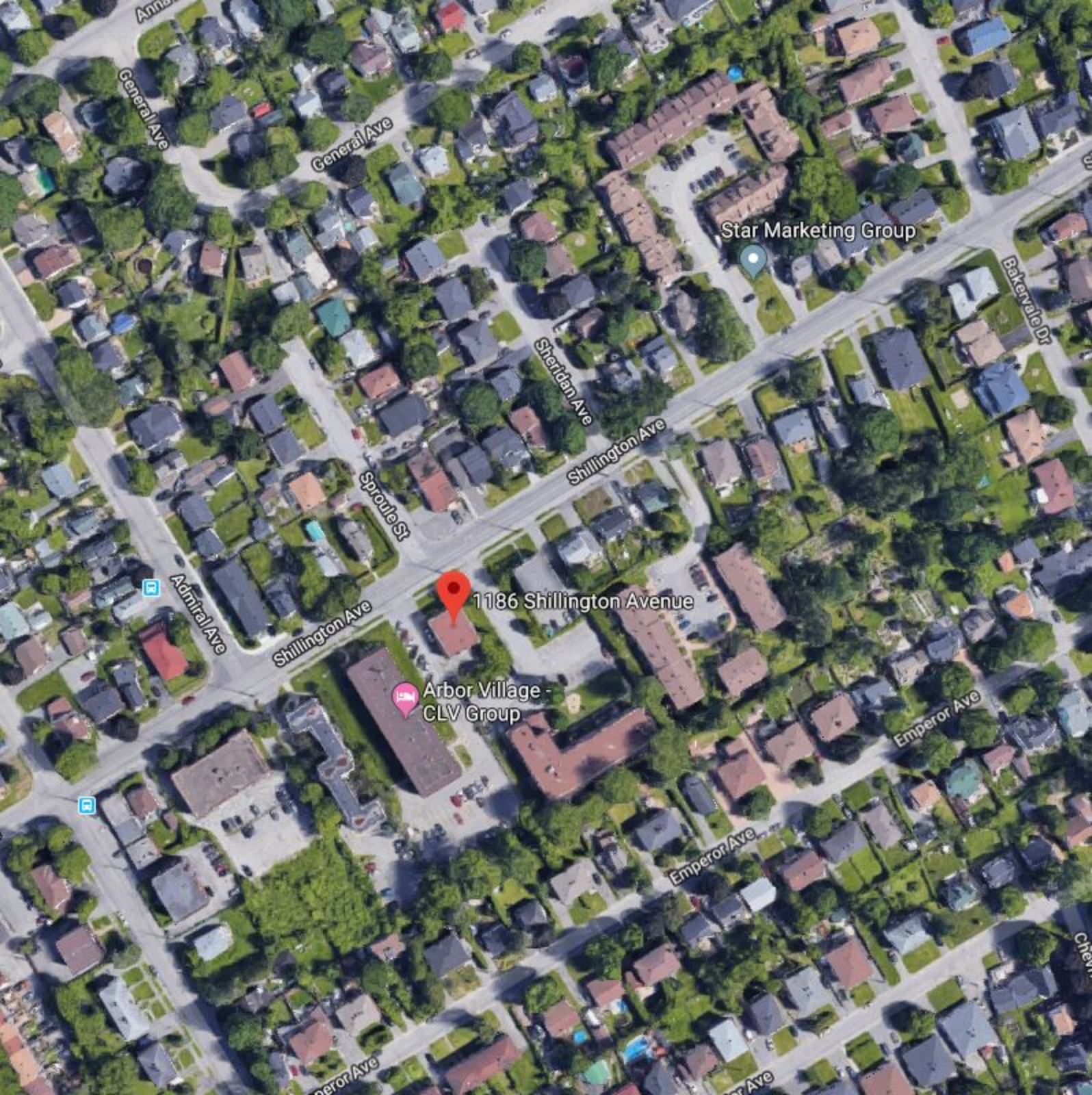
Paul Robinson RPP

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APPENDIX

SITE LOCATION, SITE PHOTOS, SITE SURVEY, SITE PLAN

ARCHITECTURAL ELEVATION DRAWINGS AND FLOOR PLANS



Star Marketing Group

1186 Shillington Avenue

Arbor Village -
CLV Group



Subject property (1186 Shillington Avenue) . Apartment building at 1196 Avenue on the far right of the photograph and 1176 Shillington Avenue on the far left of the photograph.



View from the south east corner of the building looking to the north to Shillington Avenue. Cars on the left are parked at 1196 Shillington Avenue.



Parking area at the rear of the property. The property in the background is 1196 Shillington Avenue



Parking at the rear of the property. Cars parked on the right and in the background are located on another property (1196 Shillington Avenue)



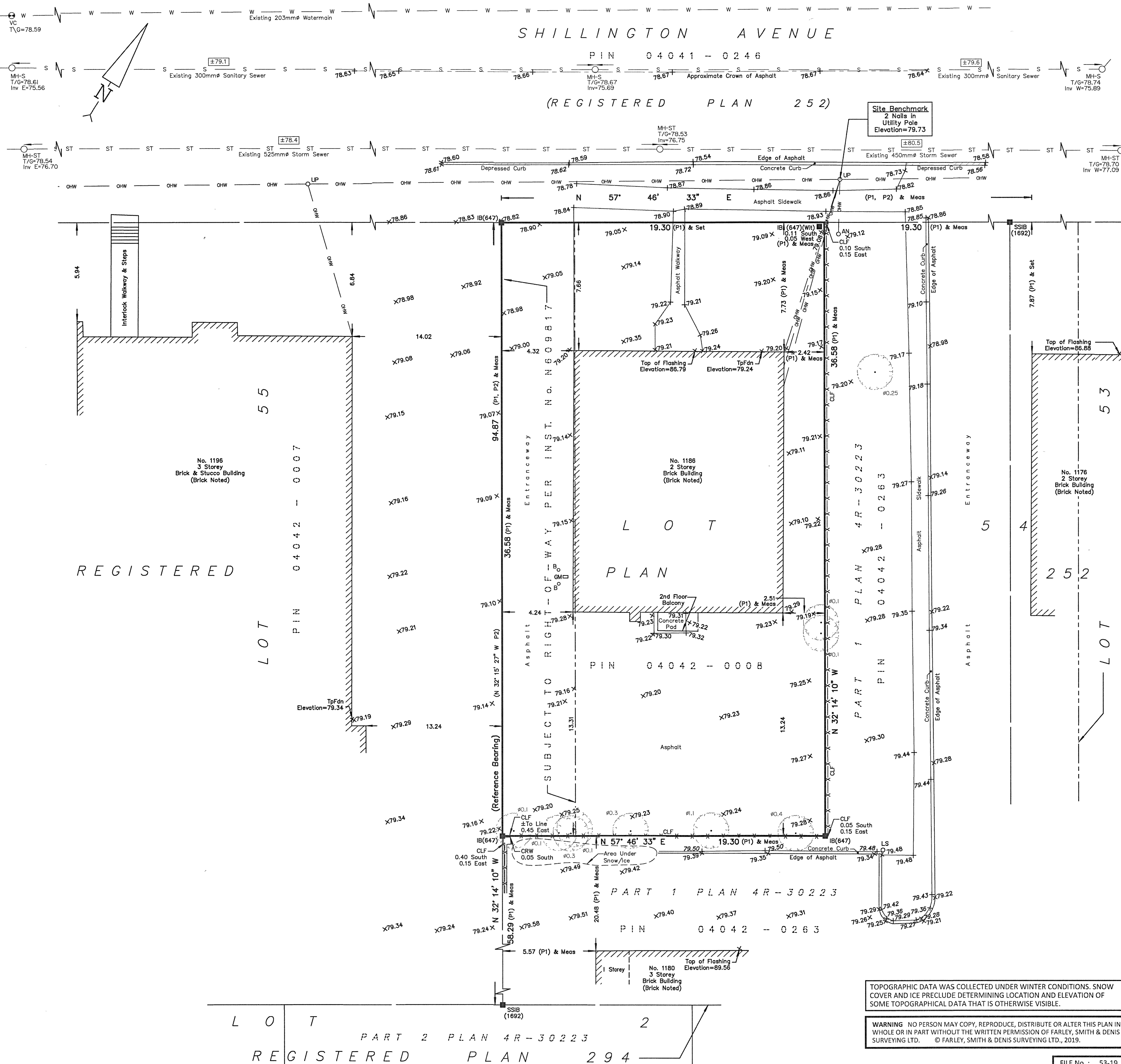
East side yard of the subject property with the driveway for 1180 Shillington Avenue on the far right hand side of the photo.



