254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

ISSUED FOR SPC AND REZONING: 2024.08.29

ARCHITECTURAL

COVER PAGE A000 D100 DEMOLITION SITE PLAN A100 SITE PLAN A200 LEVEL -2 PLAN LEVEL -1 AND GROUND FLOOR PLANS LEVEL 1B AND LEVEL 1C PLANS A201 A202 LEVEL 2-9 FLOOR PLANS A203 ROOFS & PENTHOUSE PLANS A204 NORTH & SOUTH ELEVATIONS A300 A301 **EAST ELEVATION** A302 WEST ELEVATION A400 LONGITUDINAL SECTION

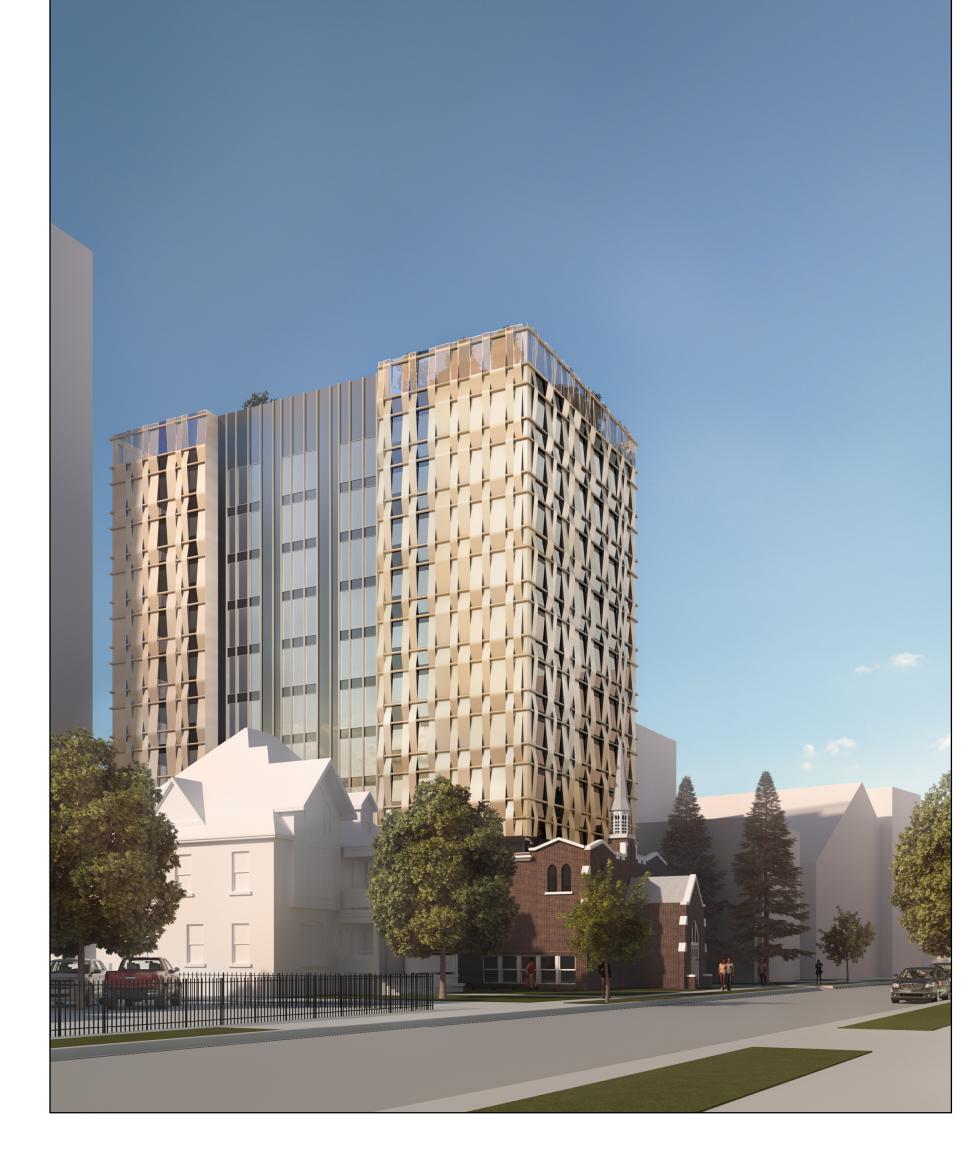
<u>CIVIL</u>

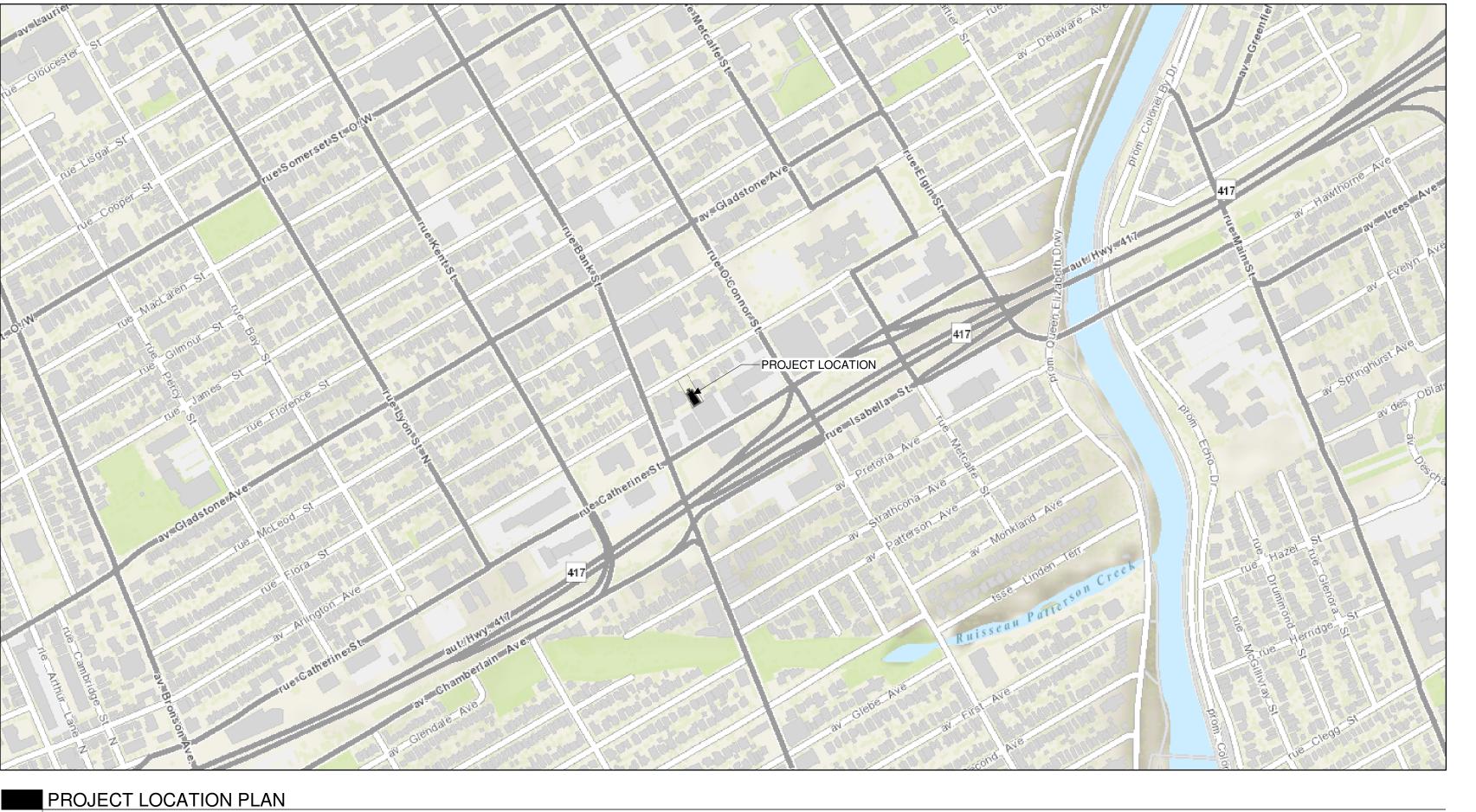
GENERAL PLAN OF SERVICES 123062-GP

123062-GR GRADING PLAN

<u>LANDSCAPE</u>

123062-TCR1 TREE CONSERVATION PLAN 1 123062-TCR2 TREE CONSERVATION PLAN 2 123062-L LANDSCAPE PLAN





ARCHITECT OF RECORD

CSV ARCHITECTS

sustainable design · conception écologique

190 O'Connor Street, Suite 100 613.564.8118 Ottawa, Ontario,K2P 2R3 www.csv.ca

DESIGN CONCEPT ARCHITECT

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AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT



