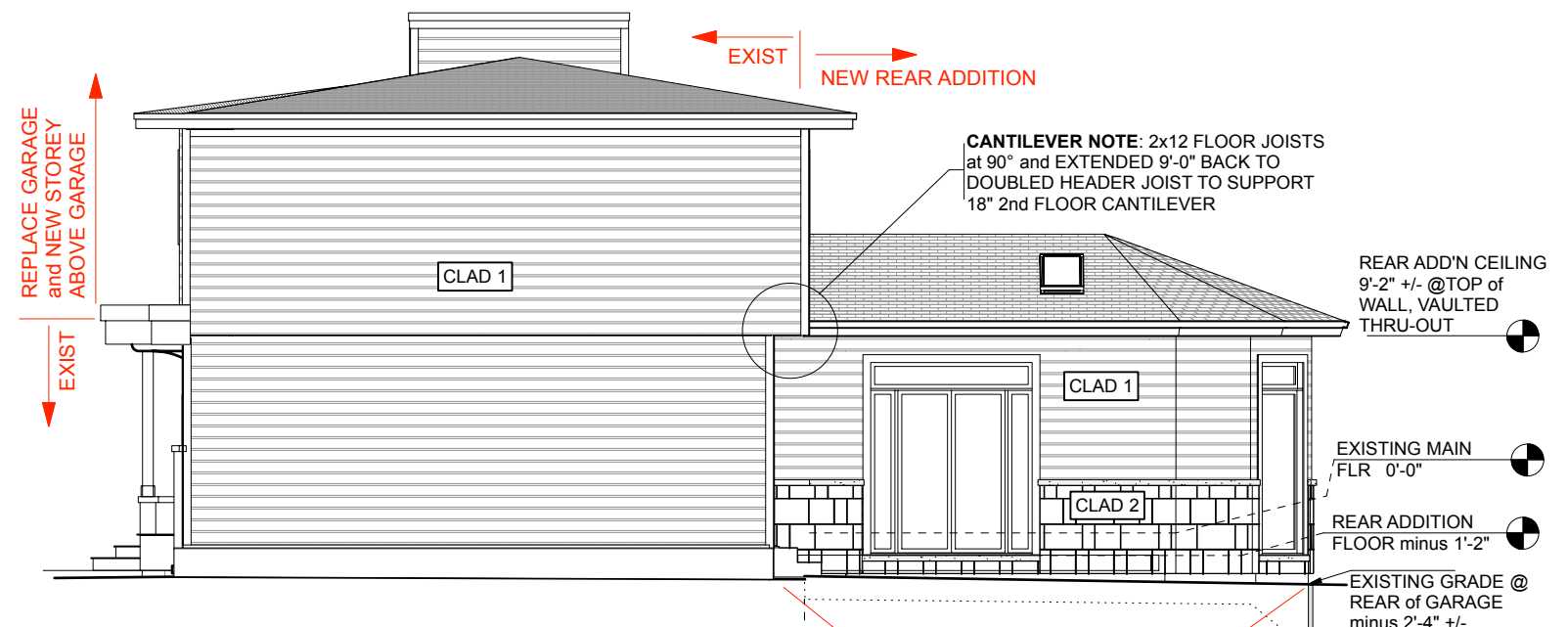


1 FRONT (South Side)
Scale: 1/8" = 1'-0"

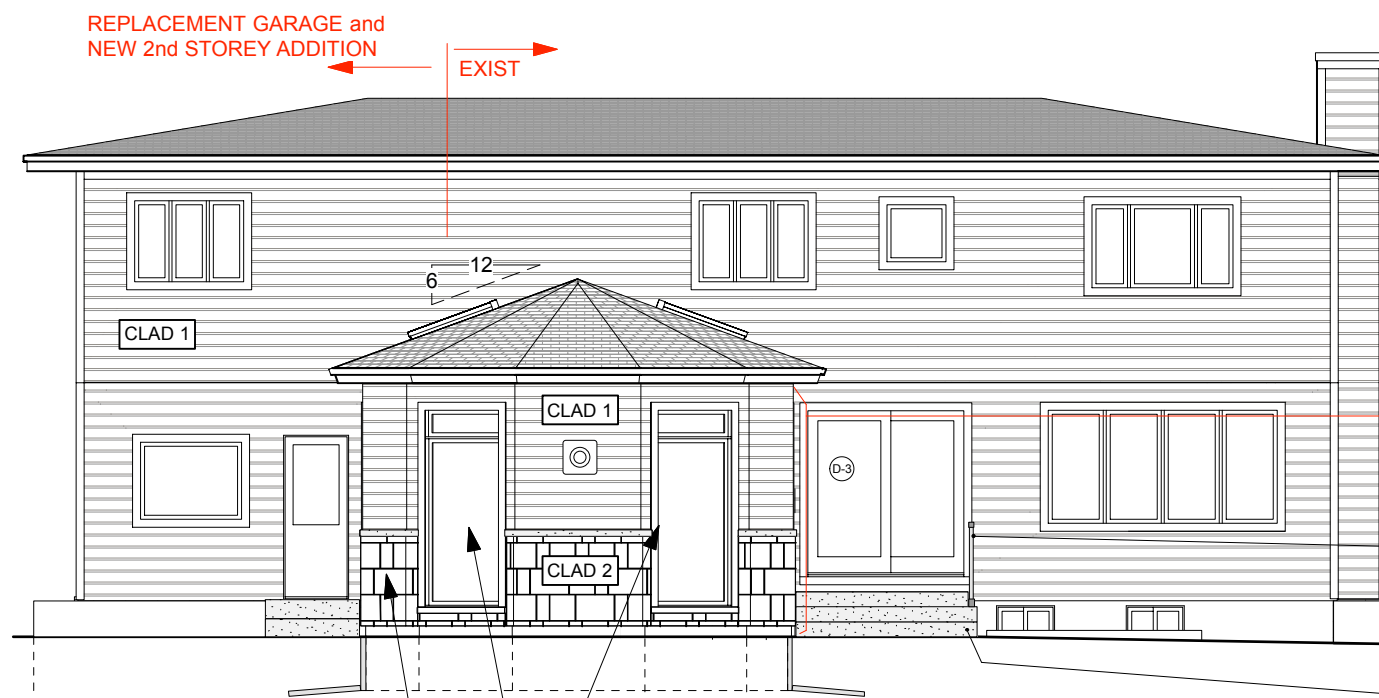
NOTE: CONTINUE FLAT ROOF (TO MATCH PORCH ROOF) OVER GARAGE
STONE CLADDING to MATCH ON GARAGE