View along the south side of Shillington Avenue looking to the east. Walkway to the front door of the building at 1186 Shillington Avenue (subject property) on the right hand side of the sidewalk



View along the south side of Shillington Avenue looking to the west

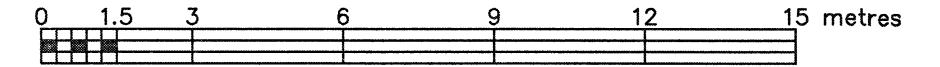


TOPOGRAPHIC PLAN OF SURVEY OF

PART OF LOT 54
REGISTERED PLAN 252
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2019

Scale 1: 150



Metric Note

Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99993.

Bearing Note

Bearings are grid and are referred to the Westerly limit of Lot 54 having a bearing of N 32° 14' 10" W as shown on Plan 4R-30223.

For bearing comparisons, a rotation of 0°36'27" counter-clockwise was applied to bearings on P2.

Elevation Notes

- Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978. (See FSD File No. 440-13)
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that it's relative elevation and description agrees with the information shown on this drawing.

Utility Notes

- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.
- Underground utility data derived from City of Ottawa utility sheet reference: L16-a-1 & 5791p&p.
- Sanitary and storm sewer grades and inverts were derived from: Field measurement.
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Notes & Legend

| Denotes | |
|--------------------------------|-----------------------------|
| Survey Monument Planted | Survey Monument Found |
| Standard Iron Bar | Short Standard Iron Bar |
| Iron Bar | Witness |
| Measured | Origin Unknown |
| Plan 4R-30223 | Registered Plan 252 |
| Maintenance Hole (Storm) | Maintenance Hole (Sanitary) |
| Valve Chamber (Watermain) | Underground Storm Sewer |
| Underground Sanitary Sewer | Underground Water |
| Overhead Wires | Utility Pole |
| Anchor | Light Standard |
| Gas Meter | Bollard |
| Diameter | Chain Link Fence |
| Concrete Retaining Wall | Invert |
| Top of Grate | Top of Foundation |
| Centreline | Location of Elevations |
| Top of Concrete Curb Elevation | Property Line |
| Deciduous Tree | |

Surveyor's Certificate

- I certify that:
- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
 - The survey was completed on the 15th day of March, 2019.

Apr 18/19
Date

Jamie Leslie
Ontario Land Surveyor

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM

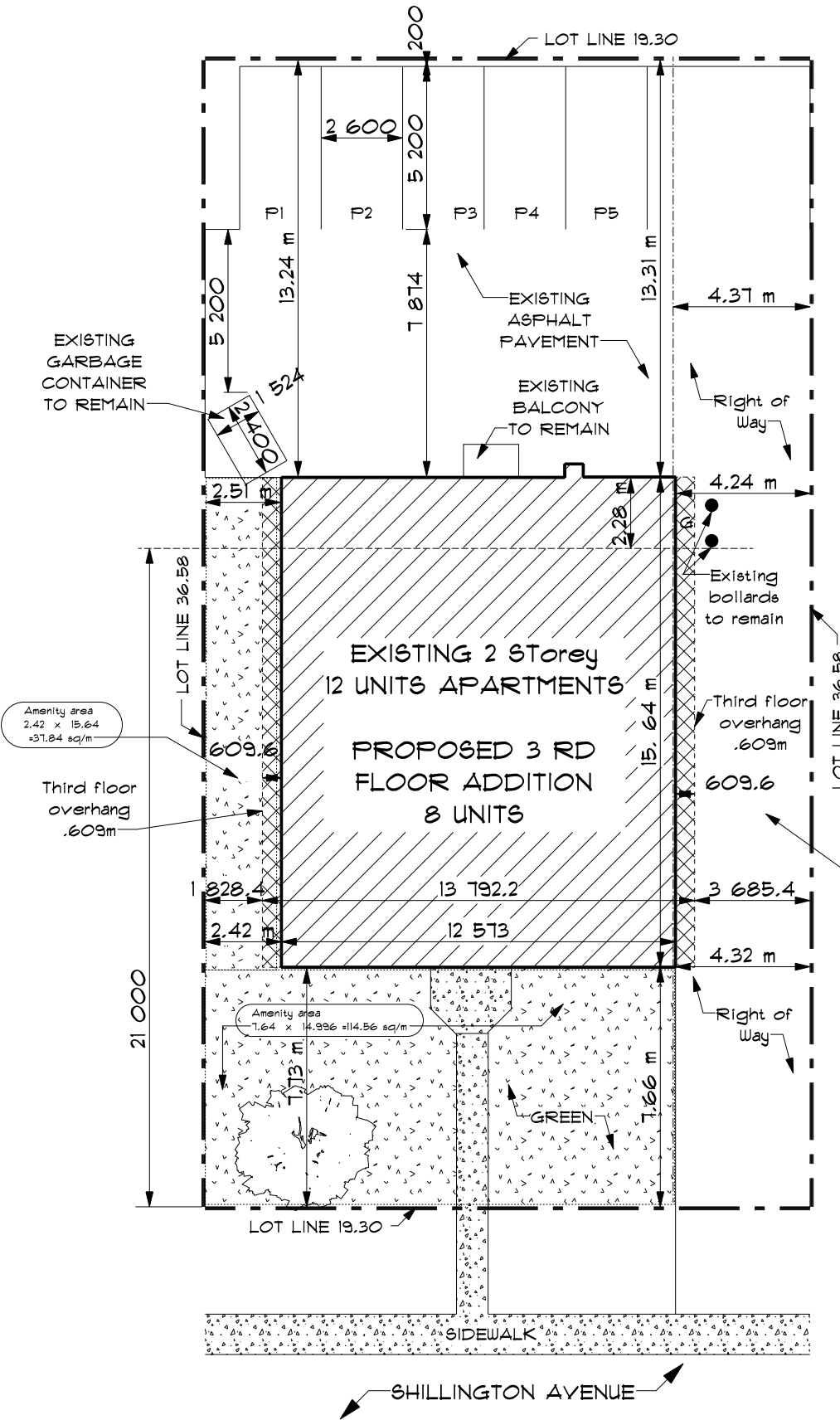
2088403

THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29 (3).