OTTAWA ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

COVER PAGE

PROJECT NO: 2023-0250 DRAWN: APPROVED: DH

As indicated DATE PRINTED: 9/3/2024 11:11:07 AM

REV

DEMOLITION SITE PLAN KEYNOTES:

- 1 EXISTING SIDEWALK TO REMAIN
- 3 EXISTING CURB TO REMAIN
- 4 EXISTING SIGN TO REMAIN

46.50m N 31° 56' 30" W

5 EXISTING LANDSCAPING TO REMAIN.

← 5

.______

21 REMOVE AND PRESERVE CHURCH WALLS AND STEEPLE BRICK BY BRICK. REFER TO 254 ARGYLE AVENUE CHURCH RELOCATION OPTIONS ANALYSIS OPTION 3, PREPARED BY REMISZ, DATED MARCH 28, 2024. DEMOLISH REMAINDER OF BUILDING.

- 22 REMOVE EXISTING LANDSCAPING AT AREA OF WORK
- 23 REMOVE EXISTING SIDEWALK
- 24 REMOVE EXISTING ASPHALT DRIVEWAY
- 25 REMOVE EXISTING CURB
- 26 REMOVE AND REINSTATE EXISTING ROAD ASSEMBLY AS REQUIRED FOR TRENCHING AND UTILITY SERVICE CONSTRUCTION. CUT PAVING IN STRAIGH LINES. MATCH EXISTING PAVING ASSEMBLY AND ELEVATIONS.
- 27 TRENCH AS REQUIRED FOR UTILITY SERVICE REMOVAL AND NEW CONSTRUCTION. FILL TRENCHES PER GEOTECHNICAL. MATCH ADJACENT SITE LEVELS AND CONDITIONS

EXISTING 1 STOREY GARAGE

TO REMAIN

28 REMOVE AND RELOCATE EXISTING FIRE HYDRANT PER CIVIL

DEMOLITION SITE PLAN GENERAL NOTES:

- 1. ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS 2. DO NOT SCALE THIS DRAWING
- NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS 4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON
 - SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF

REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

- CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- 6. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB
- **EXCAVATION** THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO
- **EXCAVATION** INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

DEMOLITION SITE PLAN LEGEND:

EXISTING BUILDING & SITE ELEMENTS

——E-X———E-X—— EXISTING FENCE TO REMAIN

—E-WTR—E-WTR— EXISTING WATER MAIN TO REMAIN

— SAN-D- — SANITARY SEWAGE TO REMOVE

——E-ST———E-ST— EXISTING STORM SEWAGE TO REMAIN

— -st-d— — st-d- — STORM SEWAGE TO REMOVE

—E-OHW——E-OHW— EXISTING ELECTRICAL OVERHEAD SERVICE TO

——E-G———E-G—— EXISTING GAS LINE TO REMAIN

——E-B——E-B— EXISTING BELL LINE TO REMAIN

EXISTING UTILITY POLE

EXISTING VALVE AND VALVE BOX TO REMAIN

EXISTING TREE TO REMAIN

REMOVE EXITING TREE

DEMOLISHED BUILDING & SITE ELEMENTS PROPERTY LINE

— -x-D— — -x-D- — FENCE TO REMOVE

— wtr-d- — -wtr-d — WATER MAIN TO REMOVE

—E-SAN—E-SAN— EXISTING SANITARY SEWAGE TO REMAIN

REMAIN — OHW-D- — -OHW-D — ELECTRICAL OVERHEAD SERVICE TO REMOVE

— -G-D— — G-D- — GAS LINE TO REMOVE

——E-R——E-R—— EXISTING ROGER LINE TO REMAIN

EXISTING CATCH BASIN EXISTING LIGHT STANDARD

EXISITING FIRE HYDRANT FIRE HYDRANT TO REMOVE

EXISTING MAINTENANCE HOLE

ONTARIO, CANADA **PROJECT**

254 ARGYLE

OTTAWA

ARCHITECT OF RECORD

DESIGN CONCEPT ARCHITECT

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NOTES

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REV DATE ISSUE

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London, England EC2N 4BQ

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MECHANICAL + ELECTRICAL ENGINEER

Engineers, Planners & Landscape Architects

Engineers, Planners & Landscape Architects Suite 200, 240 Michael Cowpland Drive

ASSOC

LICENCE

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ONTARIO BUILDING CODE AND ALL SUPPLEMENTS

URBAN DEVELOPMENTS

WITH ALL OTHER PROJECT DRAWINGS AND

AND APPLICABLE MUNICIPAL REGULATIONS.

CONSENT OF CSV ARCHITECTS.
2. THE DRAWINGS, PRESENTATIONS AND

CONSENT OF CSV ARCHITECTS.

SPECIFICATIONS.

CLIENT

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190 O'Connor Street, Suite 100

Ottawa, Ontario,K2P 2R3

254 Argyle Avenue, Ottawa, Ontario

TITLE

DEMOLITION SITE PLAN

PROJECT NO: 2023-0250 DRAWN: EF / IK APPROVED: DH As indicated

REV DRAWING NO.

DATE PRINTED: 9/3/2024 11:11:10 AM

D100



2 EXISTING ASPALT PAVING TO REMAIN

MIN. LOT WIDTH 22.5m MIN. LOT AREA MIN. FRONT YARD SETBACK MIN. REAR YARD SETBACK MIN. INTERIOR YARD SETBACK 1.5m (6m past 21m) MAX. HEIGHT

RESIDENTIAL SPACES

42 (.5/UNIT)

PROVIDED

ZONING PROVISION REQUIRED PROVIDED 20.17m 937.05m² 1.42m 3.759m 1.5m

VISITOR SPACES

254 ARGYLE

ACCESSIBLE PARKING BICYCLE PARKING

34.5m 587m²

AMENITY AREA

EXISTING

2.5 STOREY BUILDING

TO REMAIN

← 5 **→**

GM

937.6m²

633.56m²

3,810.12m²

R5B H(19)

AREA B

AREA X

35m 9 STOREYS

SITE AREA

ZONE:

BUILDING AREA

GROSS FLOOR AREA

BUILDING HEIGHT

SCHEDULE 1:

SCHEDULE 1A:

· — — — — — — — »

1 DEMOLITION SITE PLAN

LEGAL DESCRIPTION

REGISTERED PLAN 30

REFERENCE SURVEY

REGISTERED PLAN 30

MUNICIPAL ADDRESS

254 ARGYLE AVE. OTTAWA, ON

CITY OF OTTAWA

VOLLEBEKK LTD.

CITY OF OTTAWA

LOT 16 (SOUTH ARGYLE AVENUE)

LOT 16 (SOUTH ARGYLE AVENUE)

DRAFT OF TOPOGRAPHIC PLAN OF SURVEY OF

PREPARED BY SURVEYED BY ANNIS, O'SULLIVAN,

46.50m N 31° 57' 10" W

EXISTING 7 STOREY BUILDING TO REMAIN

LANDSCAPED AREA 270.94m²

SITE PLAN KEYNOTES:

- 1 EXISTING SIDEWALK TO REMAIN
- 2 EXISTING ASPHALT PAVING TO REMAIN
- 3 EXISTING CURB TO REMAIN
- 4 EXISTING SIGN TO REMAIN
- 5 EXISTING LANDSCAPING TO REMAIN.