MAXIMUM ALLOWABLE OPENINGS - SOUTH GARAGE WALL
TOTAL WALL Area = 332 sq.ft (30.90 sq.m.)
LIMITING DIST. (mid-street) = 95'-0" (28.96m)
Allowable Maximum = UNLIMITED



3 RIGHT (East Side)
Scale: 1/8" = 1'-0"

MAXIMUM ALLOWABLE OPENINGS - EAST WALL
TOTAL WALL Area = 224 sq.ft (20.80 sq.m.)
LIMITING DISTANCE = 24'-11" (7.59m)
Allowable Maximum = 100%



2 BACK (North Side)
Scale: 1/8" = 1'-0"

MAXIMUM ALLOWABLE OPENINGS - NORTH and WEST WALLS of ADDITION
TOTAL WALL Area = NORTH-182 sq.ft (16.93 sq.m.) EAST-224 sq.ft (20.8m2)
LIMITING DISTANCE (varies, shown is distance to closest wall) = 38'-11" (11.86m)
Allowable Maximum = UNLIMITED

MAXIMUM ALLOWABLE OPENINGS - WEST WALL of ADDITION
TOTAL WALL Area = 210 sq.ft (19.53 sq.m.)
LIMITING DISTANCE = 40'-3" (12.27m)
Allowable Maximum = UNLIMITED

REGAL GUARD SYSTEM ; SUPPLIED & INSTALLED AS PER ATTACHED PRE-ENGINEERED SPECIFICATIONS. PRE-ENGINEERED SYSTEM MUST MEET CAN/CSB-12.20-M89 STANDARD

STAIR NOTES:
- PROTECTIVE GUARDS (MIN. 36"H) BUILT AS PER OBC 9.8.8. or AS PER PRE-ENGINEERED RAILING SYSTEM.
- HANDRAIL TO BE 35-38" ABOVE STAIR NOSINGS.
- STAIRS AS PER OBC
- RISERS (MAX. 7 7/8")
- RUNS (MIN. 8 1/4")
- TREADS to be 9 1/4" MIN.

CLAD 1 PREFINISHED WOOD SIDING TO MATCH EXISTING (IF SOURCABLE), OTHERWISE TBD BY CLIENT



CLAD 2 ARRISCRRAFT THIN STONE VENEER TO MATCH EXISTING (IF SOURCABLE), OTHERWISE TBD BY CLIENT



All construction as per Ontario Building Code (OBC 2012). Contractors to verify dimensions on site & report differences to the Designer/Client. Contractors to comply with Municipal Codes / By-laws and to confirm location of underground services prior to excavation. DO NOT SCALE. CR reserved.

N	2022-03-22	Revise Layout, Add Eng. info for Permit
L	2022-01-19	Add Sections / Details
K	2022-01-15	Revised for Engineering Review
J	2022-01-11	Revised Details
I	2022-01-10	Revised Addition Size
F	2021-12-17	PRELIM PERMIT SET
D	2021-10-21	REVISED LAYOUT / DETAILS
C	2021-10-18	REVISED LAYOUT

No.	Date	Issue Notes
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1454 Tedder Ave
OTTAWA ON K1H 6A6
613-863-7369

Project Title
475 OAKHILL
K1M 1J5 David / Jane Stokes

Sheet Title
NEW - ELEVATIONS

Project Manager	RJC	Project ID	Project ID
Drawn By	RJC	Scale	1:64
Reviewed By	CLIENT	Sheet No.	Sht-09
Date	2021-08-21		of 12
CAD File Name	475 Oakhill Permit Set.vwx		