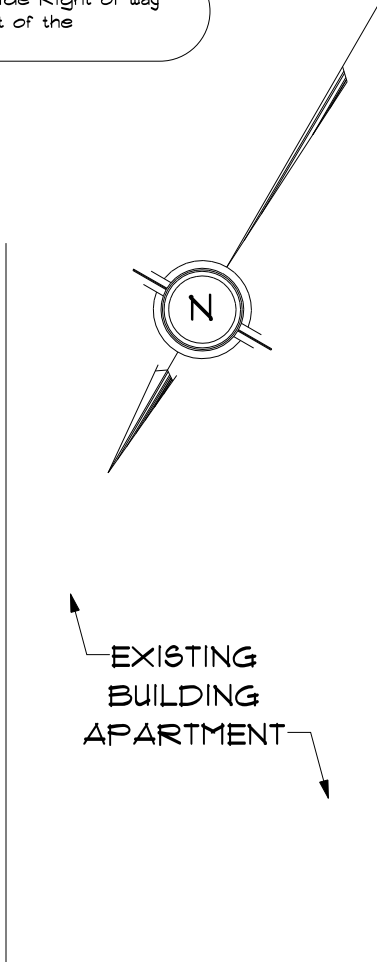
FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS190 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J5
TEL. (613) 727-8226 FAX. (613) 727-1826

FILE No.: 53-19

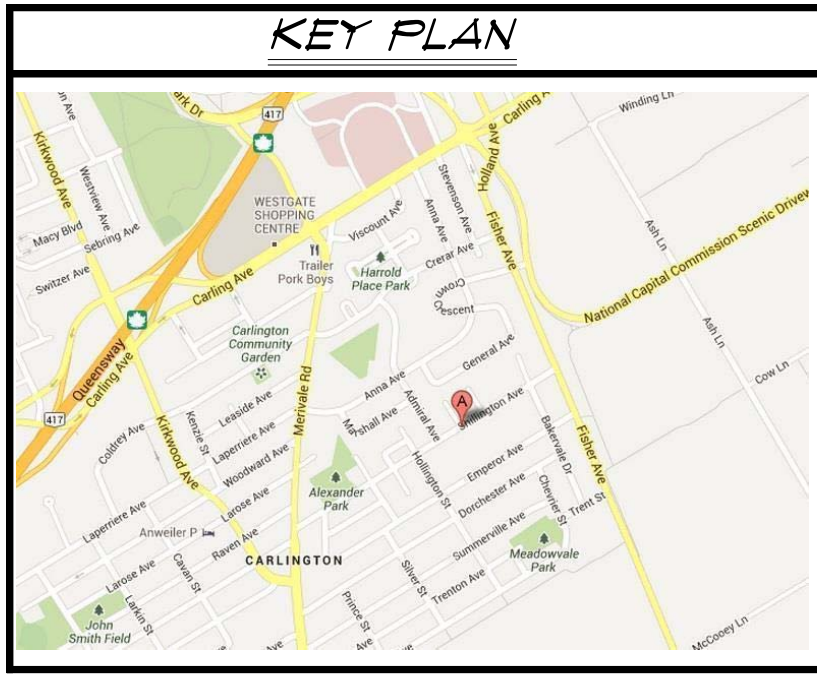


Note: EASEMENTS/RIGHT-OF-WAYS
Subject to a 4.37 m wide Right of way
along the westerly limit of the
subject property



NOTE: SAME SLOPE SAME DRAINAGE
NO CHANGE ON SITE

PLAN 252 - PART OF LOT 54 SOUTH SHILLINGTON CITY OF OTTAWA



| DATA | | |
|---------------------------------|---------------------------------------------------|---------------------------------------------------|
| | EXISTING 12 UNITS | PROPOSED 20 UNITS |
| PROJECT: | Existing 12 Units Building Apartment | PROPOSED THIRD STOREY - 8 Units |
| ZONE: | EXISTING R4N | EXISTING R4N |
| BUILDING SIZE: | 12.573 m X 15.64 m (41'-3" X 51'-3") | 12.573 m X 15.64 m (41'-3" X 51'-3") |
| BUILDING FOOTPRINT: | 196.64 m2 (2116.62 sq/ft) Basement + 2 storeys | 196.64 m2 (2116.62 sq/ft) Basement + 3 storeys |
| BUILDING AREA: | | |
| BASEMENT: | 196.64 m2 (2116.62 sq/ft) | 196.64 m2 (2116.62 sq/ft) |
| MAIN FLOOR: | 196.64 m2 (2116.62 sq/ft) | 196.64 m2 (2116.62 sq/ft) |
| SECOND FLOOR: | 196.64 m2 (2116.62 sq/ft) | 196.64 m2 (2116.62 sq/ft) |
| THIRD FLOOR: | | 215.45 m2 (2319.06 sq/ft) |
| TOTAL FLOOR AREA: | 589.92 m2 (6349.85 sq/ft) | 805.37 m2 (8626.2 sq/ft) |
| LOT AREA - | 540 m2 | existing to remain |
| MIN. LOT AREA REQ'D - | 705.994 m2 | |
| LOT FRONTAGE - | 18.00 m | existing to remain |
| MIN. LOT FRONTAGE REQ'D - | 19.30 m | |
| FRONT YARD - | 7.66 M | existing to remain |
| MIN. FRONT YARD REQ'D - | 6.0 M | |
| EXTERIOR SIDE YARD - | N/A | existing to remain |
| MIN. EXTERIOR SIDE YARD REQ'D - | N/A | |
| SIDE YARD - | 2.42 M | |
| MIN. SIDE YARD REQ'D - | 1.5 M within 21.0 M 6.0 M past 21.0 M | |
| REAR YARD - | + - 13.24 M | existing to remain |
| MIN. REAR YARD REQ'D - | M | |
| BUILDING HEIGHT - | 7.76 m | 10.547 m |
| MAXIMUM BUILDING HEIGHT - | 11 m | 11 m |
| NUMBER OF PARKING | | 5 |
| NUMBER OF PARKING REQ'D - | | 5 |
| AMENITY AREA REQUIRED | | 120 sq/m |
| AMENITY AREA PROVIDED | | 152.40 sq/m |

- LEGEND:
- PROPOSED BUILDING
 - GREEN
 - CONCRETE SIDEWALK
 - ASPHALT PAVEMENT

MINOR
VARIANCE
REQUIRED

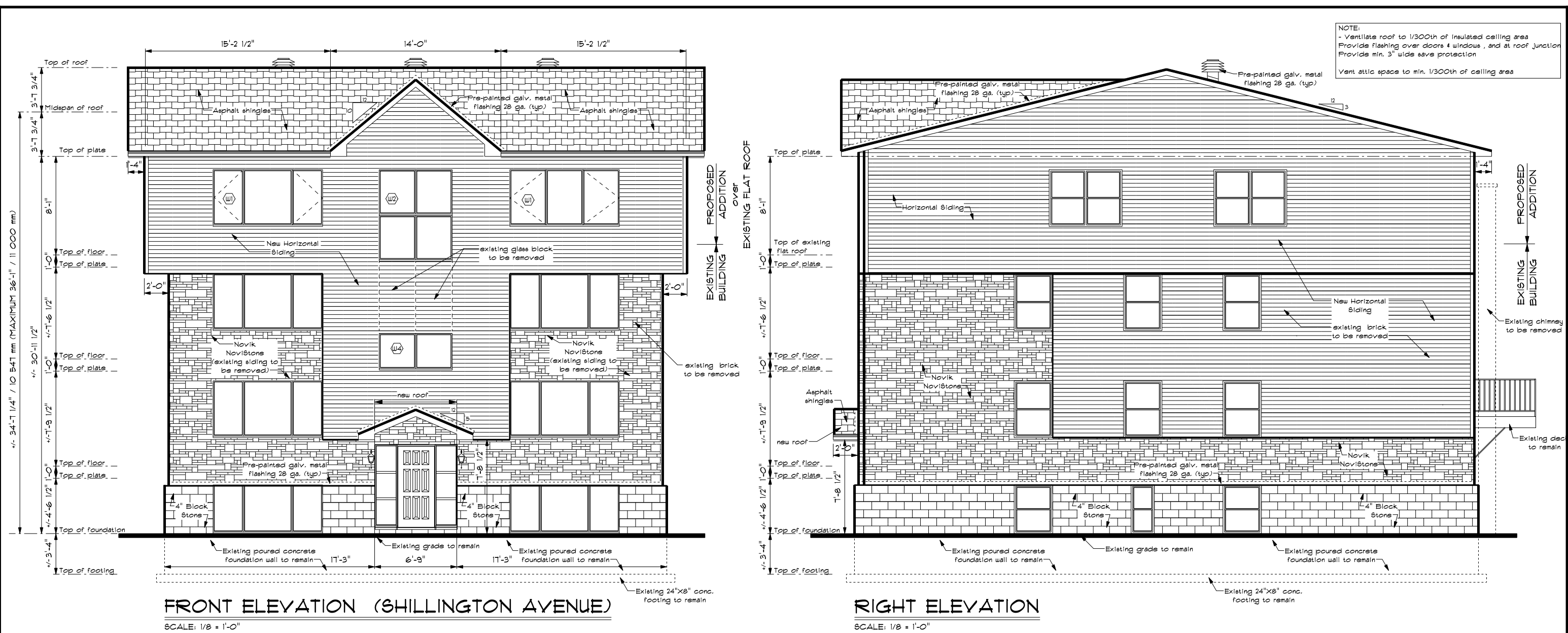
| NO. | REVISIONS | DATE |
|-----|---------------------|------------|
| 3 | ISSUED FOR APPROVAL | 14/05/2019 |
| 2 | ISSUED FOR CHANGES | 24/09/2018 |
| 1 | ISSUED FOR APPROVAL | 20/09/2018 |