EXISTING

2.5 STOREY BUILDING

TO REMAIN

41047

NEW BUILDING

84 UNITS

254 ARGYLE AVE.

46.50m N 31° 56' 30" W

- 21 RELOCATE EXISTING CHURCH FACADE TO NEW LOCATION
- 22 VENTED CISTERN LID
- 23 NEW CONCRETE SIDEWALK PER CIVIL
- 24 REINSTATE TOP SOIL AND GRASS IN BETWEEN ROAD AND SIDEWALK AT AREAS EFFECTED BY CONSTRUCTION
- 25 NEW CURB PER CIVIL
- 26 REINSTATE EXISTING ROAD ASSEMBLY PER CIVIL AT AREAS EFFECTED BY DEMOLITION AND CONSTRUCTIONS. PROVIDE SMOOTH TRANSITION TO EXISTING PAVING.
- 27 BACKFILL TRENCHES AS REQUIRED PER CIVIL AND GEOTECHNICAL.
- 28 RELOCATE EXISTING FIRE HYDRANT PER CIVIL
- 29 NEW DRIVEWAY PER CIVIL
- 30 NEW CURB WALL PER CIVIL
- 31 OVERHEAD DOOR TO UNDERGROUND PARKING

4 5 →

32 WOOD PRIVACY FENCE PER LANDSCAPING 33 TERMINATE WOOD PRIVACY FENCE FLUSH TO THE

RETAINING WALL PER LANDSCAPING

39 RAISED PLANTER WALL PER LANDSCAPING

EXISTING 1 STOREY GARAGE

TO REMAIN

4017

30 39

3759

34 PEDESTRIAN GATE

38 VAULT

35 WALKWAY PER LANDSCAPING

36 PATIO PER LANDSCAPING

37 PLANTS PER LANDSCAPING

- NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS

SITE PLAN GENERAL NOTES:

2. DO NOT SCALE THIS DRAWING

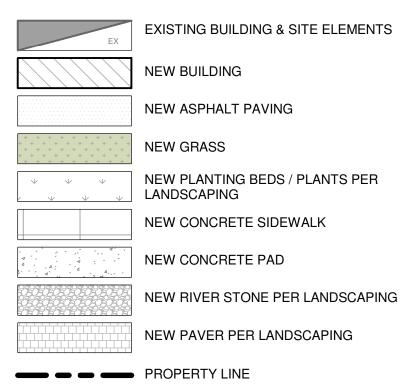
FROM EXISTING PLANS AND SURVEYS

4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT

3. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

- 5. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT 6. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC.
- TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB **EXCAVATION** 7. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT
- GUARANTEED CONTRACTOR TO VERIFY PRIOR TO **EXCAVATION**
- 8. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- 9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN LEGEND:



 -	-	-	—	SET BACK L

---- EXTENT OF PARKING BELOW GRADE

—E-WTR—E-WTR— EXISTING WATER MAIN TO REMAIN

—wtr—wtr— NEW WATER MAIN PER CIVIL

——SAN——SAN——NEW SANITARY SEWAGE PER CIVIL

—E-SAN—E-SAN— EXISTING SANITARY SEWAGE TO REMAIN

——E-ST——E-ST— EXISTING STORM SEWAGE TO REMAIN

—E-OHW——E-OHW— EXISTING ELECTRICAL OVERHEAD SERVICE TO

——OHW——OHW— NEW ELECTRICAL OVERHEAD SERVICE PER ELECTRICAL

——E-G——E-G—— EXISTING GAS LINE TO REMAIN

— G — NEW GAS LINE PER CIVIL

——E-B——E-B—— EXISTING BELL LINE TO REMAIN

——E-R——E-R—— EXISTING ROGER LINE TO REMAIN

ENTRANCE/ BARRIER-FREE ENTRANCE

MAIN ENTRANCE

VEHICLE ACCESS NEW AREA DRAIN PER CIVIL

> MAINTENANCE HOLE: EXISTING TO REMAIN / **NEW PER CIVIL**

CATCH BASIN: EXISTING TO REMAIN / NEW

UTILITY POLE: EXISTING TO REMAIN / NEW VALVE AND VALVE BOX : EXISTING TO REMAIN / NEW PER CIVIL

LIGHT STANDARD

NEW FIRE HYDRANT PER CIVIL -()_{FH} NEW WATER METER PER CIVIL NEW REMOTE WATER METER PER CIVIL

NEW SIAMESE CONNECTION

DC NEW DROPPED CURB

EX. V&VB

NEW TREE PER LANDSCAPING

EXISTING TREE TO REMAIN

SHRUB: EXISTING TO REMAIN / NEW PER

ARCHITECT OF RECORD

CSV ARCHITECTS 1. ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED

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OTTAWA ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE

SITE PLAN

PROJECT NO: 2023-0250 DRAWN: EF / IK APPROVED: DH

DATE PRINTED: 9/3/2024 11:11:13 AM REV DRAWING NO.

As indicated

A100

AREA X VOLLEBEKK LTD. SCHEDULE 1A: AMENITY AREA MUNICIPAL ADDRESS LANDSCAPED AREA 254 ARGYLE AVE. OTTAWA, ON

ZONE:

3957

GM

6062

1 NEW SITE PLAN

LOT 16 (SOUTH ARGYLE AVENUE)

LOT 16 (SOUTH ARGYLE AVENUE)

DRAFT OF TOPOGRAPHIC PLAN OF SURVEY OF

PREPARED BY SURVEYED BY ANNIS, O'SULLIVAN,

LEGAL DESCRIPTION

REGISTERED PLAN 30

REFERENCE SURVEY

REGISTERED PLAN 30

CITY OF OTTAWA

CITY OF OTTAWA

SITE AREA 937.6m² ZONING PROVISION REQUIRED **BUILDING AREA** 633.56m² MIN. LOT WIDTH GROSS FLOOR AREA 3,810.12m² MIN. LOT AREA **BUILDING HEIGHT** 35m 9 STOREYS MIN. FRONT YARD SETBACK R5B H(19) MIN. REAR YARD SETBACK AREA B SCHEDULE 1:

4 5 →

RESIDENTIAL SPACES 937.05m² VISITOR SPACES 1.42m ACCESSIBLE PARKING 3.759m **BICYCLE PARKING** 1.5m

46.50m N 31° 57' 10" W

EXISTING

7 STOREY BUILDING

TO REMAIN

37090

PROVIDED

587m²

270.94m²

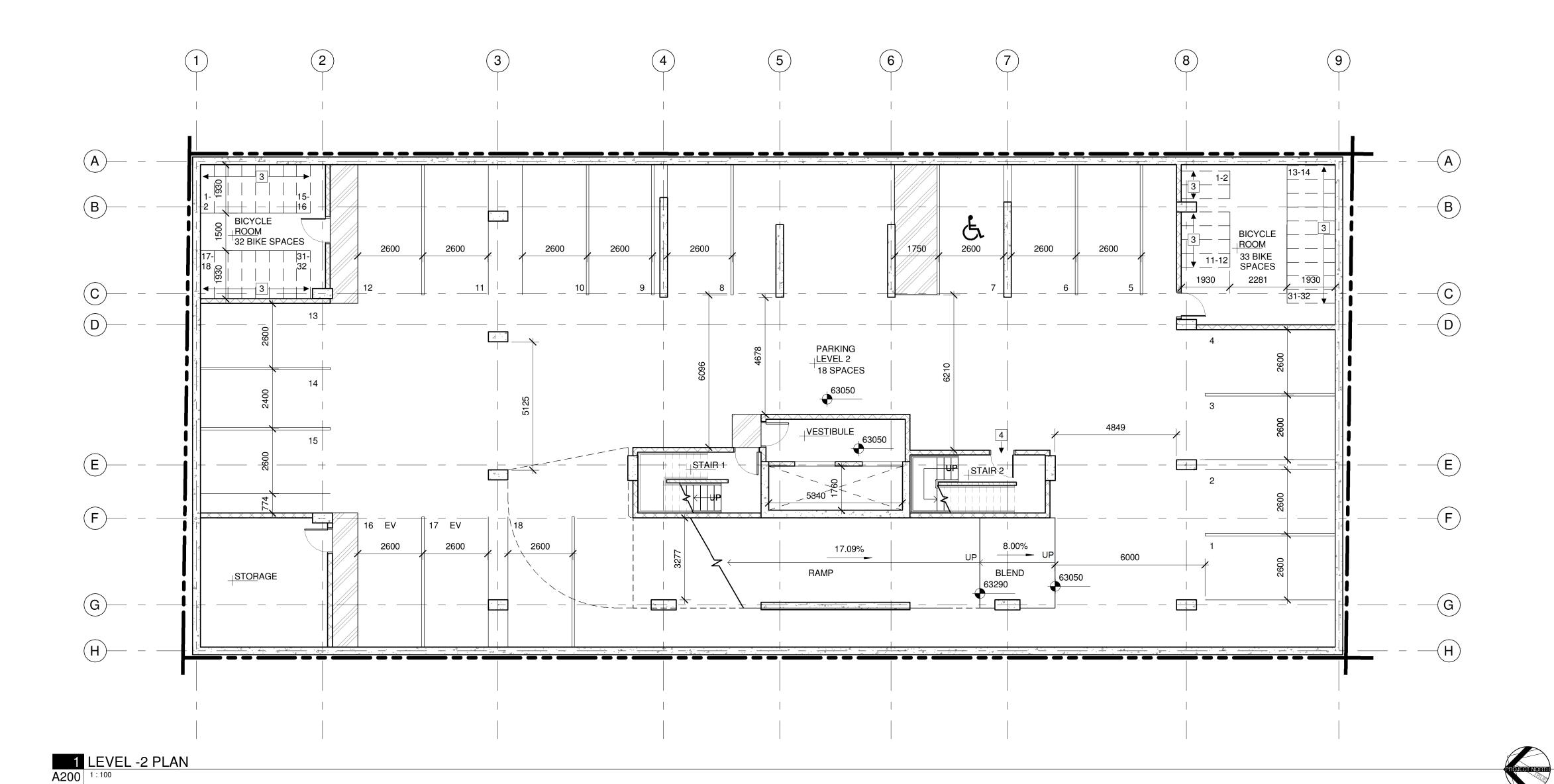
42732

20.17m 22.5m 7.5m MIN. INTERIOR YARD SETBACK 1.5m (6m past 21m) 34.5m MAX. HEIGHT

504m² (6m²/unit)

42 (.5/UNIT)

PROVIDED



CALE DRAWINGS.

 A. DO NOT SCALE DRAWINGS.
 B. DIMENSIONS ARE FOR LOCATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTINGS, COLUMNS AND FOUNDATION WALL SIZES.

GENERAL REFERENCE PLAN NOTES:

- C. REFER TO MECHANICAL + ELECTRICAL DRAWINGS FOR DETAILS OF UNDERGROUND SERVICES.D. ALL EXTERIOR FOUNDATION WALLS ARE DIMENSIONED TO
- EXTERIOR FACE OF ASSEMBLY UNLESS OTHERWISE NOTED.

 E. ALL INTERIOR FOUNDATION WALLS + FOOTINGS ARE
 DIMENSIONED FROM GRIDLINE TO FACE UNLESS OTHERWISE
- NOTED.

 F. ALL WINDOWS ARE DIMENSIONED TO CENTERLINE OF
- WINDOWS ARE DIMENSIONED TO CENTERLINE OF WINDOW OPENING, UNLESS OTHERWISE NOTED.

 G. ALL DOORS ARE DIMENSIONED TO CENTERLINE OF DOOR
- OPENING, INCLUDING SIDELIGHT FRAMING, UNLESS OTHERWISE NOTED H. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE EXTERIO
- H. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE EXTERIOR FINISHED FACE, UNLESS NOTED OTHERWISE.

 I. ALL INTERIOR DIMENSIONS ARE DIMENSIONED FROM
- INTERIOR FINISHED FACES OF EXTERIOR WALLS, UNLESS OTHERWISE NOTED.

 J. ALL INTERIOR WALLS ARE DIMENSIONED TO CENTERLINE OF PARTITION, UNLESS OTHERWISE NOTED. CONSIDER OFFSET FROM PARTITION CENTERLINE TO STUD FRAMING CENTER
- BASED ON WALL ASSEMBLY.

 K. ENSURE 25mm MINIMUM THICKNESS OF CONCRETE COVER
 OVER VERTICAL STEEL REINFORCEMENT TO ALL REINFORCED
 CONCRETE STRUCTURAL COLUMNS AND WALLS.

REFERENCE PLAN KEYNOTES:

- 1 CISTERN OVERFLOW AND HATCH / VENTED CISTERN LID
- 2 EXTENT OF DROPPED SLAB ABOVE
- 3 DOUBLE TEAR BICYCLE STORAGE SPACES
- 4 EXIT ONLY
- 5 EXTENT OF FOUNDATION WALL BELOW

REFERENCE PLAN LEGEND:



PAINTED PARKING ISLAND

NOT IN CONTRACT

ARCHITECT OF RECORD

CSV ARCHITECTS

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OTTAWA ONTARIO, CANADA

PROJECT

CLIENT

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE

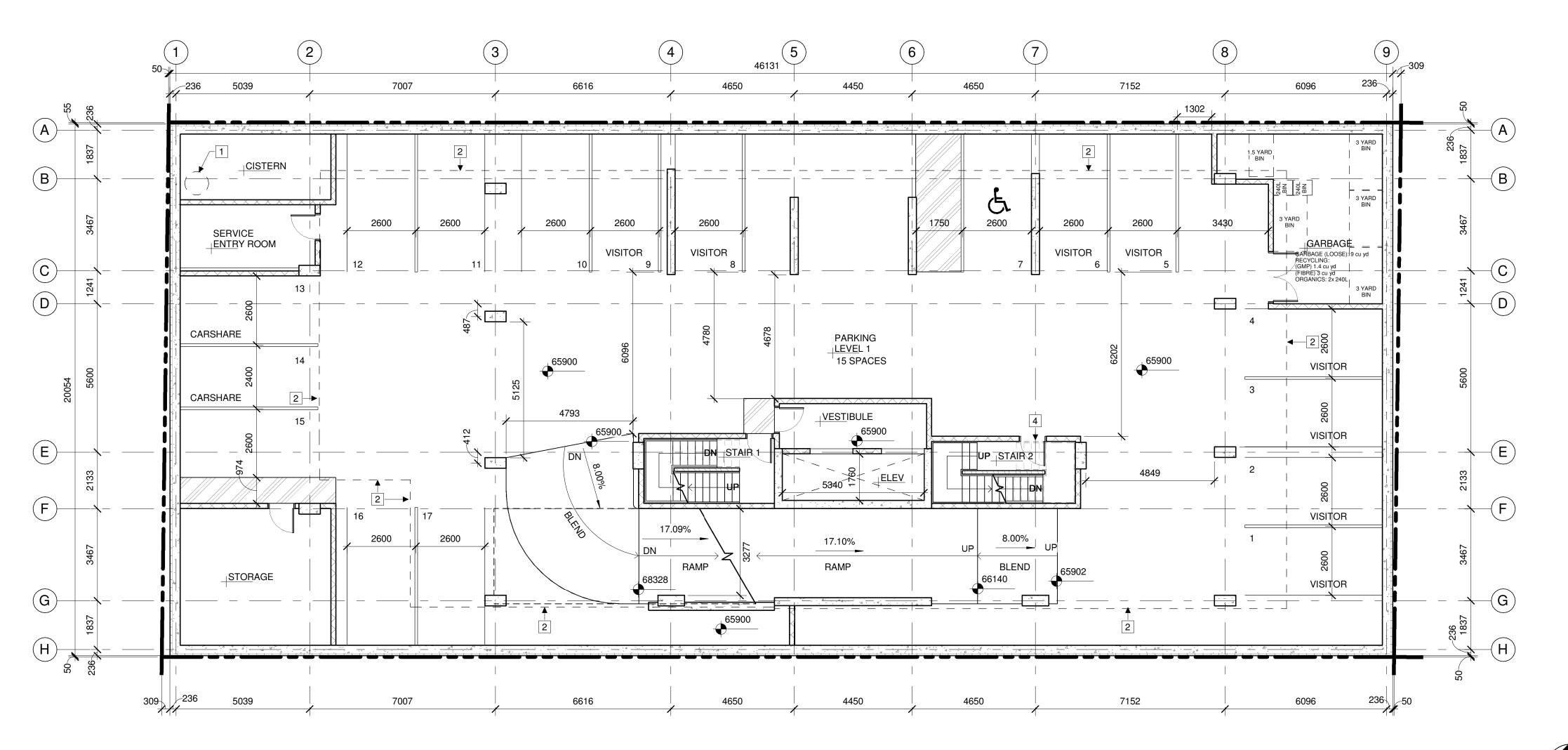
REV

LEVEL -2 PLAN

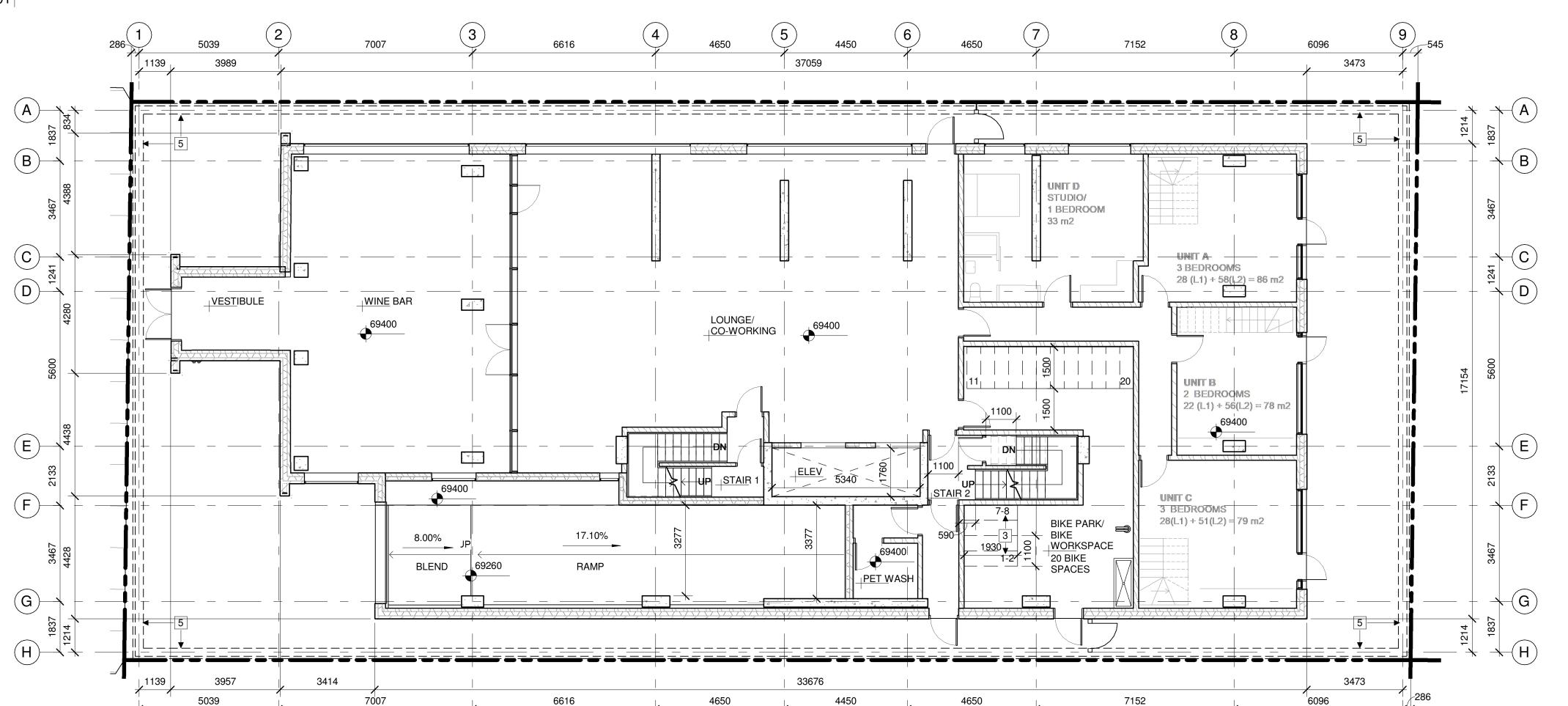
PROJECT NO: 2023-0250
DRAWN: Author
APPROVED: Approver

SCALE: 1:100
DATE PRINTED: 9/3/2024 11:11:17 AM

DRAWING NO.



1 LEVEL -1 PLAN A201 1:100



2 GROUND FLOOR REFERENCE PLAN

A201 1:100

GENERAL REFERENCE PLAN NOTES:

- A. DO NOT SCALE DRAWINGS.
 B. DIMENSIONS ARE FOR LOCATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR FOOTINGS, COLUMNS AND FOUNDATION WALL SIZES.
- C. REFER TO MECHANICAL + ELECTRICAL DRAWINGS FOR DETAILS OF UNDERGROUND SERVICES.D. ALL EXTERIOR FOUNDATION WALLS ARE DIMENSIONED TO
- E. ALL INTERIOR FOUNDATION WALLS ARE DIMENSIONED TO EXTERIOR FACE OF ASSEMBLY UNLESS OTHERWISE NOTED.

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- H. ALL EXTERIOR WALLS ARE DIMENSIONED TO THE EXTER
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 I. ALL INTERIOR DIMENSIONS ARE DIMENSIONED FROM
- INTERIOR FINISHED FACES OF EXTERIOR WALLS, UNLESS OTHERWISE NOTED.

 J. ALL INTERIOR WALLS ARE DIMENSIONED TO CENTERLINE OF PARTITION, UNLESS OTHERWISE NOTED. CONSIDER OFFSET FROM PARTITION CENTERLINE TO STUD FRAMING CENTER
- BASED ON WALL ASSEMBLY.

 K. ENSURE 25mm MINIMUM THICKNESS OF CONCRETE COVER OVER VERTICAL STEEL REINFORCEMENT TO ALL REINFORCED CONCRETE STRUCTURAL COLUMNS AND WALLS.

REFERENCE PLAN KEYNOTES:

- 1 CISTERN OVERFLOW AND HATCH / VENTED CISTERN LID
- 2 EXTENT OF DROPPED SLAB ABOVE
- 3 DOUBLE TEAR BICYCLE STORAGE SPACES
- 4 EXIT ONLY
- 5 EXTENT OF FOUNDATION WALL BELOW

REFERENCE PLAN LEGEND:



NOT IN CONTRACT

PAINTED PARKING ISLAND

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CLIENT



OTTAWA ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE

REV

LEVEL -1 AND GROUND FLOOR PLANS

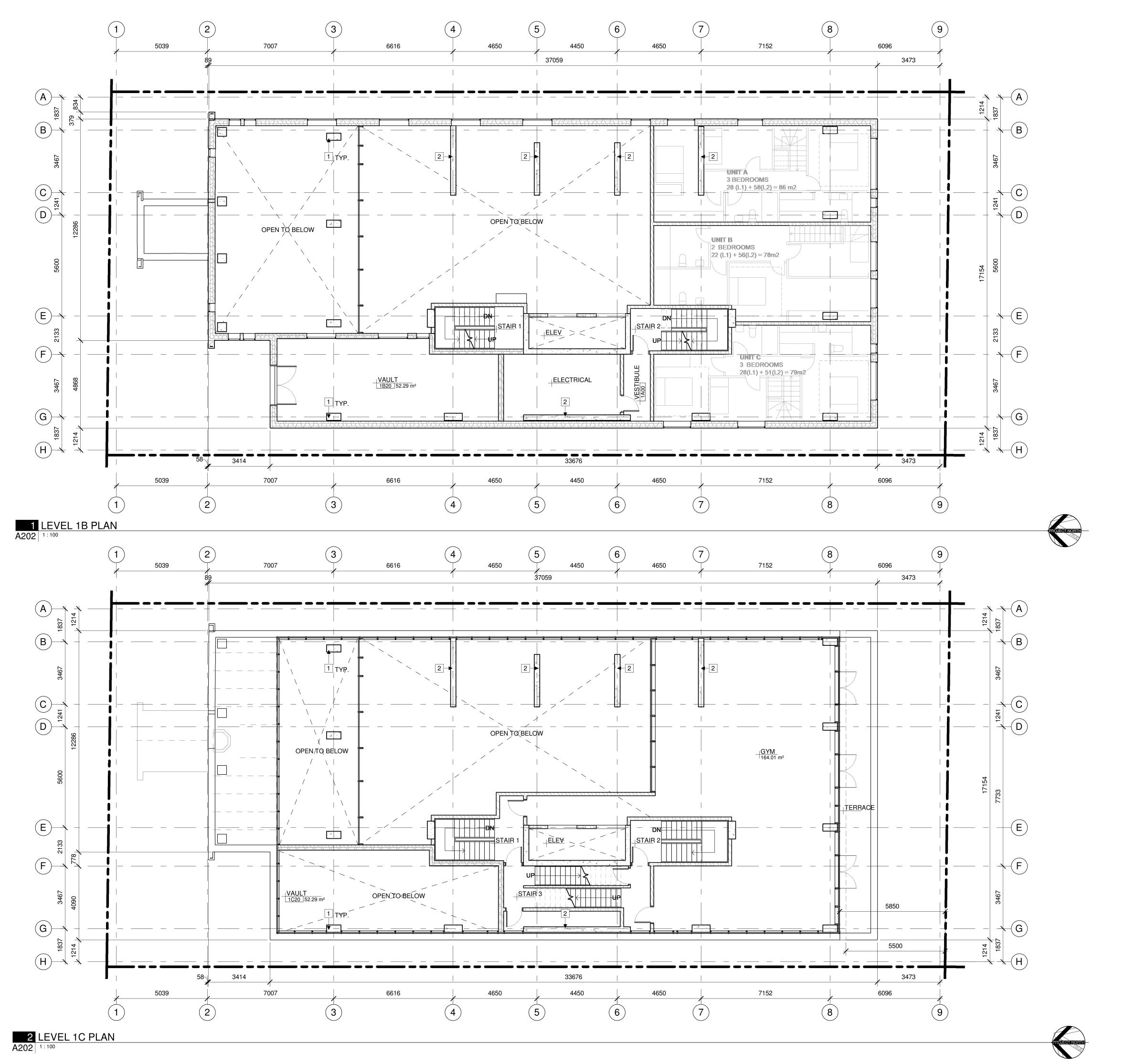
PROJECT NO: 2023-0250
DRAWN: IK / EF
APPROVED: DH

APPROVED: DH

SCALE: 1:100

DATE PRINTED: 9/3/2024 11:11:21 AM

DRAWING NO.



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- D. ALL WINDOWS ARE DIMENSIONED TO CENTERLINE OF WINDOW OPENING, UNLESS OTHERWISE NOTED. E. ALL DOORS ARE DIMENSIONED TO CENTERLINE OF DOOR OPENING, INCLUDING SIDELIGHT FRAMING, UNLESS
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REFERENCE PLAN KEYNOTES:

- 1 COLUMN PER STRUCTURAL
- 2 WALL PER STRUCTURAL

REFERENCE PLAN LEGEND:

NOT IN CONTRACT

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OTTAWA ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE

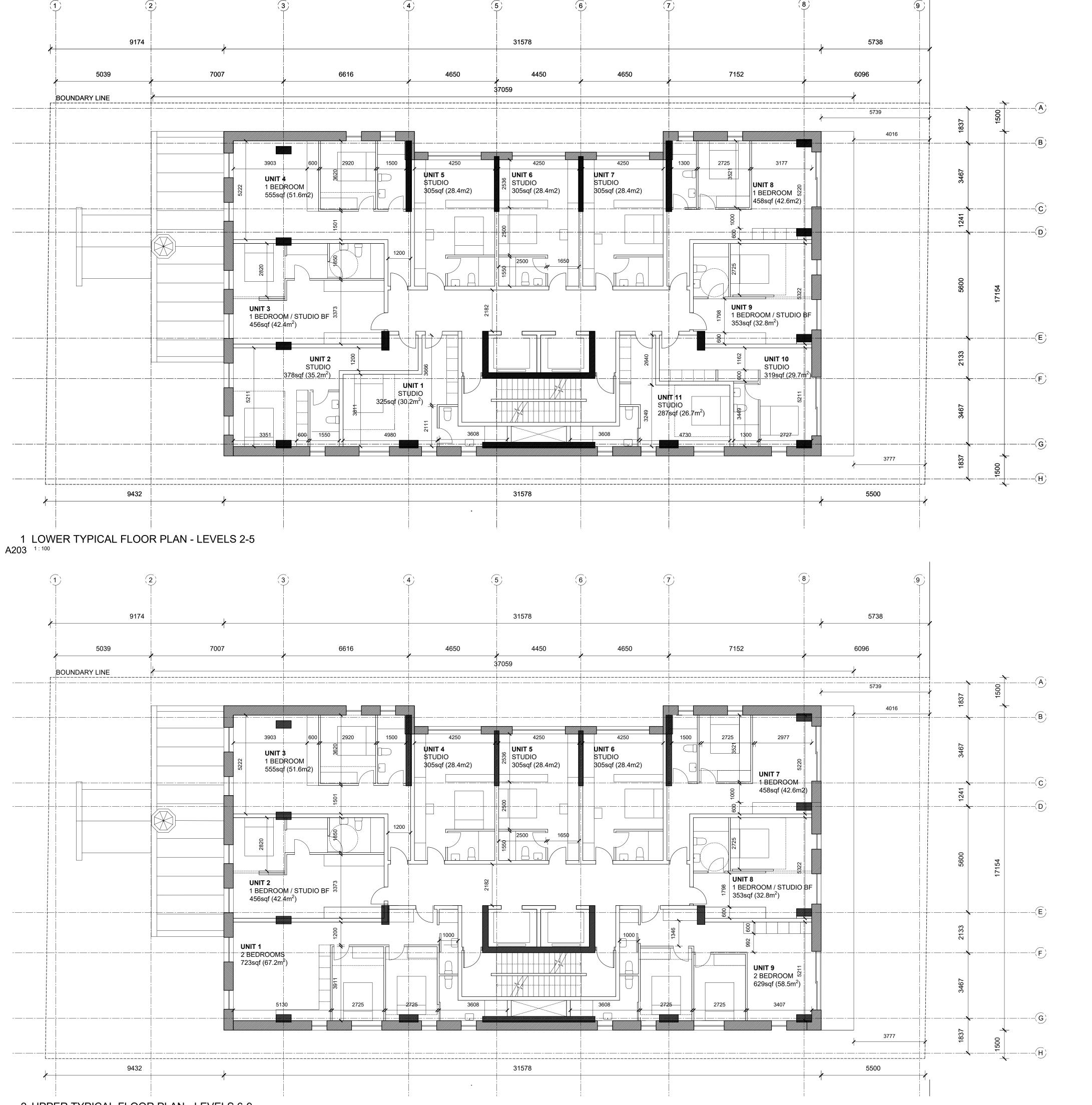
LEVEL 1B AND LEVEL 1C PLANS

PROJECT NO: 2023-0250 DRAWN: IK / EF / RK APPROVED: DH 1:100

REV DRAWING NO.