LAVOIE
DESIGN & DRAFTING INC.

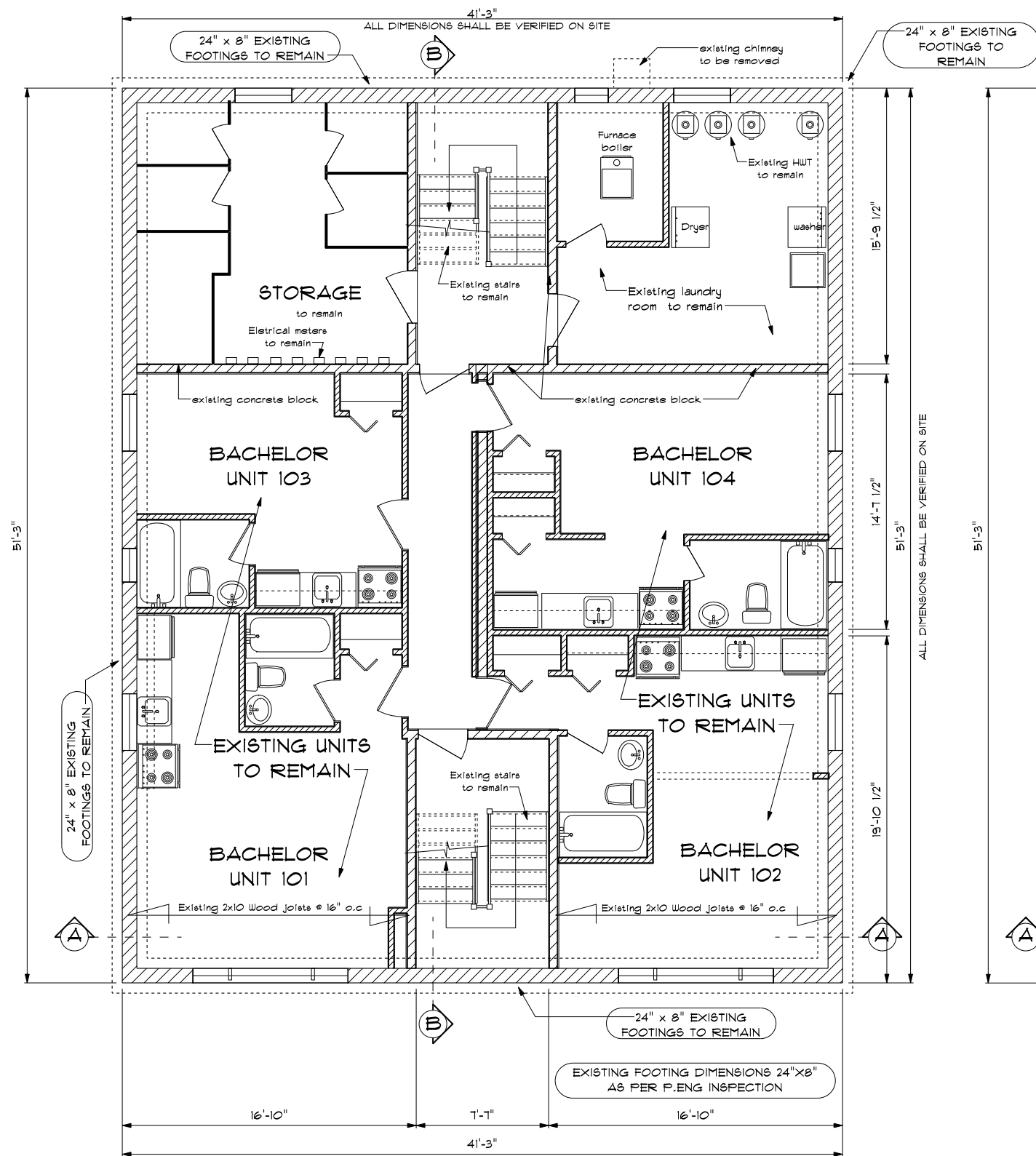
10471 NOTRE DAME STREET, P.O. BOX 928,
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613-443-3461

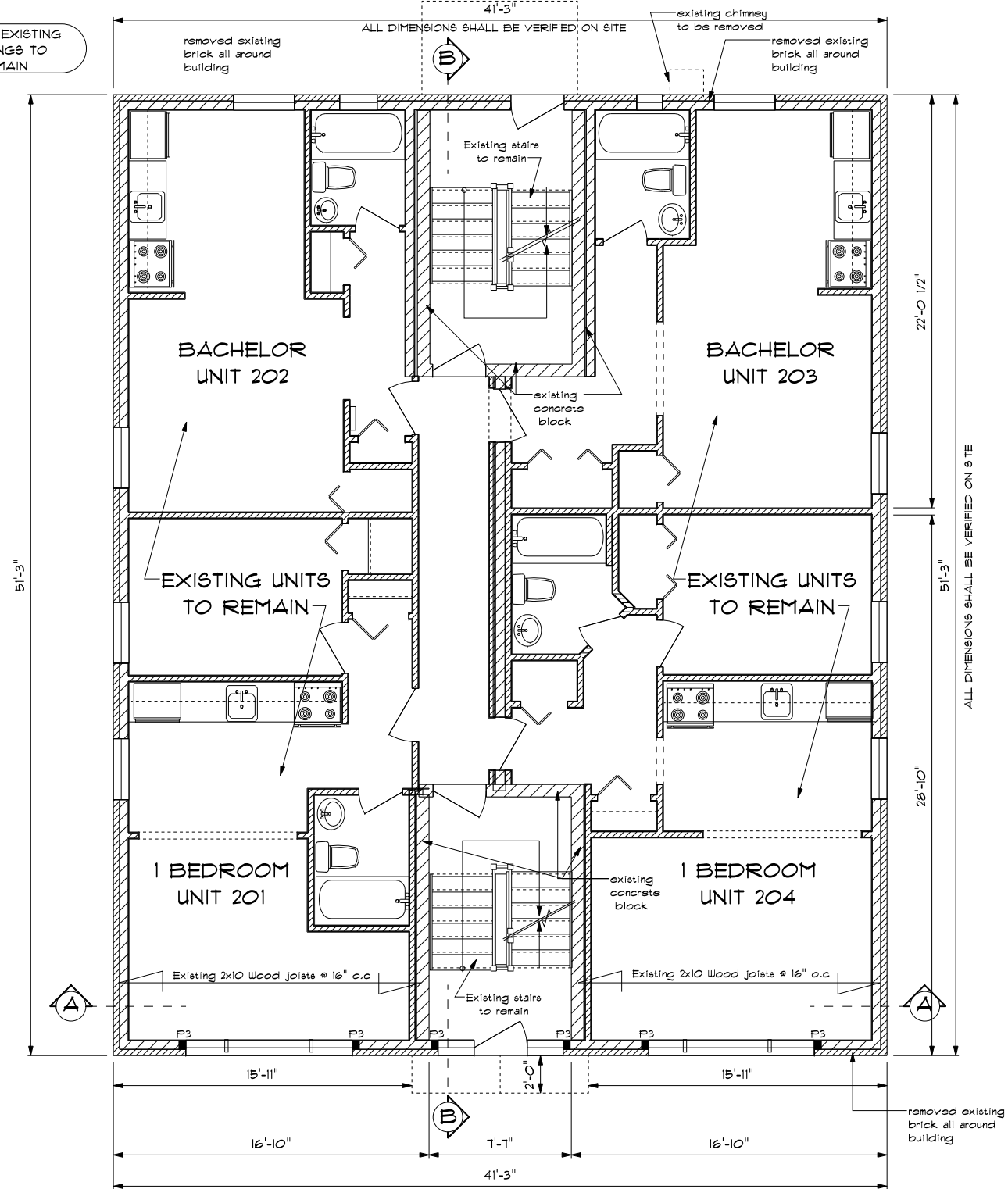
| | | |
|--------------------------------------------------|----------------------|--------------|
| PROJECT NAME | | |
| PROPOSED THIRD STOREY ADDITION FOR ERIC CHARETTE | | |
| 1186 SHILLINGTON AVENUE, OTTAWA | | |
| PROJECT NO. | 2018-0091 | DRAWINGS NO. |
| DRAWN BY | L.LAVOIE J.LEPAGE | SP1 |
| VERIFIED BY | L.LAVOIE | SP1 |



| | | | | | | | | | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-------------------------------------------------------------|--|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-----------------------------------------------------------|--|-------------|----------------------|--------------|----------|
| I, LUC LAVOIE, DECLARE THAT I REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF DIVISION C, OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES / CATEGORIES. | | Luc Lavoie REGISTERED B.C.I.N. ARCHITECTURAL DESIGNER | | <div>LAVOIE DESIGN & DRAFTING INC.</div> <div>1041 NOTRE DAME STREET, P.O. BOX 920, EMBRUN, ON. K0A 1W0 WEBSITE: WWW.LAVOIEDESIGN.CA EMAIL: INFO@LAVOIEDESIGN.CA 613-443-3461</div> | | PROJECT NAME | | PROJECT NO. | 2018-0091 | DRAWINGS NO. | 1/6 |
| | | | | | | PROPOSED THIRD STOREY ADDITION FOR ERIC CHARETTE | | DRAWN BY | L.LAVOIE J.LEPAGE | VERIFIED BY | L.LAVOIE |
| INDIVIDUAL B.C.I.N.: 23595 FIRM B.C.I.N.: 112094 | | DATE | | 3 Issued for site plan control 10/6/2019 2 ISSUED FOR CHANGES 24/09/2018 1 ISSUED FOR APPROVAL 20/09/2018 | | 1186 SHILLINGTON AVENUE, OTTAWA | | | | | |



BASEMENT FLOOR PLAN -EXISTING TO REMAIN



**MAIN FLOOR PLAN
- EXISTING TO REMAIN**

PROFESSIONAL ENGINEER

I, LUC LAVOIE, DECLARE THAT I REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF DIVISION C, OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES / CATEGORIES.

INDIVIDUAL B.C.I.N.: 23535
FIRM B.C.I.N.: 112054

DATE

Luc Lavoie
REGISTERED B.C.I.N.
ARCHITECTURAL DESIGNER

| NO. | REVISIONS | DATE |
|-----|------------------------------|------------|
| 3 | ISSUED FOR SITE PLAN CONTROL | 10/6/2019 |
| 2 | ISSUED FOR CHANGES | 24/03/2018 |
| 1 | ISSUED FOR APPROVAL | 20/09/2018 |



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EMBRUN, ON. K0A 1W0
WEBSITE: WWW.LAVOIEDESIGN.CA
EMAIL: INFO@LAVOIEDESIGN.CA
613-443-3461

PROJECT NAME

**PROPOSED THIRD
STOREY ADDITION
FOR
ERIC CHARETTE**

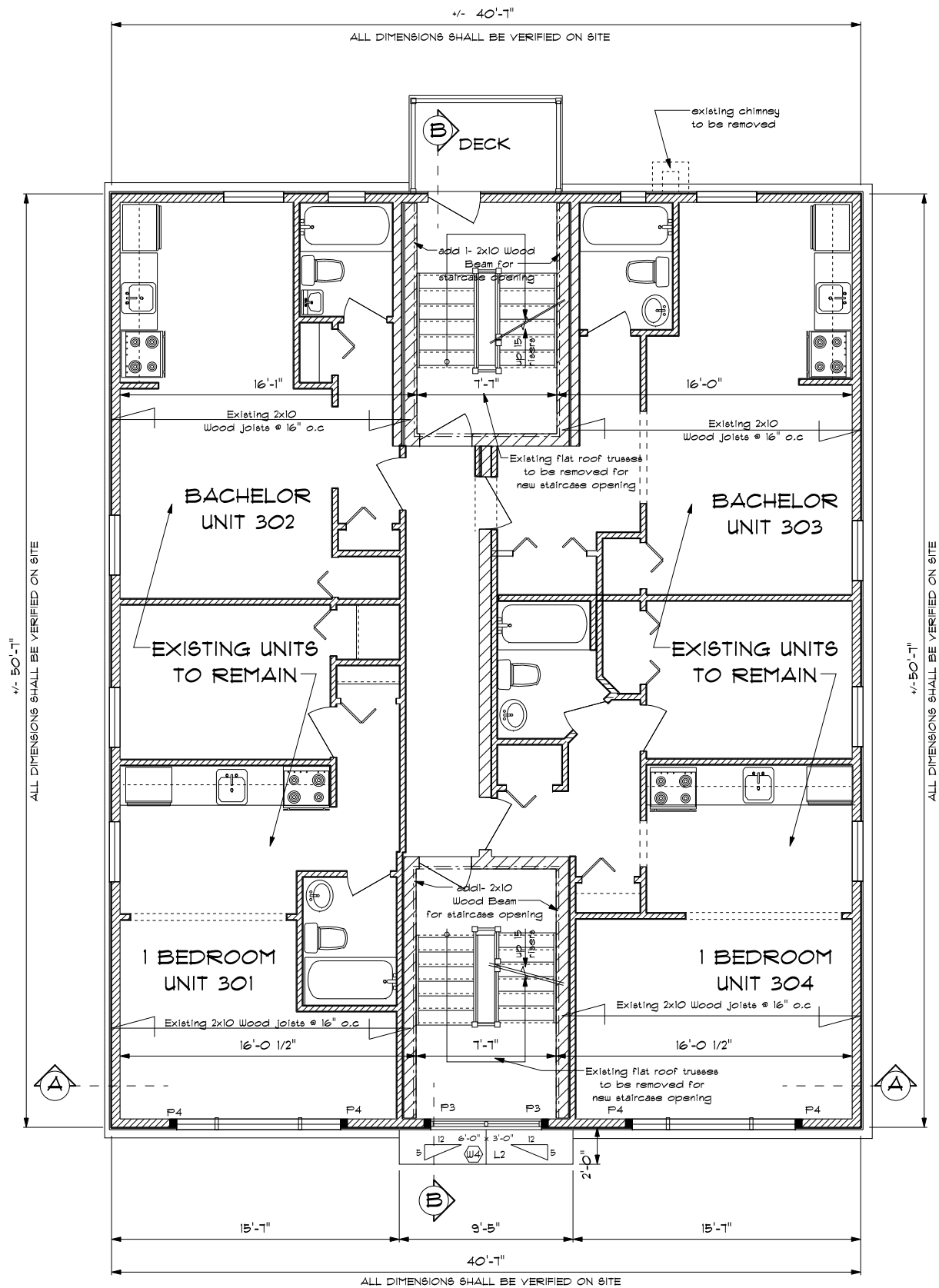
1186 SHILLINGTON AVENUE, OTTAWA

PROJECT NO. 2018-0031 DRAWINGS NO.

DRAWN BY L.LAVOIE J.LEPAGE

VERIFIED BY L.LAVOIE

**2
6**



SECOND FLOOR PLAN -EXISTING TO REMAIN

SCALE: 1/8" = 1'-0"

PROFESSIONAL ENGINEER

I, LUC LAVOIE, DECLARE THAT I REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF DIVISION C, OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES / CATEGORIES.

INDIVIDUAL B.C.I.N.: 23595
FIRM B.C.I.N.: 112054

DATE

Luc Lavoie
REGISTERED B.C.I.N.
ARCHITECTURAL DESIGNER

| | | |
|-----|------------------------------|------------|
| 3 | Issued for site plan control | 10/6/2019 |
| 2 | ISSUED FOR CHANGES | 24/09/2018 |
| 1 | ISSUED FOR APPROVAL | 20/09/2018 |
| NO. | REVISIONS | DATE |



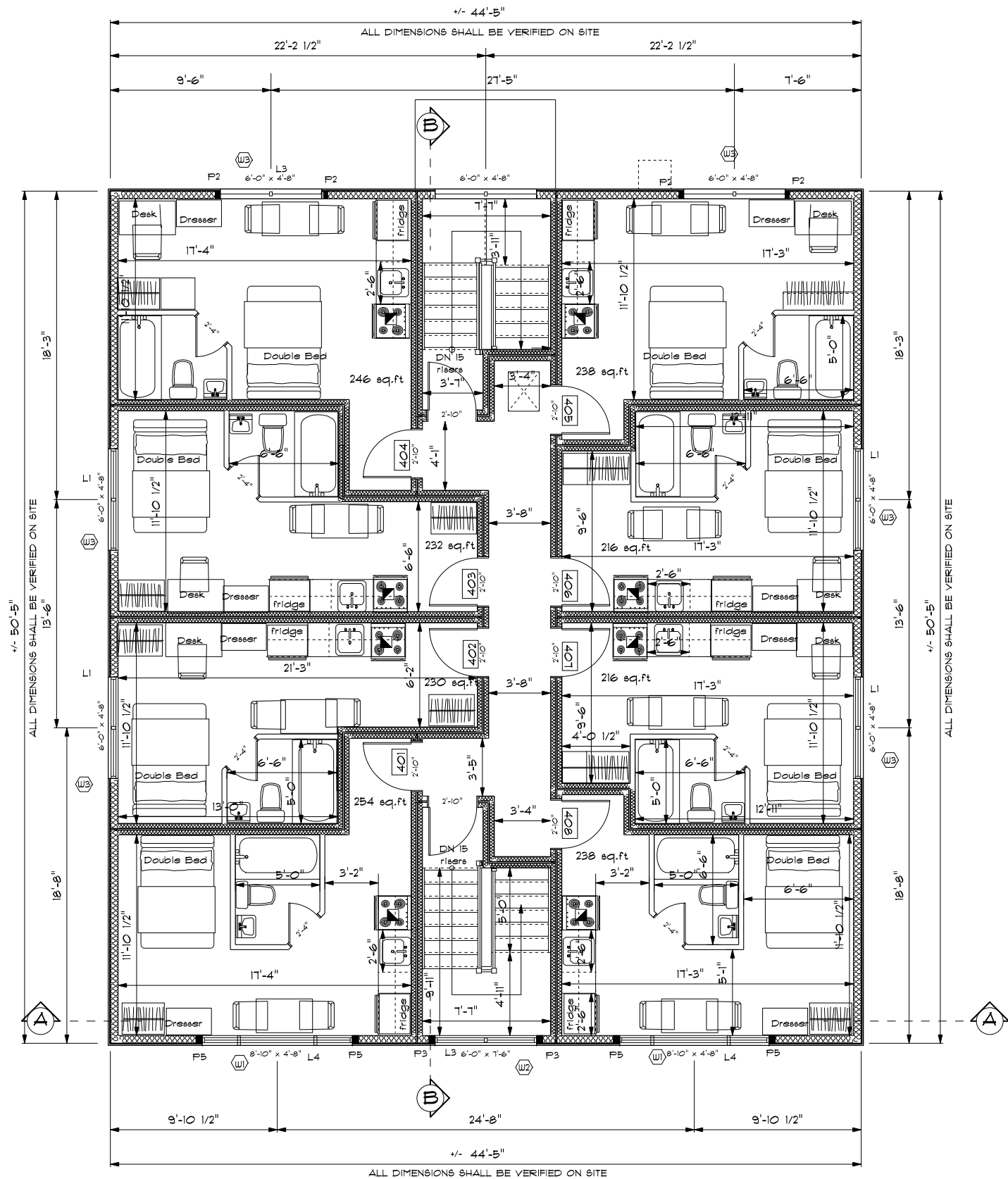
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PROJECT NAME

PROPOSED THIRD
STOREY ADDITION
FOR
ERIC CHARETTE

1186 SHILLINGTON AVENUE, OTTAWA

| | | |
|-------------|----------------------|--------------|
| PROJECT NO. | 2018-0091 | DRAWINGS NO. |
| DRAWN BY | L.LAVOIE J.LEPAGE | 3/6 |
| VERIFIED BY | L.LAVOIE | |



THIRD FLOOR -PROPOSED ADDITION

SCALE: 1/8" = 1'-0"

PROFESSIONAL ENGINEER

I, LUC LAVOIE, DECLARE THAT I REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF DIVISION C, OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES / CATEGORIES.

INDIVIDUAL B.C.I.N.: 23595
FIRM B.C.I.N.: 112054

DATE

Luc Lavoie
REGISTERED B.C.I.N.
ARCHITECTURAL DESIGNER

| | | |
|-----|------------------------------|------------|
| 3 | Issued for site plan control | 10/6/2019 |
| 2 | ISSUED FOR CHANGES | 24/09/2018 |
| 1 | ISSUED FOR APPROVAL | 20/09/2018 |
| NO. | REVISIONS | DATE |

LAVOIE
DESIGN & DRAFTING INC.