A202

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254 Argyle, Ottawa, Ontario

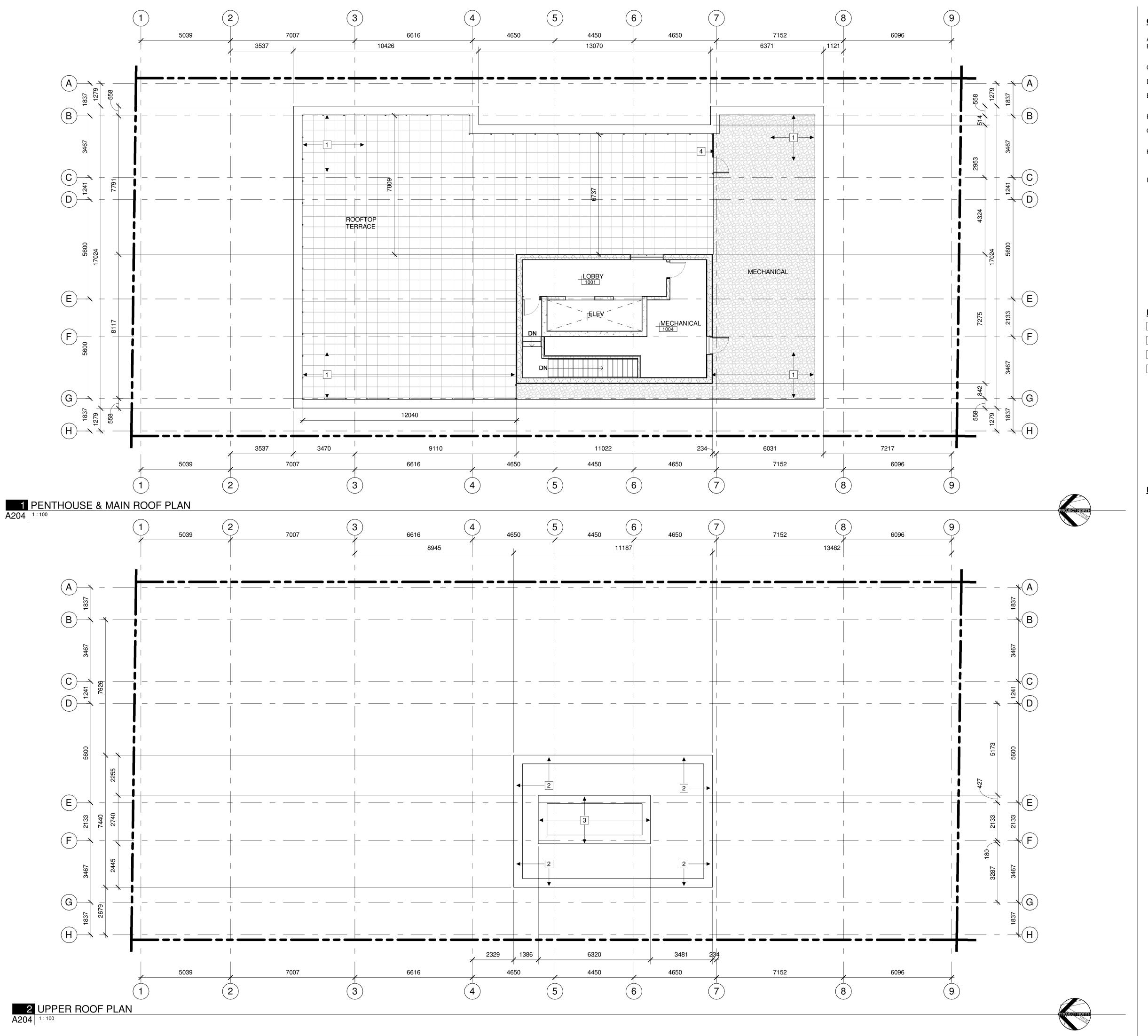
TITLE

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LEVELS 2-9 FLOOR PLANS

PROJECT NO: 2023-0250
DRAWN: SPICE
APPROVED: SPICE
SCALE: 1:100

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REFERENCE PLAN KEYNOTES:

BASED ON WALL ASSEMBLY.

- 1 LOWER LEVEL ROOF
- 2 UPPER ROOF
- 3 ELVATOR SHAFT ROOF
- 4 ROOF SCREEN AND GATE

REFERENCE PLAN LEGEND:

NOT IN CONTRACT

ARCHITECT OF RECORD

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OTTAWA ONTARIO, CANADA

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254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

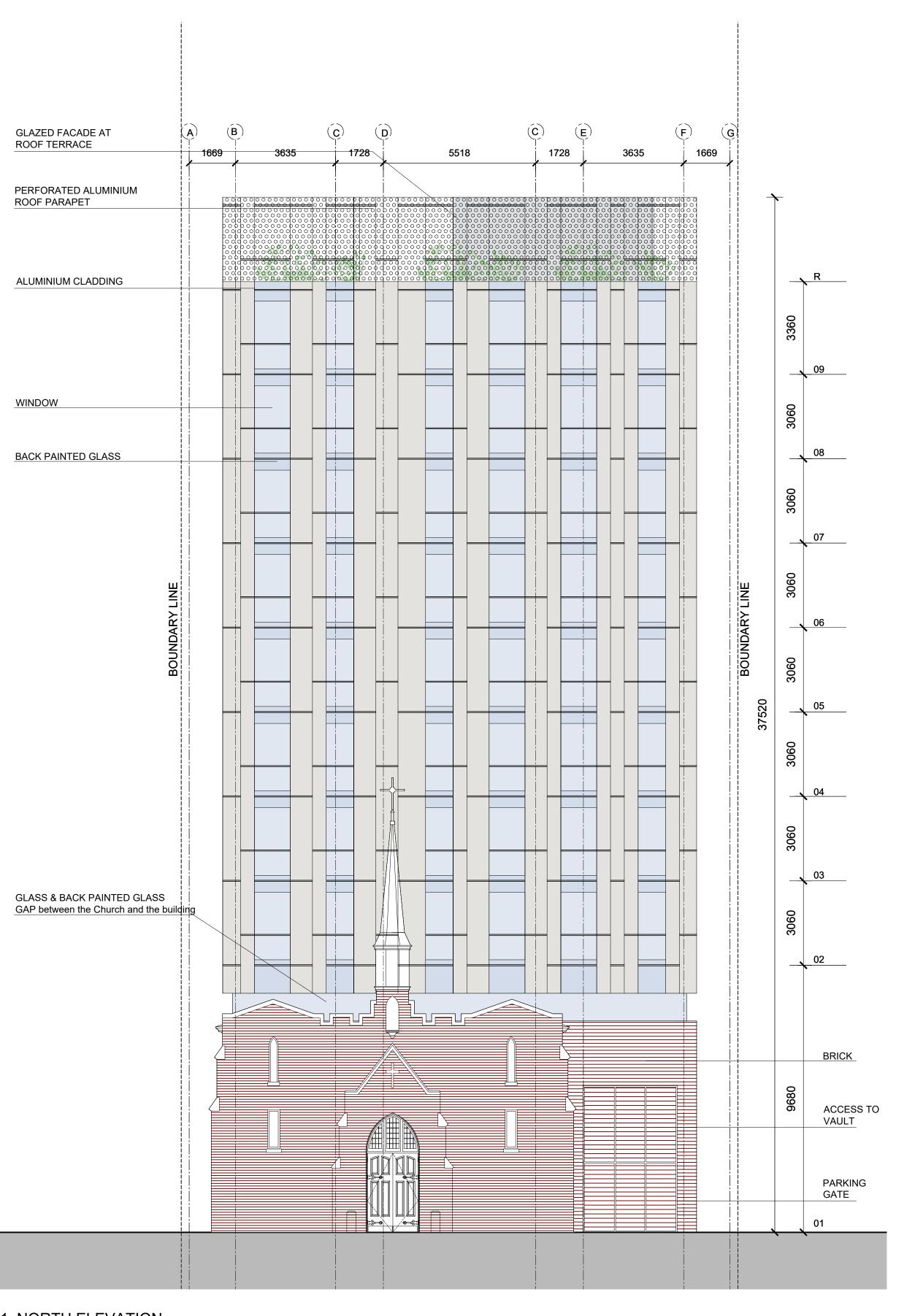
TITLE

ROOFS & PENTHOUSE PLANS

PROJECT NO: 2023-0250 DRAWN: IK / EF / RK APPROVED: DH 1:100

DRAWING NO.