10471 NOTRE DAME STREET, P.O. BOX 928,
EMBRUN, ON. K0A 1W0

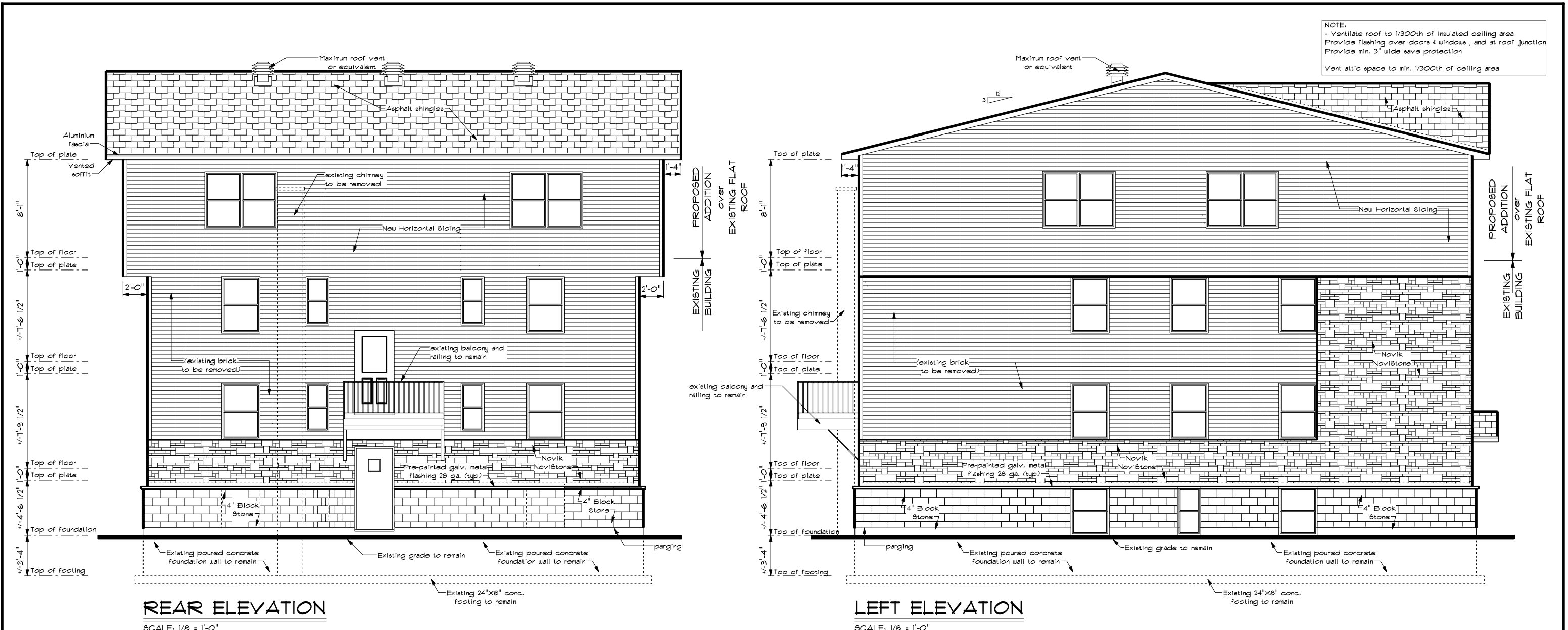
WEBSITE: WWW.LAVOIEDESIGN.CA
EMAIL: INFO@LAVOIEDESIGN.CA
613-443-3461

PROJECT NAME

PROPOSED THIRD
STOREY ADDITION
FOR
ERIC CHARETTE

1186 SHILLINGTON AVENUE, OTTAWA

| | | |
|-------------|----------------------|--------------|
| PROJECT NO. | 2018-0031 | DRAWINGS NO. |
| DRAWN BY | L.LAVOIE J.LEPAGE | 4 |
| VERIFIED BY | L.LAVOIE | 6 |



1. LUC LAVOIE, DECLARE THAT I REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF DIVISION C, OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES / CATEGORIES.

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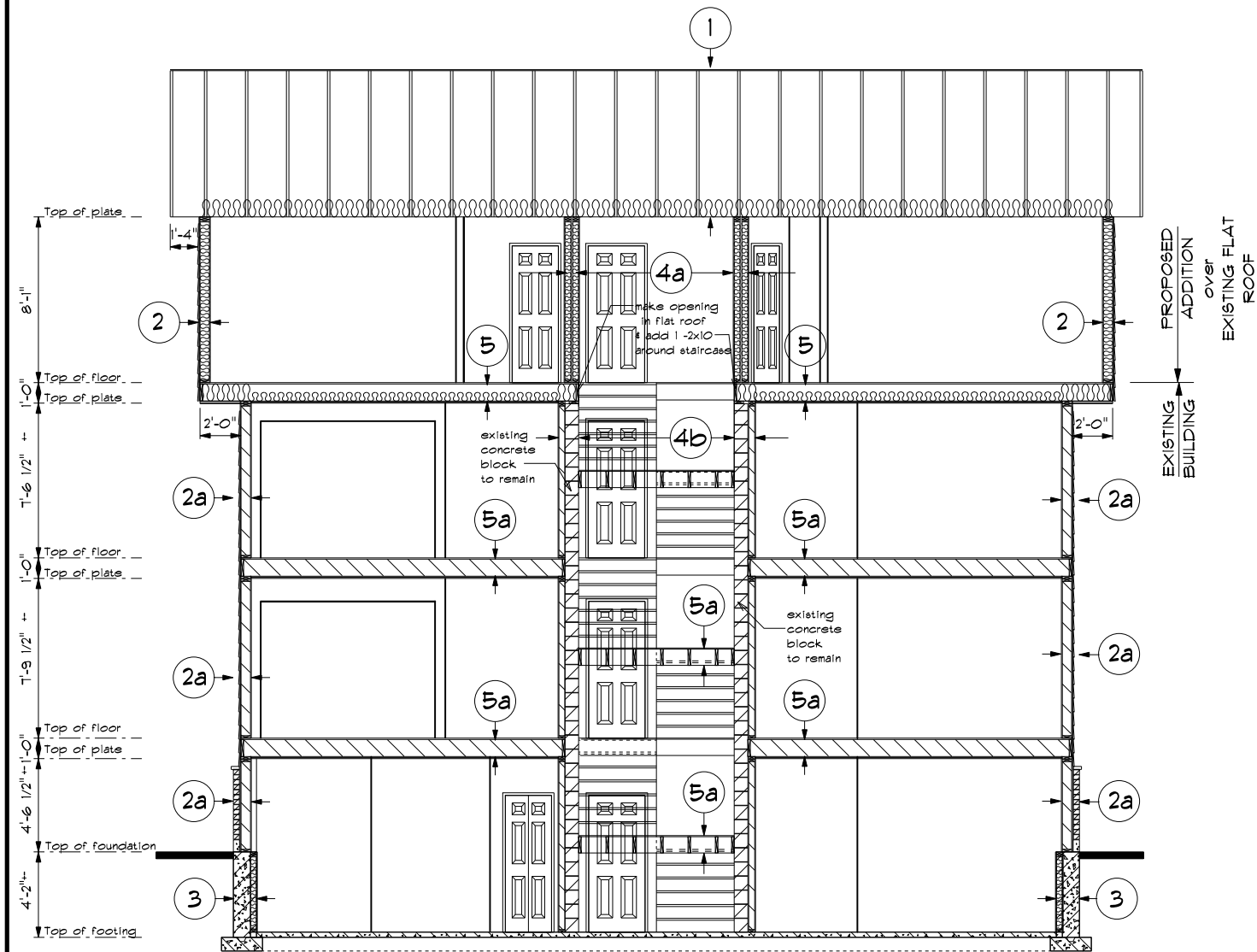
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613-443-3461

PROJECT NAME

**PROPOSED THIRD
STOREY ADDITION
FOR
ERIC CHARETTE**

1186 SHILLINGTON AVENUE, OTTAWA

| | | |
|-------------|---------------------|--------------|
| PROJECT NO. | 2018-0031 | DRAWINGS NO. |
| DRAWN BY | LLAVOIE J.LEPAGE | 5/6 |
| VERIFIED BY | LLAVOIE | |



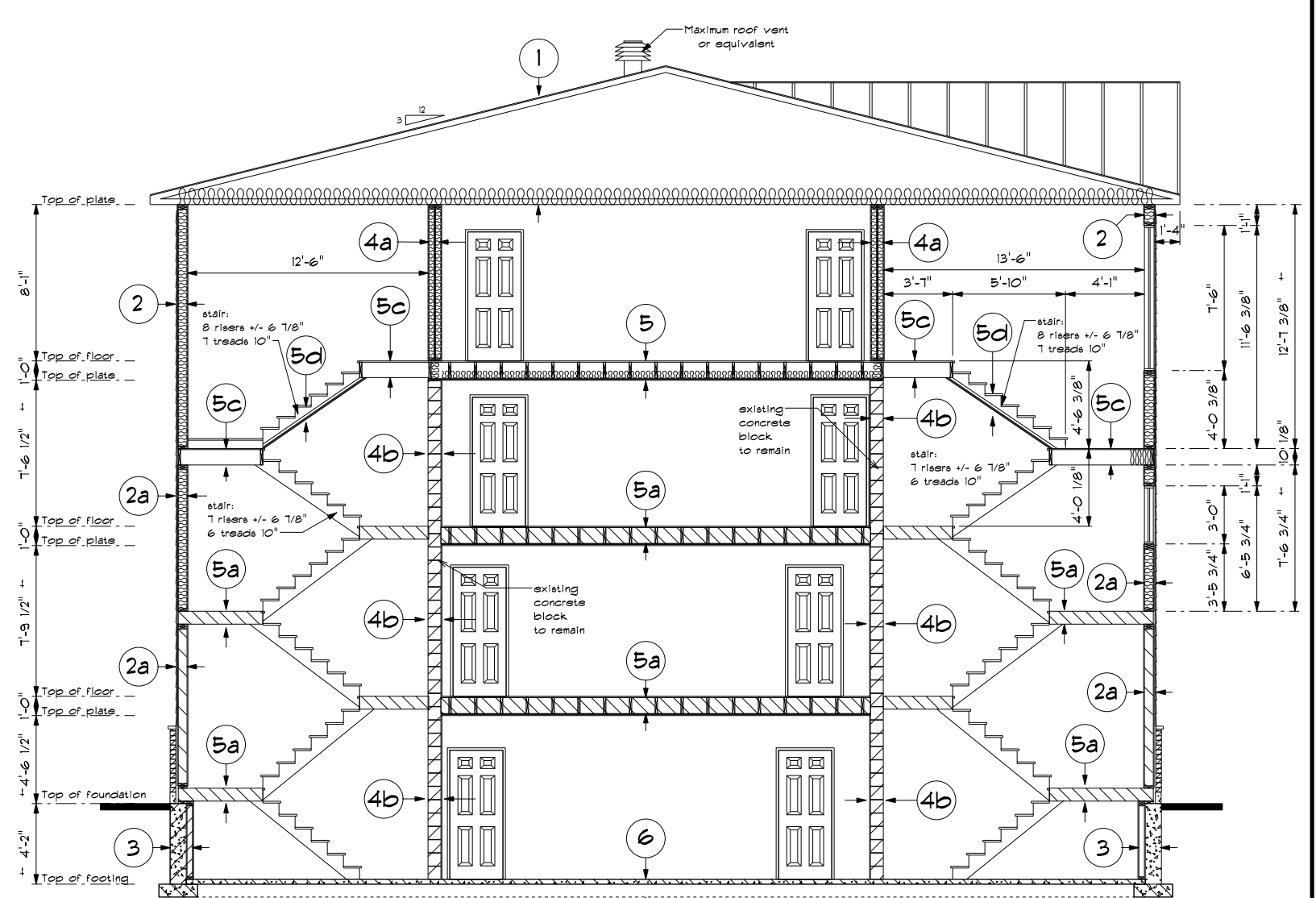
CROSS SECTION A

SCALE: 1/8" = 1'-0"

SPECIFICATIONS:

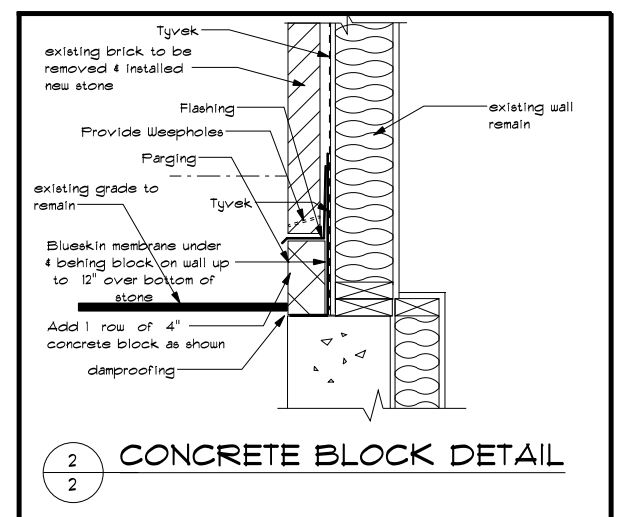
- 1 ROOF (NEW)**
- ASPHALT SHINGLES (LOW SLOPE APPLICATION)
 - ICE & WATER SHIELD (ALL OVER ROOF)
 - #15 FELT PAPER
 - 15/32" O.S.B. EXT.SHEETING C/W "H" CLIPS (aspenite)
 - PRE-FAB.ENG. DESIGN TRUSSES @ 24" O.C. (as shown on section and plans)
 - R 50 BATT OR BLOWN INSULATION (C/W STYROVENT)
 - 6 MIL VAPOUR BARRIER
 - 1X4 STRAPPING AT @ 16" O.C.
 - 5/8" TYPE "X" GYPSUM BOARD
- 2 EXTERIOR WALL (NEW)**
- F.R.R. 45M -EWIA 9B-3
 - HORIZONTAL SIDING
 - TYPAR OR TYVEK
 - 1/16" EXTERIOR SHEETING (aspenite)
 - 2X6 STUDS @ 16" O.C. TYPAR HEADER WRAP
 - R24 BATT INSULATION
 - 6 MIL VAPOUR BARRIER
 - 5/8" TYPE "X" GYPSUM BOARD
- 2a EXTERIOR WALL (EXISTING)**
- EXISTING 4" BRICK TO REMAIN
 - EXISTING TYPAR OR TYVEK
 - EXISTING EXTERIOR SHEETING
 - EXISTING STUDS TYPAR HEADER WRAP
 - EXISTING INSULATION
 - EXISTING VAPOUR BARRIER
 - EXISTING DRYWALL

- 3 FOUNDATION WALL (EXISTING)**
- EXISTING FOUNDATION WALL TO REMAIN
- 4 INTERIOR WALL (NEW)**
- 1/2" GYPSUM BOARD
 - 2X4 STUDS @ 16" O.C.
 - 1/2" GYPSUM BOARD
- 4a FIRE SEPERATION WALL (NEW STAIR)**
- SEE DETAIL ON PAGE 3
- 4b STAIRCASE WALL (EXISTING)**
- PLASTER OVER BLOCK (Staircase side) -EXISTING
 - 10" CONCRETE BLOCK WALL -EXISTING
 - GYPSUM BOARD (Apartment side) -EXISTING
- 5 FLOOR FINISH (NEW)**
- SEE DETAIL ON PAGE 4
- 5a FLOOR FINISH (EXISTING)**
- EXISTING FLOOR TO REMAIN
- 5c STAIR LANDING (NEW)**
- SEE DETAIL 4 ON PAGE 6
- 5d FIRE RATED STAIRS (NEW)**
- SEE DETAIL 5 ON PAGE 3
- 6 BASEMENT FLOOR (EXISTING)**
- EXISTING CONCRETE SLAB



CROSS SECTION B

SCALE: 1/8" = 1'-0"



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DRAWN BY

L.LAVOIE
J.LEPAGE

VERIFIED BY

L.LAVOIE

6/6