DATE PRINTED: 9/3/2024 11:11:28 AM



GLAZED FACADE AT ROOF TERRACE 1669 1728 5518 1728 3635 1669 PERFORATED ALUMINIUM **ROOF PARAPET** ALUMINIUM CLADDING WINDOWS BACK PAINTED GLASS 03 GLASS & BACK PAINTED GLASS GAP between the Church and the building BRICK

1 SOUTH ELEVATION

A300 1:100

1 NORTH ELEVATION A300 1:100

ARCHITECT OF RECORD

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NORTH & SOUTH ELEVATIONS

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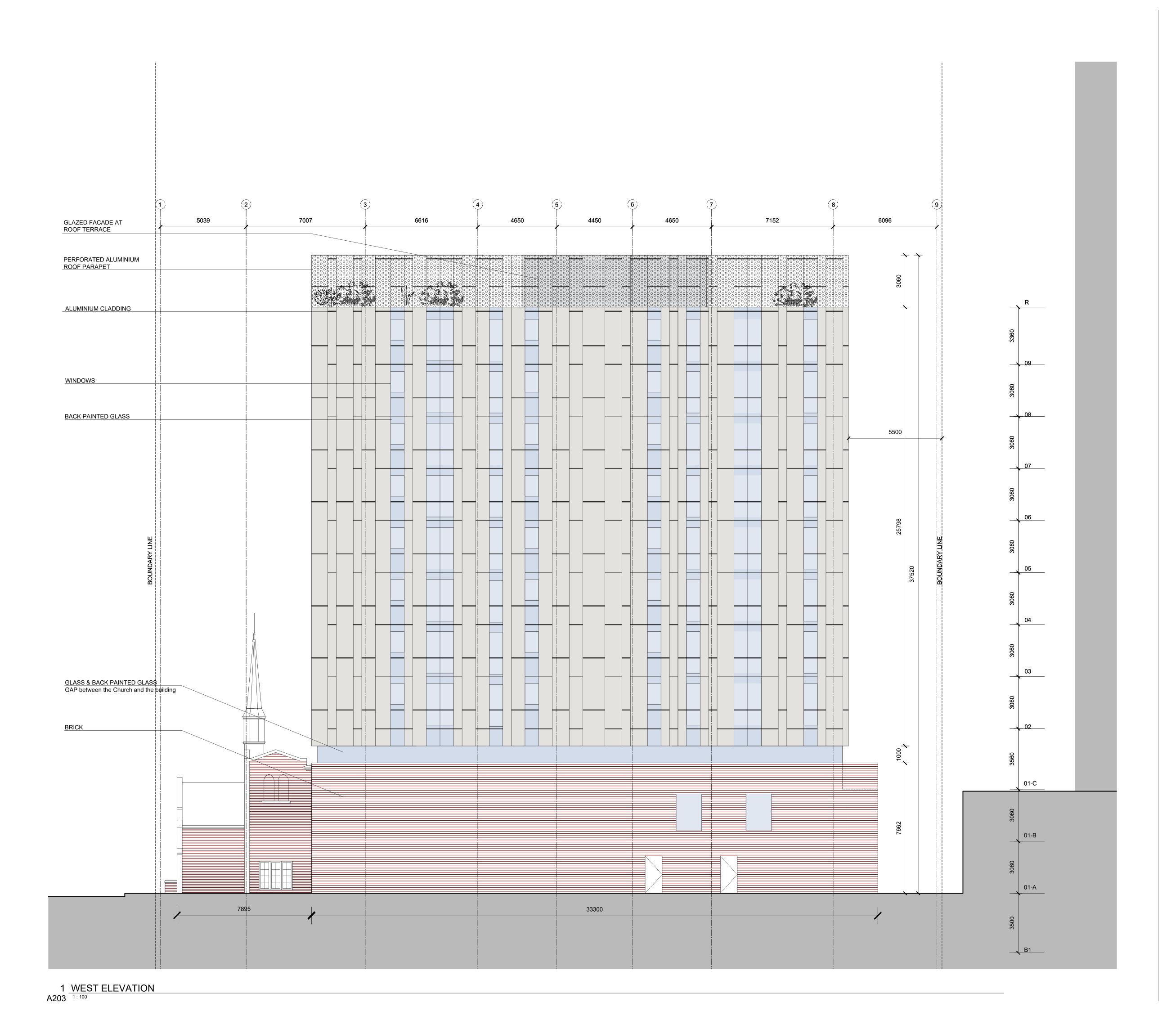
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EAST ELEVATION

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SCALE: 1:100

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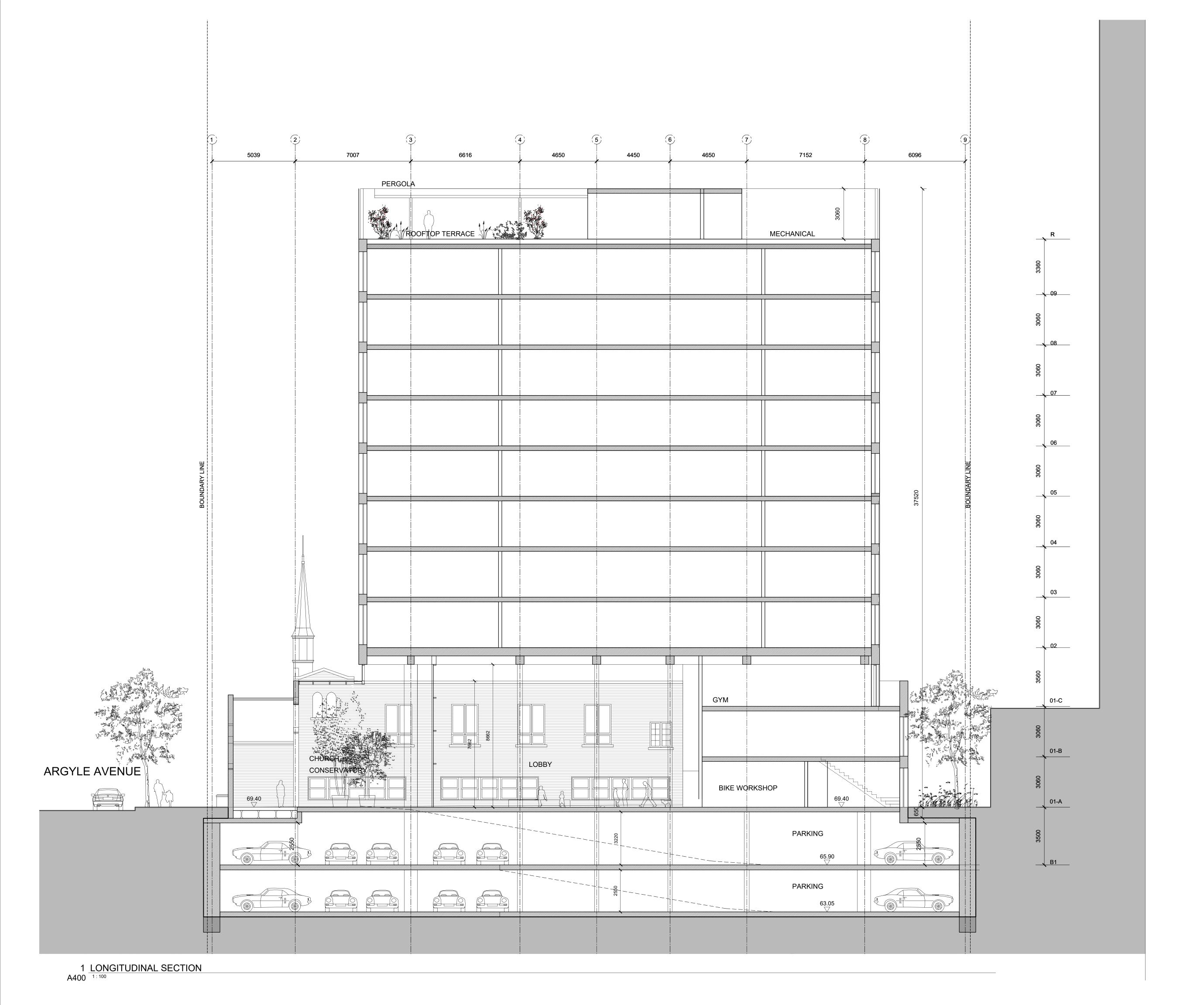
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254 Argyle, Ottawa, Ontario

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PROJECT NO: 2023-0250 DRAWN: SPICE APPROVED: SPICE SCALE: 1:100

DRAWING NO.

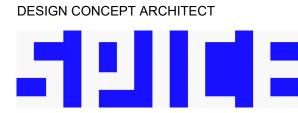


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OTTAWA ONTARIO, CANADA

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254 Argyle, Ottawa, Ontario

TITLE

LONGITUDINAL SECTION

PROJECT NO: 2023-0250
DRAWN: SPICE
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SCALE: 1:100

DRAWING NO.